

NSW Housing Pattern Book

SEMIS 01

by Anthony Gill
Architects

A well-proportioned design
that uses natural materials
and simple detailing to create
spacious interiors

July 2025



GOVERNMENT
ARCHITECT
NEW SOUTH WALES

About this document

This document explains the specific requirements for the pattern called ‘Semis 01 by Anthony Gill Architects’. This pattern is part of the NSW Housing Pattern Book as referred to in the State Environmental Planning Policy (Exempt and Complying Development Codes) (Pattern Book Development Code) 2025.

The document provides an overview of what this pattern offers. It explains where housing based on this pattern can be located and how the design can be adjusted to suit user preferences and site requirements within the development standards defined for this pattern.

The technical drawings describe the pattern design in detail. Once you have selected a suitable pattern, you can download the CAD package for use by your architect or accredited designer to prepare your development application.

Using the pattern book

- 1

You are here:

Explore patterns and engage a designer

Explore the patterns available on the NSW Housing Pattern Book and identify which ones might be suitable to your site and requirements. If you decide to proceed, engage an architect or building designer who will be able to support you through your pattern book development process.
- 2

Select a pattern and adapt it to your site and preferences
- 3

Prepare drawings and information for a planning application
- 4

Lodge a planning application
- 5

Get fast-tracked approval

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Note: When you pay the fee, you will receive the technical information PDF, all technical drawings and information in DWG formats, BASIX guidance for this pattern, an editable design verification statement and your unique identification number.*

SEMIS 01

by Anthony Gill Architects

The architects designed:

A well-proportioned design that blends simplicity of detail, warmth of materials with internal volume and light

A distinct street address and covered porch for each home

A generous double-height space above the kitchen bringing sunlight, fresh air and volume into the centre of the house

Living areas with a strong visual and physical connection to the private garden

Well-planned spaces that make the best use of the area

2 homes unified under a single hipped roof with overhanging eaves, a familiar and respectful form for residential neighbourhoods



Rear view of one of the 2 homes from the private garden

Easy to live in

The pattern is designed to suit different household types including:

Young families – A private garden provides a safe place to play and is visible from the living area

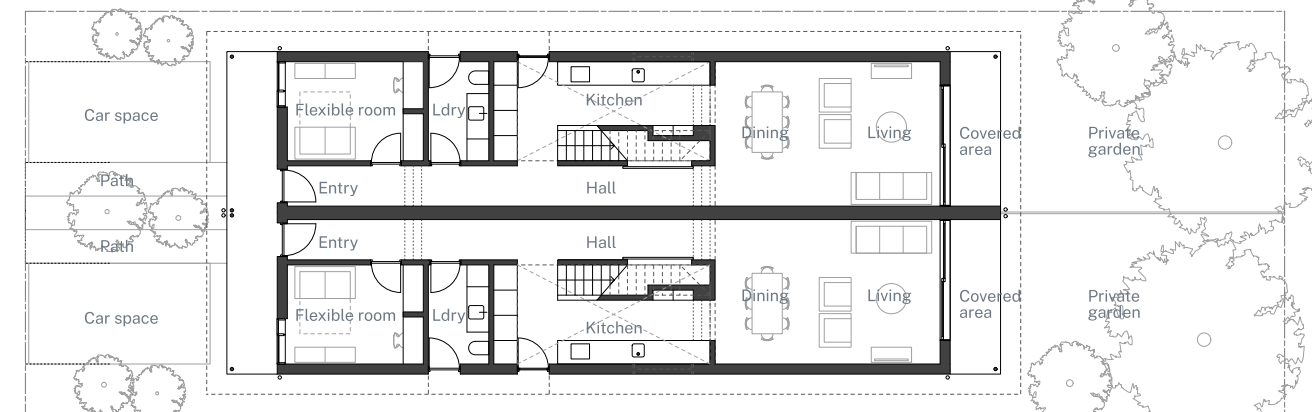
Grown-up families – Living areas are separated from bedrooms to provide a teen retreat, and the kitchen is spacious

Extended families – The flexible room on the ground floor can be converted into a guest room or granny flat

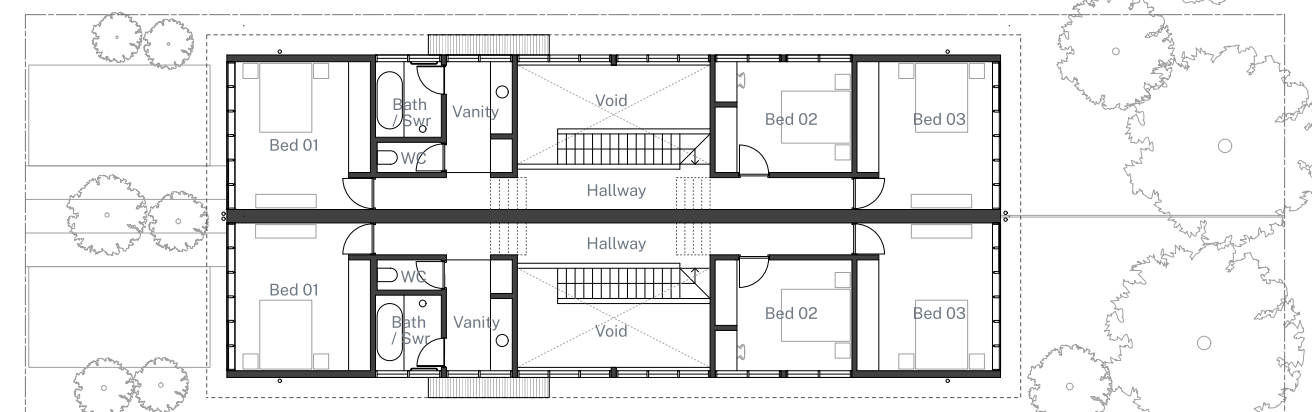
Ageing in place – Designed to meet Australian Building Codes Board Livable Housing Design Standard to support changing mobility needs

Co-living or share houses – Separation between bedrooms with bathroom configurations to suit larger households

Ground floor plan



First floor plan



Not to scale



Front view of the design from the street

For everyone and every place

Suits corner, infill or laneway sites	Permissibility – in low- and mid-rise housing areas and all other locations across NSW where this type of development is permitted
Best suited to north-facing rear yards, with designs optimising solar access for other orientations through courtyards, skylights, and flexible street-facing living spaces	Ownership – Suitable for Torrens title
Development type – Dual occupancy	No. of bedrooms – 3-bed or 4-bed options
	No. of dwellings – 2
	No. of storeys – 2

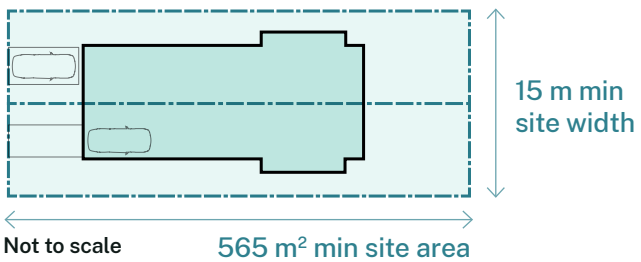
Base pattern: low- and mid-rise housing areas

Low- and mid-rise housing areas are locations where the Low and Mid-Rise Housing Policy applies. Suits a minimum lot width of 12 m wide and minimum lot area of 450 m².



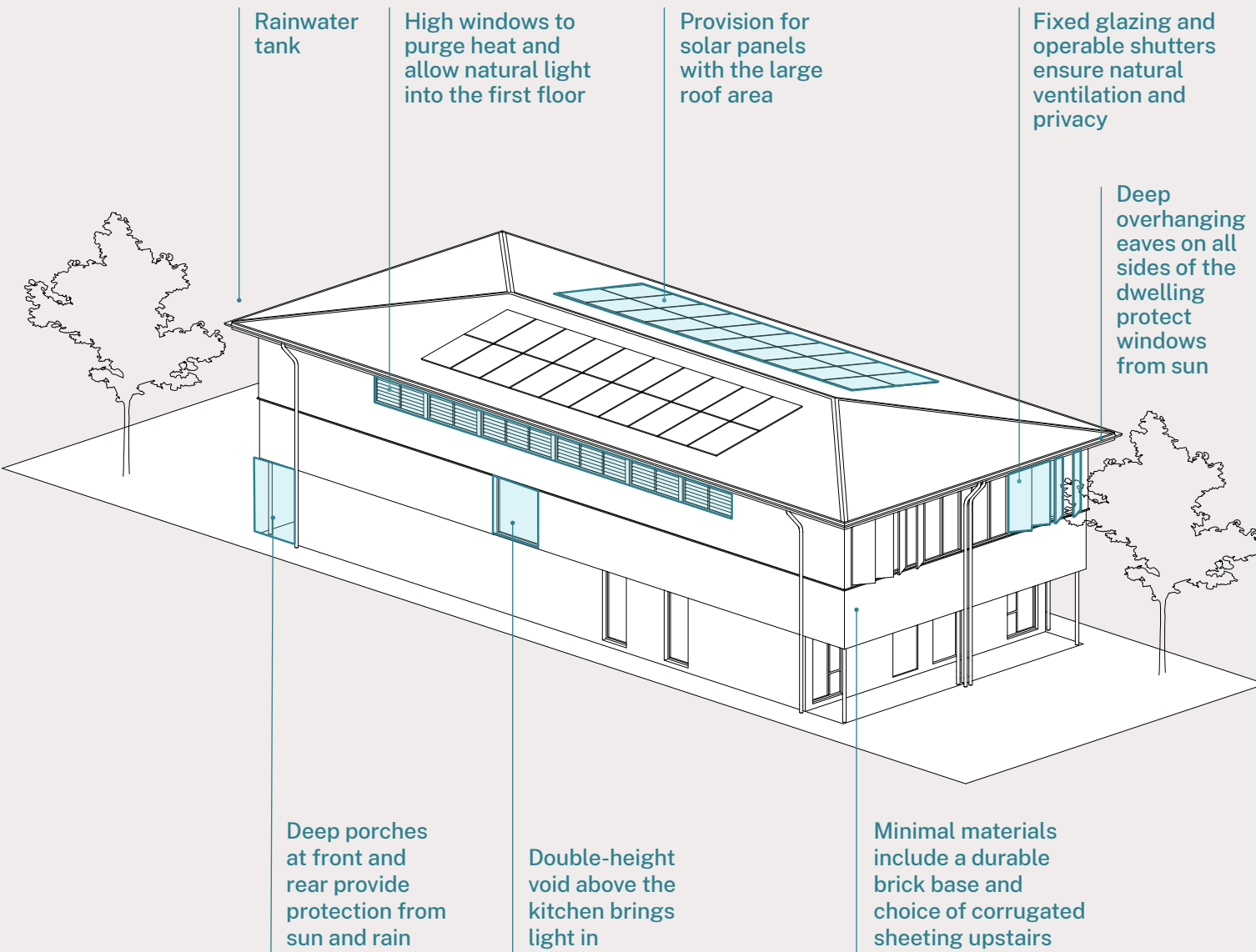
Base pattern: sites outside low- and mid-rise housing areas

Sites outside low- and mid-rise housing areas are all other locations throughout NSW where this type of development is permitted with consent. These are referred to in the patterns as non-low- and mid-rise housing areas. Suits a minimum lot width of 15 m wide and minimum lot area of 565 m².



Sustainable and energy efficient

Passive solar design ensures comfortable living spaces and lower energy bills	The simple construction system is suited to prefabricated and standardised elements to reduce cost and construction waste
Daylight and cross-ventilation to all spaces create a healthy home	External materials are easy to maintain and durable for a high-quality home
The large roof area provides the option for solar panels	The rainwater tank captures roof water for reuse
Roof eaves and the projecting first floor protect windows and doors from sun and rain	Ceiling fans improve air circulation, energy efficiency and thermal comfort
The extent of glass is carefully controlled to maximise light and thermal comfort while minimising cost	All-electric homes provide healthier indoor environment, lower energy bills, and reduced carbon footprint



Smart and flexible

The flexible front room can be an integrated carport, additional living space or multi-generational bedroom

The upstairs bathroom can be a single room, family bathroom, have a separated toilet or divide to accommodate an ensuite or a study

The living area can be made larger on a wider site

There is a covered carport under the dwelling, or a front car park

An enclosed garage can be accommodated, or added with a flexi room for a wider site

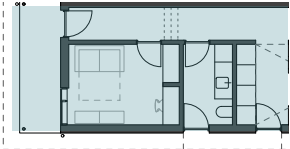
The design can adapt to a site slope of 1.35 m front to back or 1.2 m side to side

There is a choice of external materials colours

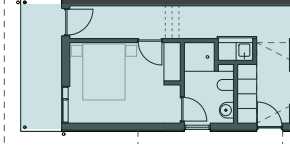
Select 1, 2 or 3

Options for ground floor garage or flexible room

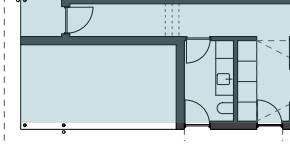
1 Front room – 1 flexible room, 1 laundry with WC



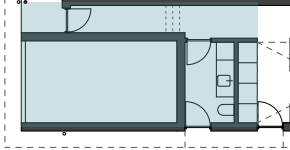
2 Front room – 1 bedroom, 1 ensuite



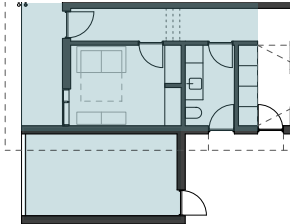
3 Undercover carport



4 Enclosed garage



5 Integrated garage (wider site)

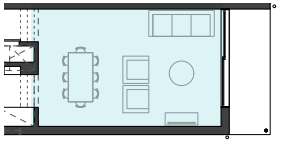


Not to scale

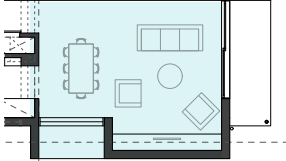
Select 6 or 7

Options for ground floor living and dining area

6 Dining, living base pattern



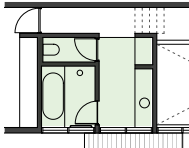
7 Living, dining (additional site width)



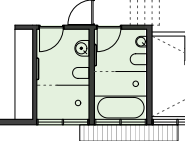
Select 8, 9 or 10

Options for bathroom layouts to suit different household types

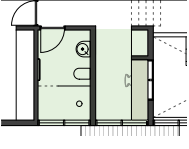
8 Separate WC, wet area and vanity



9 1 bathroom, 1 ensuite



10 Standard bathroom with adjacent study



6 7

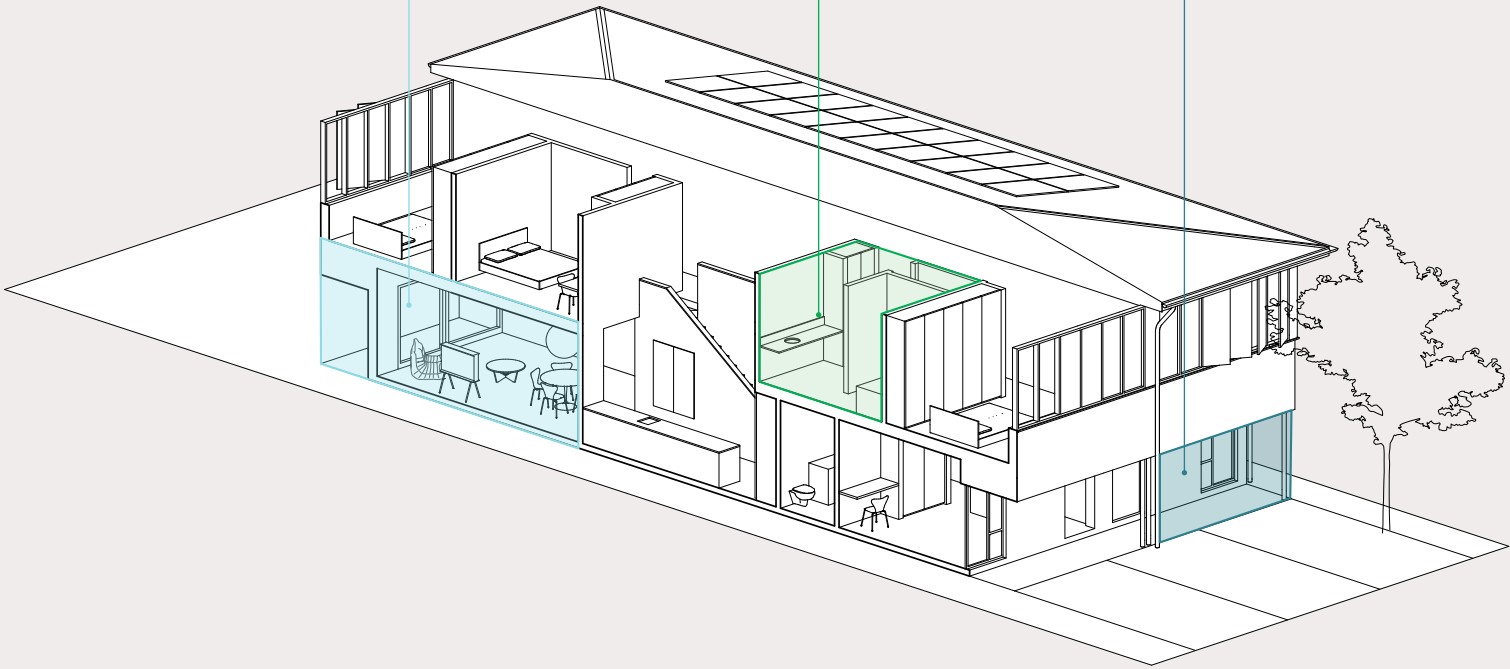
The width of ground floor living room can expand to suit site dimensions or household preferences; the upper level does not expand

8 9 10

Bathroom layout options

1 2 3 4 5

The front room has flexible layouts including a garage, additional living space with laundry or a bedroom with ensuite



View through the kitchen to the rear garden



SEMIS 01

by Anthony Gill Architects

Requirements
and adaptations



Planning overview

Where the pattern book applies

The Low and Mid-Rise Housing Policy (the LMR Policy) aims to encourage new housing in well-located areas. The LMR Policy applies in particular well-located residential zones within 800 m walk of town centres and stations across NSW. These are known as LMR housing areas.

A base pattern for LMR housing areas

A version of each pattern design, or 'base pattern', has been created for low- and mid-rise housing areas (LMR housing area). These have different planning controls reflecting the well-located and connected sites.

A base pattern for sites outside LMR housing areas

Sites outside low- and mid-rise housing areas (referred to in the pattern book as non-LMR housing areas) are all other locations throughout NSW where these development types are permitted. These base patterns reflect different planning requirements in these areas, such as additional parking.

Fast-tracked planning pathways for pattern book developments

Pattern book developments are eligible for fast-tracked planning approval. The Pattern Book Development Code 2025 enables pattern book developments to be approved as complying development. An accelerated 10-day approval timeframe applies to pattern book complying development certificates, compared with 20 days for standard residential complying development.

Excluded land

Like other forms of complying development, pattern book complying development will not be permitted on high-risk or other constrained land such as bushfire-prone and certain flood-prone land. To understand the full list of exclusions, refer to the policy in the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 (the 'Codes SEPP'). If the land is excluded from complying development, pattern book development can be proposed through the standard development application pathway.

Design verification statement

Pattern book development approval requires a complying development certificate (CDC) in accordance with part 3BA of the Codes SEPP (as required by section 131A of the Environmental Planning and Assessment Regulation 2021).

To obtain the CDC, the development application must include a written statement from either an architect or accredited designer. The design verification statement must confirm the proposed development will comply with the development standards, site requirements, pre-defined options, technical drawing set and technical information specified in the NSW Housing Pattern Book for the type of development proposed. The architect or accredited designer must confirm that all fixed and adaptable design features required by the pattern are evident in the submitted development proposal.

The statement will help assessors to determine whether a proposed development complies with the original pattern design intent and is eligible to be considered pattern book development.

Accredited designer

The design verification statement must be completed by an accredited designer or architect. They must include their professional registration in the statement.

Note to assessors

To be considered pattern book development, it is essential that a proposed development meets its planning obligations. This includes complying with development standards, consistency with the pattern, permissibility, and completion of the design verification statement by an architect or accredited designer. The assessor should ensure these obligations have been met.

Design integrity

The design integrity of the pattern must be reflected in the submitted design. The submitted design should not be modified beyond the described adaptable features.

Landscape

Pattern book developments must show how they have considered the *NSW Housing Pattern Book Landscape Guide* which provides advice on creating a landscape plan for the patterns. This includes tree canopy and deep soil requirements, in accordance with the NSW Government *Tree Canopy Guide for Low and Mid Rise Housing*, for different building types. It also includes suggested planting lists.

Heritage

Pattern book developments via the complying development pathway are not permitted in heritage conservation areas (HCAs) or on heritage sites.

Pattern book development applications within heritage conservation areas need to follow a standard development application process.

Privacy

Privacy has been addressed within the pattern designs; solutions include providing fixed and optional screening.

Sustainability

Pattern book developments must achieve BASIX targets and compliance. Each pattern includes guidance on how to achieve the BASIX requirements, along with optional sustainability features such as solar panels and upgraded performance features an applicant may choose to incorporate in their development.

Solar access and overshadowing

All pattern book developments need to demonstrate that reasonable solar access (as defined in the *Low Rise Housing Diversity Design Guide**) is provided to the living rooms and private open spaces of adjoining dwellings.

*A window that is more than 3 m from the boundary to a living room of an adjoining dwelling is to receive more than 3 hours of direct sunlight between 9 am and 3 pm on the winter solstice (June 21). If the window currently receives less than 3 hours, direct sunlight is not reduced.

Development standards and planning information for Semis 01 by Anthony Gill Architects

Developments applying this design from the pattern book must adhere to the planning requirements specified below in order to be eligible for the pattern book fast-tracked planning pathways.

Type of development – dual occupancy

- Permitted where dual occupancy is currently permitted with consent across NSW
- 2 dwellings
- Suitable for Torrens title

Building class

- Class 1a

Pattern adaptation

This design includes fixed and adaptable features which are outlined in this section of this document, and detailed in the technical drawings section of this document. The adaptable features have pre-defined options that must not be modified beyond those designs. The design verification statement must clarify which adaptations and options have been selected for the proposed pattern book development and that the adaptations meet the provided guidance and original design intent.

Pattern-specific assessment criteria

Site slope

The building can be adapted to suit gently sloping sites as shown in the technical drawings section. This pattern accommodates internal stairs and adjustments of up to 1.35 m front to back, and 1.2 m side to side.

Associated earthworks for the site are permitted in accordance with 3BA.7 of the Codes SEPP.

Development standards

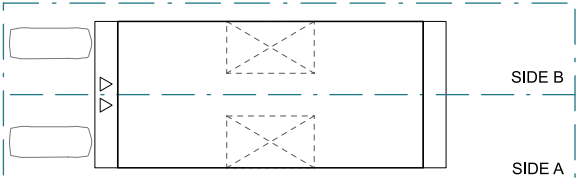
These development standards are specific to Semis 01 by Anthony Gill Architects. They apply where this pattern is proposed as pattern book complying development under State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

	LMR housing areas	Non-LMR housing areas
Minimum lot size	<i>As defined by LMR reforms</i> (450 m ² min)	565 m ² min (must also meet relevant LEP minimum lot size for this development type)
Minimum lot width	<i>As defined by LMR reforms</i> (12 m min)	15 m min
Maximum building height	<i>As defined by LMR reforms</i> (9.5 m max)	8.5 m max
Maximum floor space ratio	0.75:1 max	0.65:1 max
Minimum front setback	6 m min <i>Except where site has rear-lane access for car parking, then min front setback is 4.5 m</i>	6 m minimum setback Or, not less than the average setback from the primary road of the nearest 2 dwelling houses within 40 m of the lot and on the same side of the primary road, whichever is greater
Minimum side setbacks	1.2 m min	1.5 m min
Minimum rear setback	8.4 m min	8.4 m min
Minimum secondary street setback	2.0 m min	2.0 m min
Minimum landscaped area	25%	25%
Minimum off-street parking spaces per dwelling	<i>As defined by LMR reforms</i> (A minimum of 1 car parking space per dwelling)	A minimum of 1 car parking space per dwelling

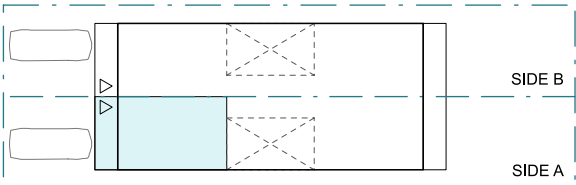
Notes on development standards

Minimum lot size and adaptations	The minimum lot size represents the base pattern design for a mid-block site with optimum orientation. The pattern adaptation pages included in requirements and adaptations pages along with technical drawings section provide guidance on adapting the base plan for different site positions (mid-block, corner, laneway), orientations and inclusions.
Minimum lot width	The minimum lot width is measured at the front building line
Floor space ratio	The planning table shows the maximum possible FSR for the pattern when selecting all adaptations and options. The base patterns FSR as shown are: <ul style="list-style-type: none">— LMR housing area 0.71:1 FSR— Non-LMR housing area 0.59:1 FSR
Height	The base pattern height as drawn is 7.0 m high. The maximum building height in the development standards (left) allows for adaptation to slope on the subject site
Parking provision	A maximum 1 out of 2 dwellings may incorporate a garage for the dual occupancy patterns. Parking is alternatively provided as hardstand. Refer to requirements and adaptations section

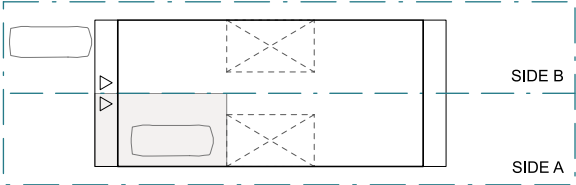
LMR housing area



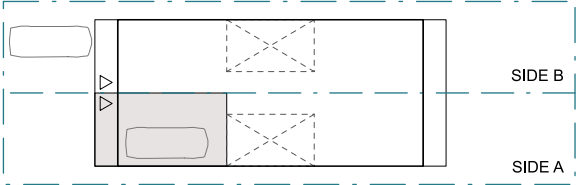
Base pattern - ground floor
flexible room with laundry to front
Lot size: 450 m² min, Lot width: 12 m min
Front setback: 6.0 m min



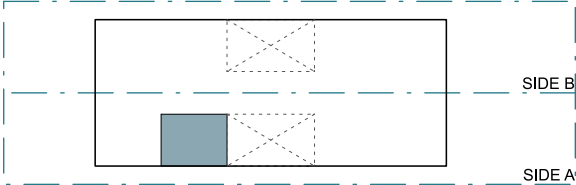
Adaptation 01 - ground floor
1 bed, 1 ensuite room, laundry cupboard
Lot size: 450 m² min, Lot width: 12 m min
Front setback: 6.0 m min



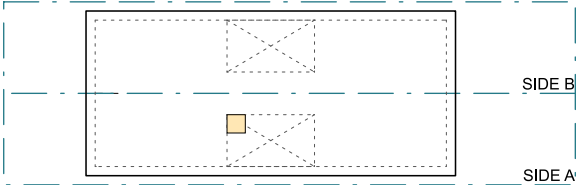
Adaptation 02 - ground floor
undercover carport
Lot size: 450 m² min, Lot width: 12 m min
Front setback: 6.0 m min



Adaptation 03 - ground floor
integrated garage
Lot size: 450 m² min, Lot width: 12 m min
Front setback: 6.0 m min

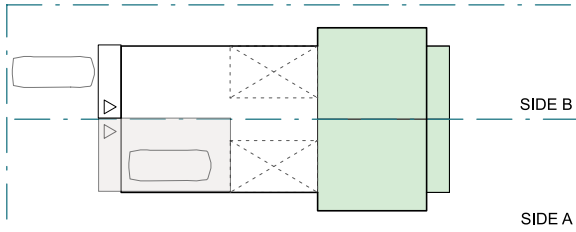


Adaptation - first floor
Base pattern-1 WC, 1 bath, 1 separate vanity
FF adaptation 01-1 bath, 1 ensuite
FF adaptation 02-1 bath, 1 study

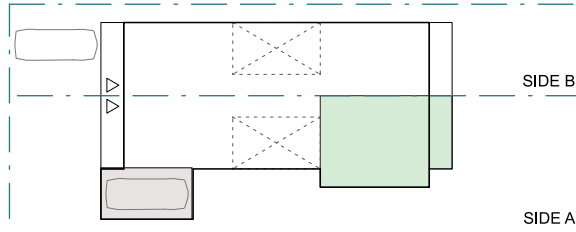


Base pattern - roof plan
Option for skylight over void
when kitchen windows orientated south

Non-LMR housing area



Base pattern
Lot size: 565 m² min
Lot width: 15 m min
Front setback: 6.0 m min



Adaptation 04 - 1 flexible room, 1 garage, wider living / dining
Lot size: 565 m² min
Lot width: 15 m min
Front setback: 6.0 m min

- Base pattern – flexible room to front
- Adaptation – 1 bed, 1 ensuite to front
- Bathroom layout options
- Garage to front room
- Undercover carport
- Adaptation – width added to living / dining
- Skylight option

Not to scale 

Pattern adaptations

Dwellings (LMR and non-LMR base patterns)
These diagrams demonstrate the dwelling combinations available for this pattern.

These should be read in combination with the LMR housing area and non-LMR housing area siting and orientation guidance to determine the most suitable combinations and approach for your specific site.

Location requirements

Siting and orientation adaptations (LMR base pattern)

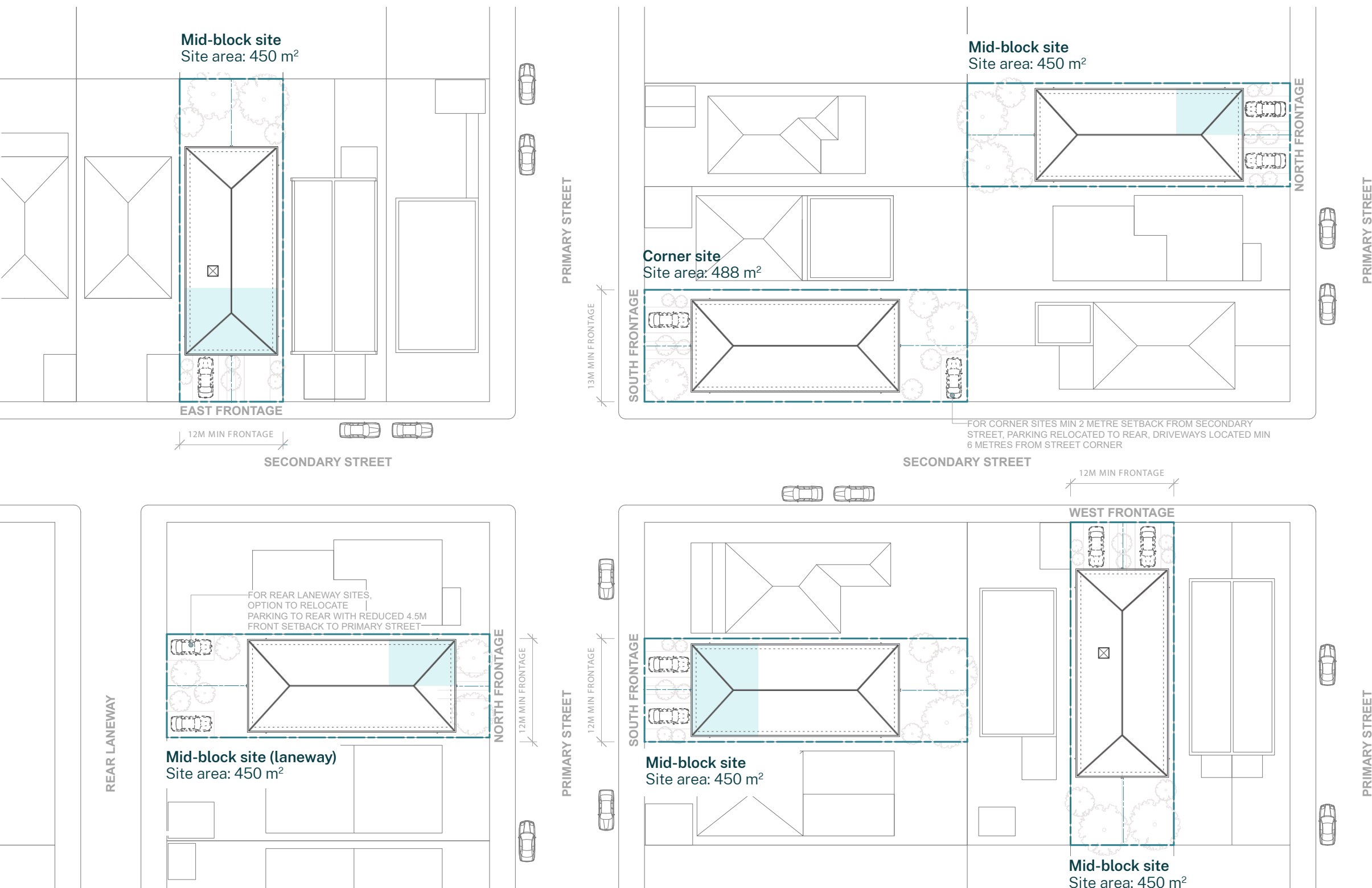
These plans demonstrate siting and orientation principles for this pattern in the **LMR housing areas**, adapting to suit mid-block, corner, and rear-lane lots.

Pattern sites must:

- meet minimum lot width and areas
- meet minimum setbacks and landscape areas. Refer to the planning pages of this document for further detail.
- have driveways located a min 6 m from intersections. Confirm with local authorities if additional rules apply.

The examples also show the siting response to orientation. Analyse the drawing to find the most relevant example for your site, which shows recommended siting, driveway locations and opportunities to adjust for orientation.

Using this guidance, refer to the **LMR site plan** to begin adaptation to your site, and to the slope adaptation pages for topography.



- Base pattern – flexible room to front
- Adaptation – 1 bed, 1 ensuite to front

Not to scale



Location requirements

Siting and orientation adaptations (non-LMR base pattern)

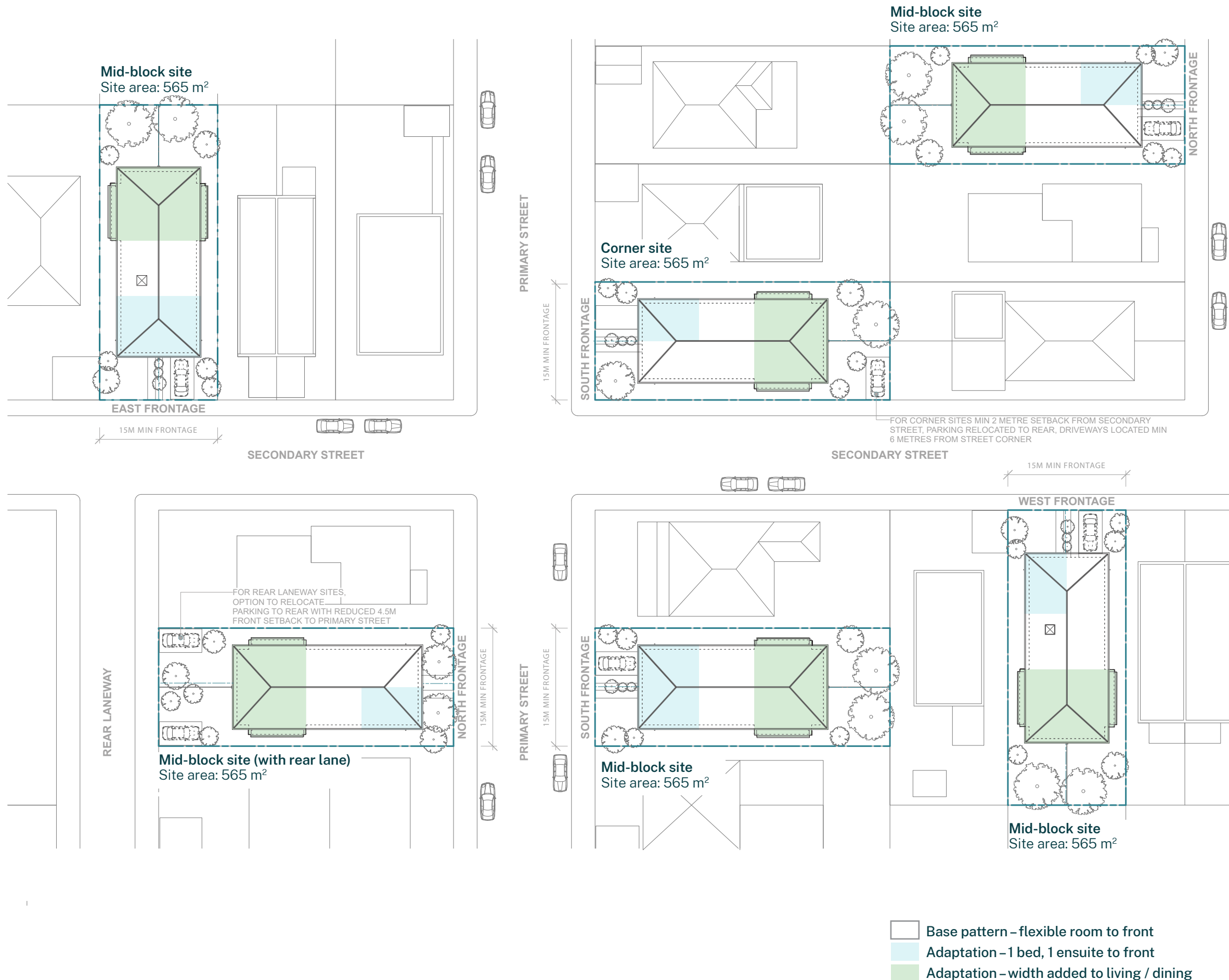
These plans demonstrate siting and orientation principles for this pattern in the **Non-LMR housing areas**, adapting to suit mid-block, corner, and rear-lane lots.

Pattern sites must:

- meet minimum lot width and areas
- meet minimum setbacks and landscape areas. Refer to the planning pages of this document for further detail.
- have driveways located a min 6 m from intersections. Confirm with local authorities if additional rules apply.

The examples also show the siting response to orientation. Analyse the drawing to find the most relevant example for your site, which shows recommended siting, driveway locations and opportunities to adjust for orientation.

Using this guidance, refer to the **non-LMR site plan** to begin adaptation to your site, and to the slope adaptation pages for topography.



Materials palette 01



	GROUND FLOOR EXTERNAL WALLS	BRICK, PAINT FINISH, LIGHT GREY
	FIRST FLOOR EXTERNAL WALLS	CORRUGATED STEEL, SHALE GREY, CUSTOM ORB PROFILE
	FIRST FLOOR EXTERNAL WALLS	CORRUGATED STEEL, SHALE GREY, MINI ORB PROFILE
	STRUCTURAL STEEL COLUMNS AND EXTERNAL METALWORK	STEEL, PAINT FINISH, SHALE GREY
	GROUND FLOOR, AND FIRST FLOOR LOUVRE WINDOW SUITES (SIDE)	ALUMINIUM, NATURAL ANODISED
	ROOF	CORRUGATED STEEL, SHALE GREY, CUSTOM ORB PROFILE
	DOOR & WINDOW SUITES (FRONT & REAR), VENTILATION PANELS	TIMBER, PAINT FINISH, WINDSPRAY
	BARGE/FASCIA BOARD	TIMBER, PAINT FINISH, SHALE GREY
	FRONT DOOR	TIMBER, FINISH AND SPECIES TBC

Materials palette 02



	GROUND FLOOR EXTERNAL WALLS	BRICK, PAINT FINISH, LIGHT GREY
	FIRST FLOOR EXTERNAL WALLS	CORRUGATED STEEL, MANOR RED, CUSTOM ORB PROFILE
	FIRST FLOOR EXTERNAL WALLS	CORRUGATED STEEL, MANOR RED, MINI ORB PROFILE
	STRUCTURAL STEEL COLUMNS AND EXTERNAL METALWORK	STEEL, PAINT FINISH, MANOR RED
	GROUND FLOOR, AND FIRST FLOOR LOUVRE WINDOW SUITES (SIDE)	ALUMINIUM, POWDERCOAT FINISH, MANOR RED
	ROOF	CORRUGATED GALVANISED STEEL, NATURAL FINISH, CUSTOM ORB PROFILE
	DOOR & WINDOW SUITES (FRONT & REAR), VENTILATION PANELS	TIMBER, PAINT FINISH, MANOR RED
	BARGE/FASCIA BOARD	TIMBER, PAINT FINISH, WINDSPRAY
	FRONT DOOR	TIMBER, PAINT FINISH, MANOR RED

Materials palette 03A



	GROUND FLOOR EXTERNAL WALLS	BRICK, PAINT FINISH, LIGHT GREY
	FIRST FLOOR EXTERNAL WALLS	CORRUGATED STEEL, SHALE GREY, CUSTOM ORB PROFILE
	FIRST FLOOR EXTERNAL WALLS	CORRUGATED STEEL, SHALE GREY, MINI ORB PROFILE
	STRUCTURAL STEEL COLUMNS AND EXTERNAL METALWORK	STEEL, PAINT FINISH, SHALE GREY
	GROUND FLOOR, AND FIRST FLOOR LOUVRE WINDOW SUITES (SIDE)	ALUMINIUM, NATURAL ANODISED
	ROOF	CORRUGATED STEEL, SHALE GREY, CUSTOM ORB PROFILE
	DOOR & WINDOW SUITES (FRONT & REAR), VENTILATION PANELS	TIMBER, FINISH AND SPECIES TBC
	BARGE/FASCIA BOARD	TIMBER, PAINT FINISH, SHALE GREY
	FRONT DOOR	TIMBER, FINISH AND SPECIES TBC

Materials palette 03B



	GROUND FLOOR EXTERNAL WALLS	BRICK, PAINT FINISH, LIGHT GREY
	FIRST FLOOR EXTERNAL WALLS	CORRUGATED GALVANISED STEEL, NATURAL FINISH, CUSTOM ORB PROFILE
	FIRST FLOOR EXTERNAL WALLS	CORRUGATED GALVANISED STEEL, NATURAL FINISH, MINI ORB PROFILE
	STRUCTURAL STEEL COLUMNS AND EXTERNAL METALWORK	GALVANISED STEEL, NATURAL FINISH
	GROUND FLOOR, AND FIRST FLOOR LOUVRE WINDOW SUITES (SIDE)	ALUMINIUM, POWDERCOAT FINISH, WINDSPRAY
	ROOF	CORRUGATED GALVANISED STEEL, NATURAL FINISH, CUSTOM ORB PROFILE
	DOOR & WINDOW SUITES (FRONT & REAR), VENTILATION PANELS	TIMBER, FINISH AND SPECIES TBC
	BARGE/FASCIA BOARD	TIMBER, PAINT FINISH, WINDSPRAY
	FRONT DOOR	TIMBER, FINISH AND SPECIES TBC

Pattern adaptations

Material selections

The patterns are available in a variety of material finishes, allowing flexibility to suit both user preferences and the unique character of each location. When selecting a material palette from these options, consider how it complements the existing streetscape.

Refer to the technical documentation for further detail on materials.

Pattern selections template

Using this guide, site owners and designers can map how this housing pattern will be adapted to suit the specific site and meet the needs of the future occupants.

Completing this page will:

- enable you to confirm the site meets the location type, minimum frontage and area requirements of this pattern
- consider the dwelling mix and inclusions of each dwelling
- review the lot features such as orientation and slope to inform which pattern adaptations need to be used
- consider the material palette and character options available
- allow the designer, builder or cost planner to prepare the project-specific drawing set and begin feasibility costings.

Site location	Semis 01 pattern		Lot features	Building character					
<p>Confirm lot size and lot width meets minimum area for site location</p> <hr/> <div><input type="checkbox"/> LMR housing area site 450 m² (min) lot size 12 m (min) lot width <small>*Allows ABCB livable design standard (silver)</small></div> <hr/> <div><input type="checkbox"/> Non-LMR housing area site 565 m² (min) lot size 15 m (min) lot width <small>*Allows expanded living design option</small></div> <hr/> <p>The site location and available adaptations are described in the pattern adaptations and site plan pages.</p>	<div>House 1 base pattern 3 bed 1.5 bath 1 living + 1 flexible room 1 car space (garage or undercroft carport)</div> <hr/> <div>House 2 base pattern 3 bed 1.5 bath 1 living + 1 flexible room 1 car space (hardstand)</div> <hr/> <div>Adapt for preference</div> <table><tbody><tr><td>Ground floor front room <i>select one</i><div><input type="checkbox"/> bedroom and ensuite <input type="checkbox"/> undercroft carport <input type="checkbox"/> garage <input type="checkbox"/> garage add on</div></td><td>Front room <i>select one</i><div><input type="checkbox"/> bedroom + ensuite</div></td></tr><tr><td>Kitchen/living <i>select applicable</i><div><input type="checkbox"/> wider kitchen / living (for 15 m+ lot width)</div></td><td>Kitchen/living <i>select applicable</i><div><input type="checkbox"/> wider kitchen / living (for 15 m+ lot width)</div></td></tr><tr><td>First floor bathrooms <i>select one</i><div><input type="checkbox"/> 3-way bathroom <input type="checkbox"/> 1 bathroom and 1 ensuite <input type="checkbox"/> small bathroom and study</div></td><td>First floor bathrooms <i>select one</i><div><input type="checkbox"/> 3-way bathroom <input type="checkbox"/> 1 bathroom and 1 ensuite <input type="checkbox"/> small bathroom and study</div></td></tr></tbody></table> <hr/> <div>Max 0.5:1 enclosed garage per dual occupancy development.</div> <hr/> <p>The base pattern represents the available pattern design, with description of the adaptations available to suit your preferences. To understand the extent of options available refer to the technical drawings section and review the base pattern plans and available adaptations.</p>	Ground floor front room <i>select one</i> <div><input type="checkbox"/> bedroom and ensuite <input type="checkbox"/> undercroft carport <input type="checkbox"/> garage <input type="checkbox"/> garage add on</div>	Front room <i>select one</i> <div><input type="checkbox"/> bedroom + ensuite</div>	Kitchen/living <i>select applicable</i> <div><input type="checkbox"/> wider kitchen / living (for 15 m+ lot width)</div>	Kitchen/living <i>select applicable</i> <div><input type="checkbox"/> wider kitchen / living (for 15 m+ lot width)</div>	First floor bathrooms <i>select one</i> <div><input type="checkbox"/> 3-way bathroom <input type="checkbox"/> 1 bathroom and 1 ensuite <input type="checkbox"/> small bathroom and study</div>	First floor bathrooms <i>select one</i> <div><input type="checkbox"/> 3-way bathroom <input type="checkbox"/> 1 bathroom and 1 ensuite <input type="checkbox"/> small bathroom and study</div>	<p>Refer to site plans and pattern adaptations – location requirements for details</p> <hr/> <div>Lot type select one<div><input type="checkbox"/> standard mid-block <input type="checkbox"/> rear-lane lot <input type="checkbox"/> corner lot</div></div> <hr/> <div>Frontage orientation<div><input type="checkbox"/> north <input type="checkbox"/> east <input type="checkbox"/> south <input type="checkbox"/> west</div></div> <hr/> <div>Site slope select one<div><input type="checkbox"/> flat site <input type="checkbox"/> slope up to 1.35 m front to back <input type="checkbox"/> slope up to 1.2 m side to side</div></div> <hr/> <p>Lot features and adaptations to suit lot orientation are described on pattern adaptations – location requirements pages with further guidance on specific orientation and slope features on the larger scale plans, sections and elevations in the technical drawings section.</p>	<p>Refer to material palette guidance page and illustrative images pages for details</p> <hr/> <div>Material palette select one<div><input type="checkbox"/> material palette 1 <input type="checkbox"/> material palette 2 <input type="checkbox"/> material palette 3A <input type="checkbox"/> material palette 3B</div></div> <hr/> <div>Additional features<div><input type="checkbox"/> window shading device for west / east facing windows <input type="checkbox"/> skylight</div></div> <hr/> <p>The pattern offers material palette options to suit user choice. Refer to the material palette guidance page, and included illustrative images for further information.</p> <p>Refer to instructions for designers pages for the next steps, including how to use this page as part of your application.</p>
Ground floor front room <i>select one</i> <div><input type="checkbox"/> bedroom and ensuite <input type="checkbox"/> undercroft carport <input type="checkbox"/> garage <input type="checkbox"/> garage add on</div>	Front room <i>select one</i> <div><input type="checkbox"/> bedroom + ensuite</div>								
Kitchen/living <i>select applicable</i> <div><input type="checkbox"/> wider kitchen / living (for 15 m+ lot width)</div>	Kitchen/living <i>select applicable</i> <div><input type="checkbox"/> wider kitchen / living (for 15 m+ lot width)</div>								
First floor bathrooms <i>select one</i> <div><input type="checkbox"/> 3-way bathroom <input type="checkbox"/> 1 bathroom and 1 ensuite <input type="checkbox"/> small bathroom and study</div>	First floor bathrooms <i>select one</i> <div><input type="checkbox"/> 3-way bathroom <input type="checkbox"/> 1 bathroom and 1 ensuite <input type="checkbox"/> small bathroom and study</div>								

Instructions for designers

Preparing your submission for approvals

The drawings and designs provided in the pattern have been completed to a development application level of resolution to fast-track the preparation of application plans and documents specific to your site. Note that applications for pattern book project, as complying development via the Pattern Book Development Code 2025, will require development of further documentation as required for certification as complying development.

Guided by the pattern drawings and information, consider the design features and inclusions, along with the adaptations required to use the pattern on the subject site.

In addition to the information in this pattern package, a licensed package is available for purchase. This includes further technical information in PDF and DWG format. This will enable the designer to adapt the pattern to your site-specific design for the preparation of your planning application..

The table on this page lists typical inclusions for development applications and notes which are included in the pattern package. Proponents and designers will need to confirm all application requirements specific to their site and chosen planning pathway.

Typical architectural drawings	Pattern book drawing reference
Site analysis plan	Site specific
Site plan	Site specific Refer site plans A-301 / A-311 along with pattern adaptations – location requirements pages
Demolition plan (if applicable)	Site specific
Floor plan	Refer LMR base pattern A-300 series / Non-LMR base patterns A-310 series and pattern planning adaptations A-320 series
Sections	Refer to sections and slope guidance A-330 series
Elevations	Refer elevations and elevation guidance A-340 series
Shadow diagrams	Site specific
Schedule of colours, materials and finishes	Refer A-350 series for guidance on character and materials selections
3D views	Refer A-350 series and the pattern package
Services plan	Refer A-401 series for suggested services plan and considerations
Door and window schedule	Refer A-410 series. Note specific requirements for window performance will need to align with the BASIX certificate and thermal assessment
Construction and character details	Refer A-420 series. Indicative details have been provided for the pattern's key character details. Proponents will need to undertake their own due diligence and review

Typical reports and specifications	Pattern book drawing reference
Pattern licence terms and conditions	Required
Design verification statement	Template provided
BASIX certificate	Guidance provided for each pattern; refer separate attachment
Survey plan	
Subdivision plan (if applicable)	Refer site plans A-301 / A-311 for base pattern lots
Landscape plan	Refer to the pattern book landscape guidance for preparation of a site specific landscape plan
Section 138 driveway crossing approval	
Waste management plan	
Excavation and/or fill plan	
Erosion and sediment control plan	
Stormwater management plan	
Building specifications	
Quantity surveyors report	
Other reports*	Subject to the site-specific conditions and approval pathway, a number of reports, studies and/or specifications may be required. Consult with the certifier or consent authority to confirm required forms, reports and authority approvals that may be applicable to your project.

Units and measurement

The pattern designs have been drafted to standard drawing scales. Site measurements are generally identified as minimum, allowing users to adjust the pattern to the specific site shape and size. Should discrepancies exist, refer to the development standards table. Measurements for sites have been rounded to the nearest 0.1 m, while areas have been rounded up or down to the nearest 5 m².

NCC compliance

The low-rise pattern designs offered in the NSW Housing Pattern Book are capable of compliance with the National Construction Code (NCC) 2022 subject to final technical specifications and details.

The semi-detached, terrace and multi-dwelling patterns are Class 1a buildings. The manor house is defined as a Class 2 building. Additional compliance measures and reporting are required for Class 2 under the *Design and Building Practitioners Act 2020*. For this type of development the proponent is required to engage a practitioner registered with the NSW Design and Building Practitioners (DBP) scheme.

Universal design

Low-rise pattern book dwellings must comply with the Australian Building Codes Board (ABCB) Livable Housing Design Standard, which has been adapted from the ‘silver’ level requirements of the Livable Housing Association (LHA) Livable Housing Design Guidelines. Several of the patterns include options for adapting one or all of the dwellings in the development to achieve the ABCB ‘voluntary standard’ (‘beyond minimum’) set out in the ABCB Voluntary Standard for Livable Housing Design: Beyond Minimum. The ABCB voluntary standard has been adapted from the LHA ‘gold’ level requirements.

For details of differences between Class 1a and 2 requirements, examples and exemptions refer to the [ABCB Livable Housing Design Handbook](#).

Site slope

The pattern designs can be modified to suit gently sloping sites. The scope for this is documented in the pattern plans and sections.

As patterns are adjusted to meet the specific site conditions, design considerations include:

- maintaining paths of travel to front doors according to the ABCB Livable Housing Design Standard
- potential for and locations of retaining walls. Refer to the complying development conditions for permitted excavation and retaining walls
- stormwater management and drainage systems.

Driveways and driveway crossings

The location of the driveway and driveway crossing is shown on the plans. Proponents must ensure the design meets the requirements of Australian Standard AS 2890.1:2004 *Parking facilities, Part 1: Off-street car parking*.

AS 2890.1 prescribes sight lines for pedestrian safety, to maintain clear visibility for drivers leaving a car space and for pedestrians on a nearby footpath. The design needs to ensure:

- the pedestrian sight line for the driveway fits wholly on the site and can be kept clear of obstructions over 800 mm in height, or
- if not able to sit wholly within the site, the fencing and any landscape constructions are kept below 800 mm height for the zone. In some instances this may require agreement with neighbouring parties.

Driveways should not be affected by existing structures such as street trees, earth mounds, bus shelters, power poles and other physical features. Removal of such features may be permitted subject to council approval.

All driveways should be permeable to reduce stormwater runoff. To meet the requirements of the ABCB Livable Housing Design Standard driveways must be step free.

Construction systems and materials

The construction system for the pattern designs provides efficient and coordinated planning, aligning load paths, wet areas and service risers where practical. Specific materials have been selected for the external elevations and character as shown on the materials pages.

Generally, the pattern assumes the buildings have slab-on-ground concrete slab at ground level and timber framing for walls, upper floors and roofs. Tolerances are included within the designs presented to allow proponents to adjust the floor, wall and roof systems to suit their own desired methodology. Each pattern user will need to review this in preparing the construction documentation with their designer, builder and cost planner.

Where possible spans across rooms and openings have been strategically considered to allow for standard framing techniques and limit the use of steel, subject to the specific project's structural engineer's design.

Party walls are generally assumed to be masonry, however there is allowance to accommodate a number of available party wall systems. The project team will need to select the party wall system to meet the fire and acoustic requirements of the NCC, as well as their BASIX and thermal certification.

Note that the manor house design is NCC Class 2 construction and has additional fire and compliance requirements that need to be met. Work with your accredited DBP practitioner and certifier to achieve compliance.

Waste bins

The preferred location for bin storage is shown on the plans allowing 3 x standard 240 L bins for waste, recycling, and FOGO (food organics and garden organics).

In some locations, councils may allow smaller 120 L bins. This needs to be confirmed for the local area.

Space for kerbside waste collection has been considered in the pattern design (based on a NSW-wide review of kerbside waste collection). Applicants need to review whether this is suitable for the specific site conditions.

Services provision

The pattern designs have had early consideration of services and integrating service spaces into the designs. Below is a description of the service provisions and assumptions of the pattern designs.

Electrical

All dwellings are to be fully electric.

Allowance has been made for heat pump hot water units.

Provision for meter boards and distribution boards is shown on the servicing page. Side gates should be located so meter panels can be accessed from outside the gate.

All patterns allow for photovoltaic solar panel installation to the roof areas with allowance made for inverter installation near the meter board. This will need to be coordinated with any other toilet vents, pipes or roof access equipment.

A 15 A outlet will be required in the garage for potential electric vehicle (EV) charging.

NBN

Consideration has been made for National Broadband Network (NBN) connection to the dwellings, subject to service provider availability. Refer to the services diagram for further detail and proposed location of the NBN premises connection device.

Water and hydraulic services

Rainwater tanks have been incorporated into the designs as shown. At a minimum these are to be used for landscape watering, however they can also be connected to toilets and the cold tap of washing machines. For further detail refer to the BASIX guidance and confirm alignment with the commitments on the BASIX certificate.

Water meters are to be provided for the dwelling in accordance with water authority requirements.

Civil and stormwater

The design of stormwater systems is site specific, and subject to location, slope and ground conditions. Applicants will need to engage a suitably qualified engineer to confirm the stormwater system design and layout.

The pattern designs include suggested location for on-site detention (OSD) areas, along with details of downpipes, rainwater collection, and drainage for paved or concreted areas.

Mechanical

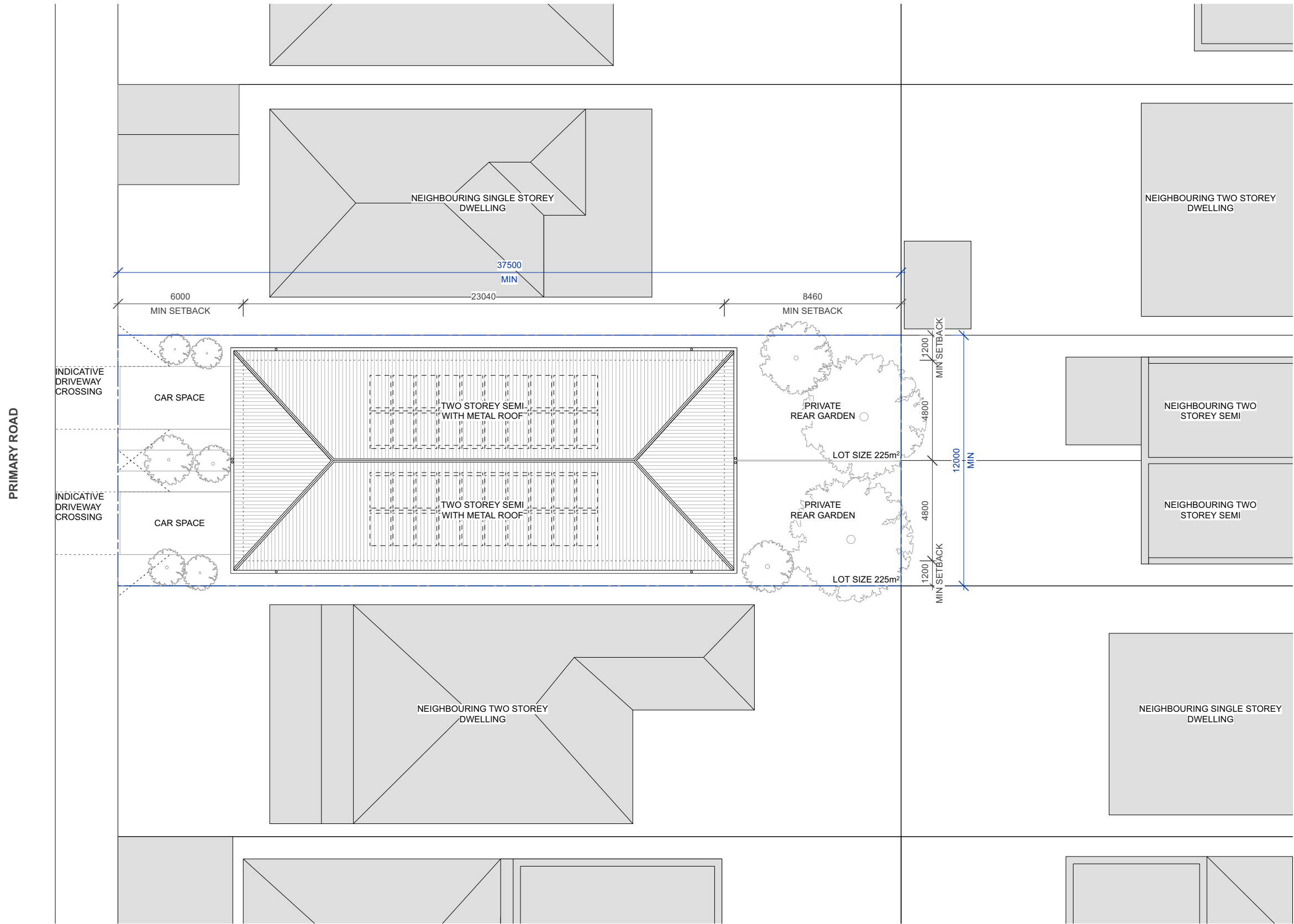
The ability to accommodate air-conditioning systems has been reviewed for the patterns. Pattern applicants will need to assess the requirements for integrated or wall-mounted units, along with the BASIX commitments.

SEMIS 01

by Anthony Gill Architects

Technical
drawings



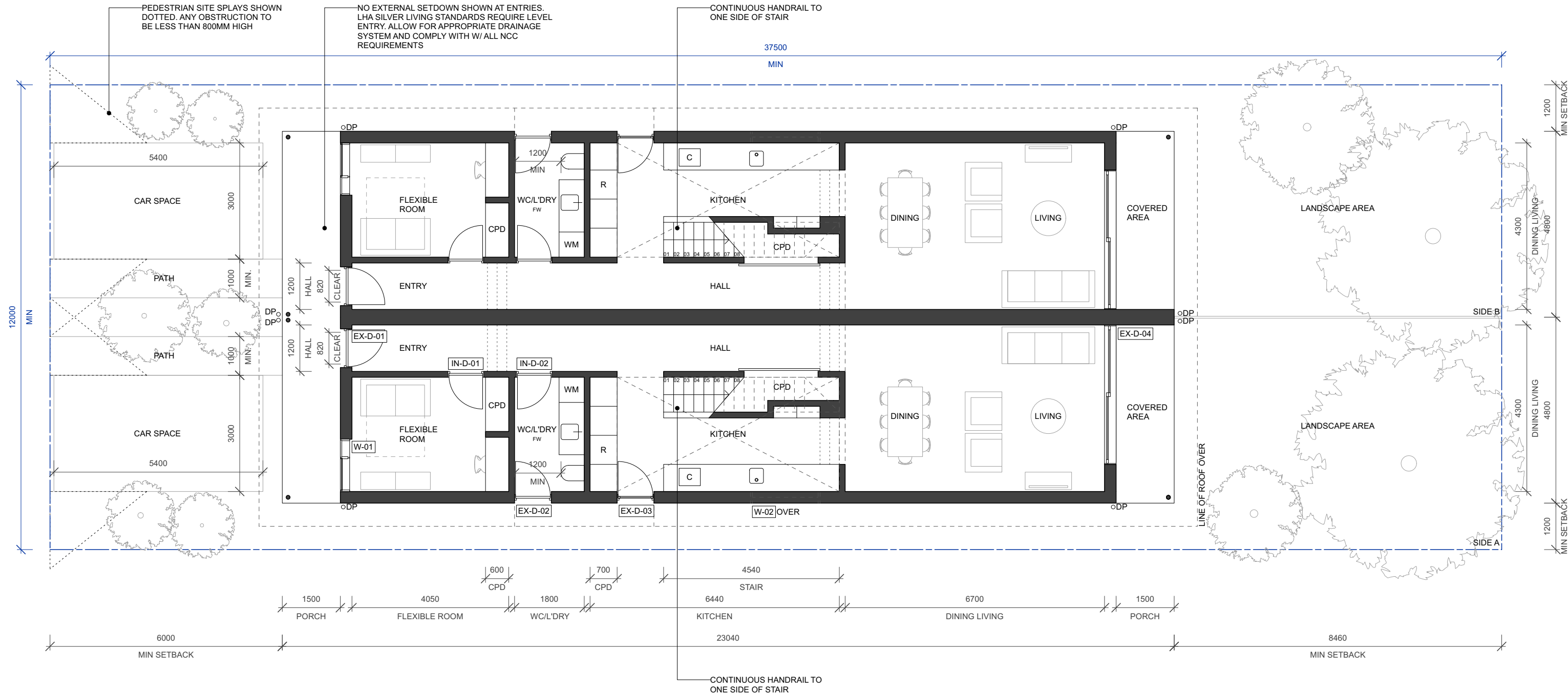


1 SITE PLAN
A-301 SCALE: 1:200 @ A3

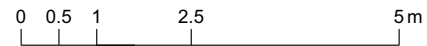
Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

Drawing No.	A-301
Name	Site Plan LMR Housing Area
Scale	1:200



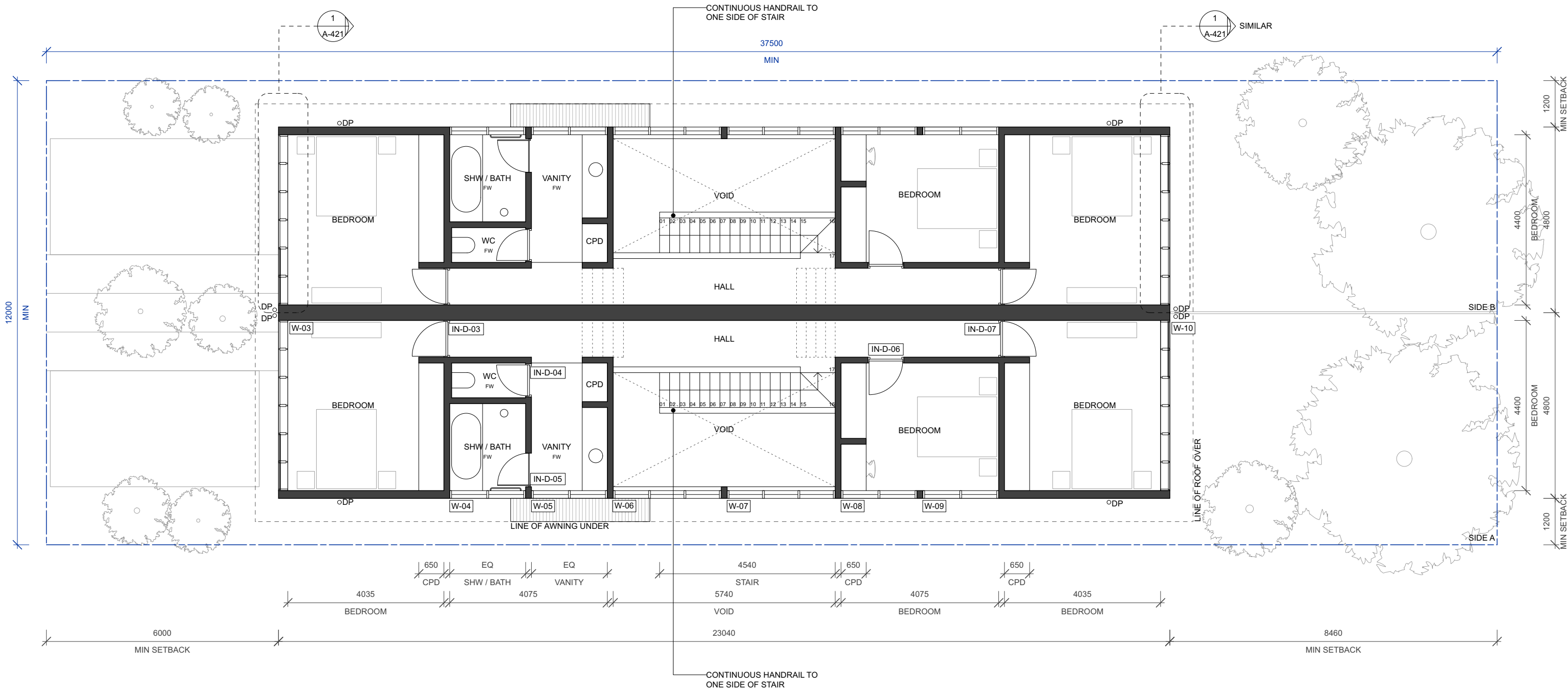
1 GROUND FLOOR PLAN
A-302 SCALE: 1:100 @ A3



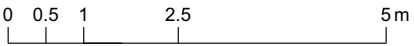
Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

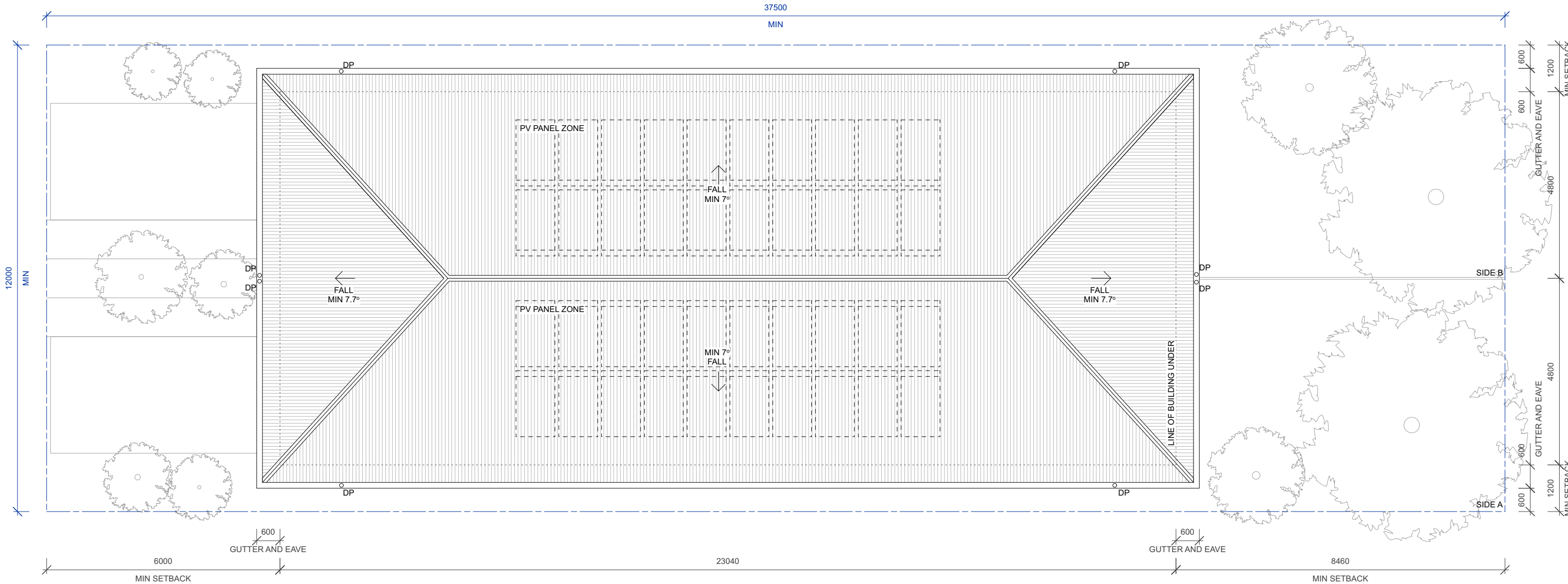
Drawing No.	A-302
Name	Ground Floor Plan LMR Housing Area
Scale	1:100



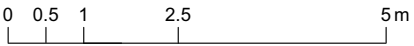
1 FIRST FLOOR PLAN
A-303 SCALE: 1:100 @ A3



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



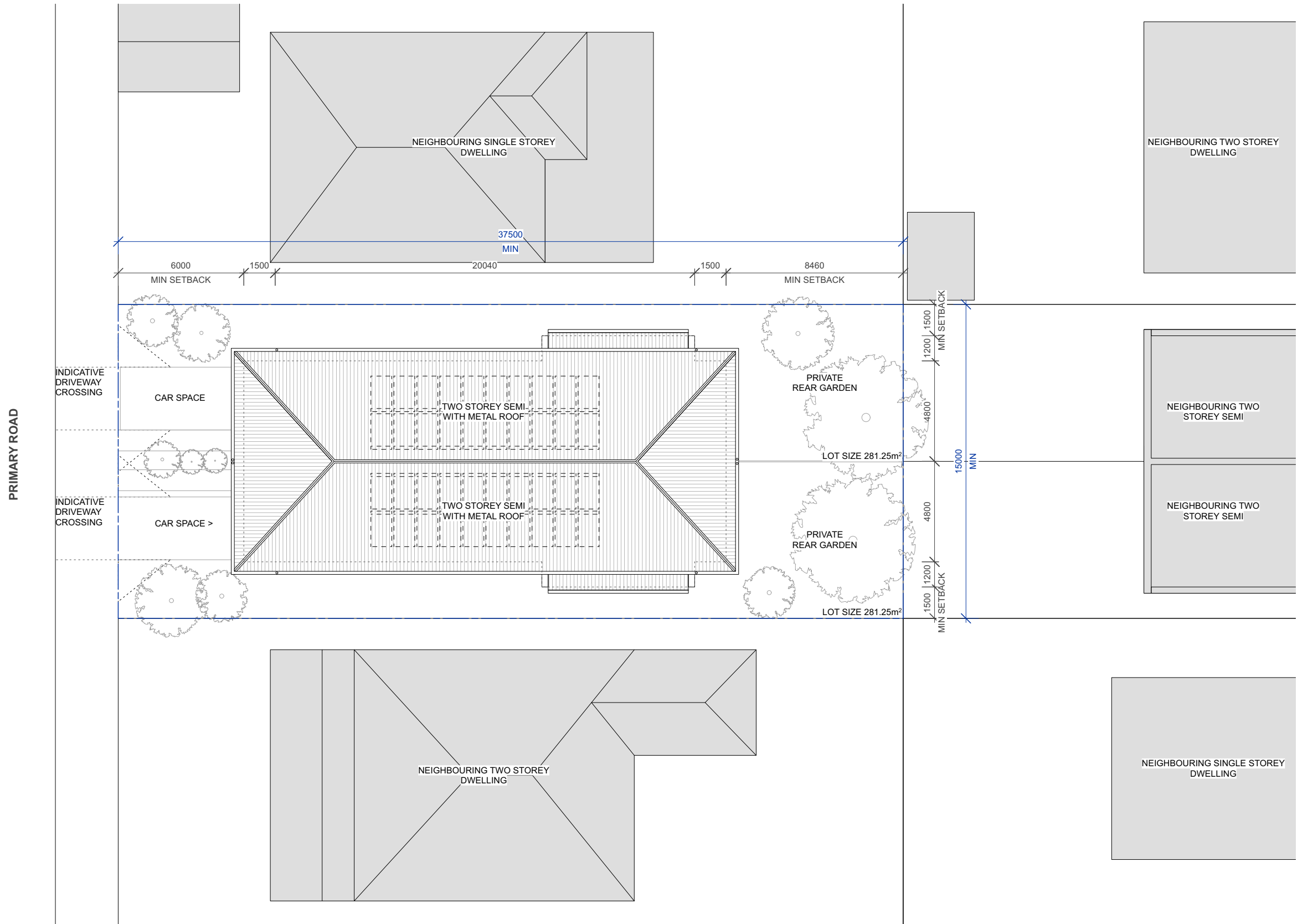
1 ROOF PLAN
A-304 SCALE: 1:100 @ A3



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code **SD01**
Name **Semis 01
by Anthony Gill Architects**

Drawing No. **A-304**
Name **Roof Plan LMR Housing
Area**
Scale **1:100**

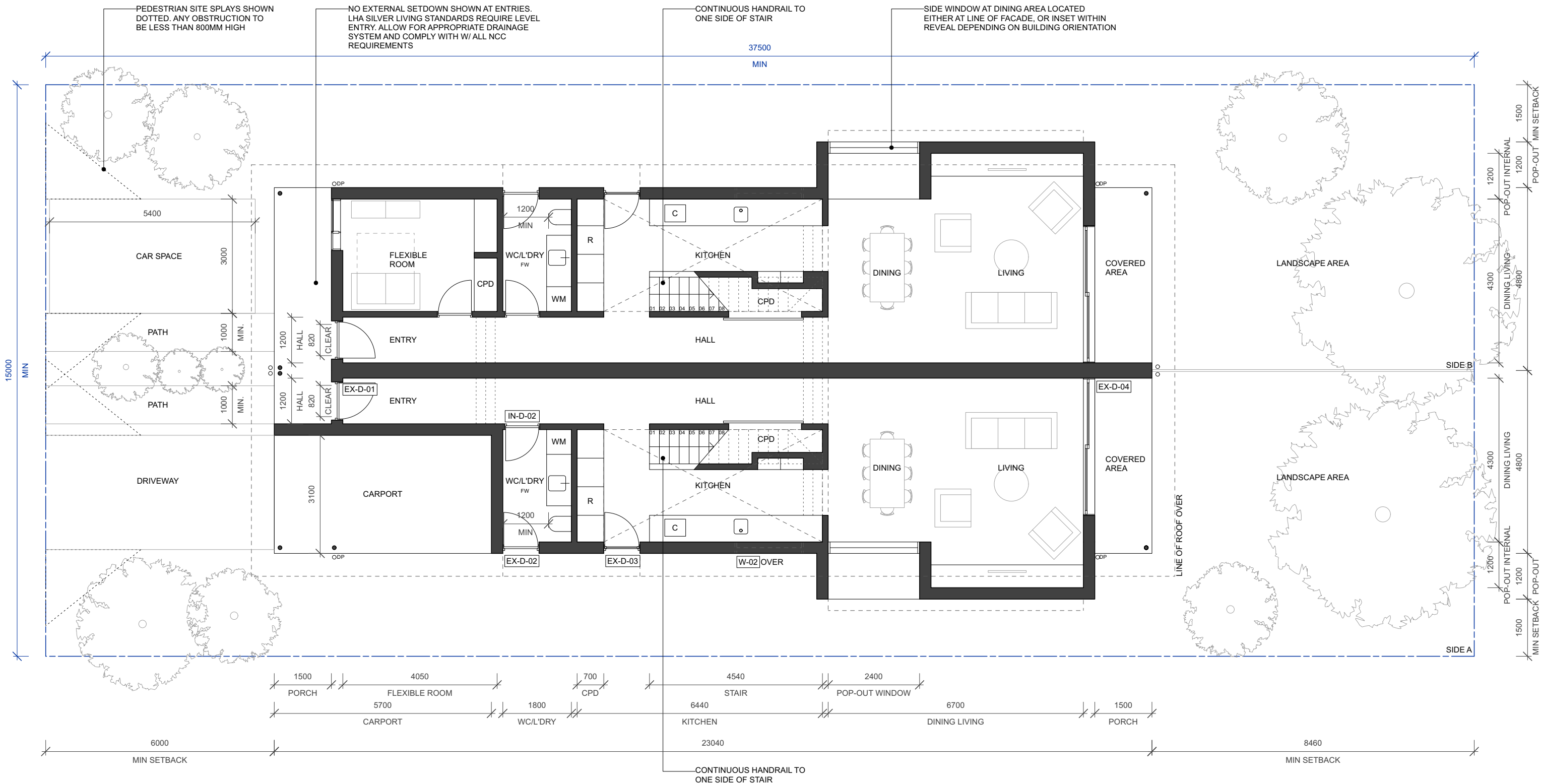


1 SITE PLAN
A-311 SCALE: 1:200 @ A3

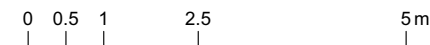
Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

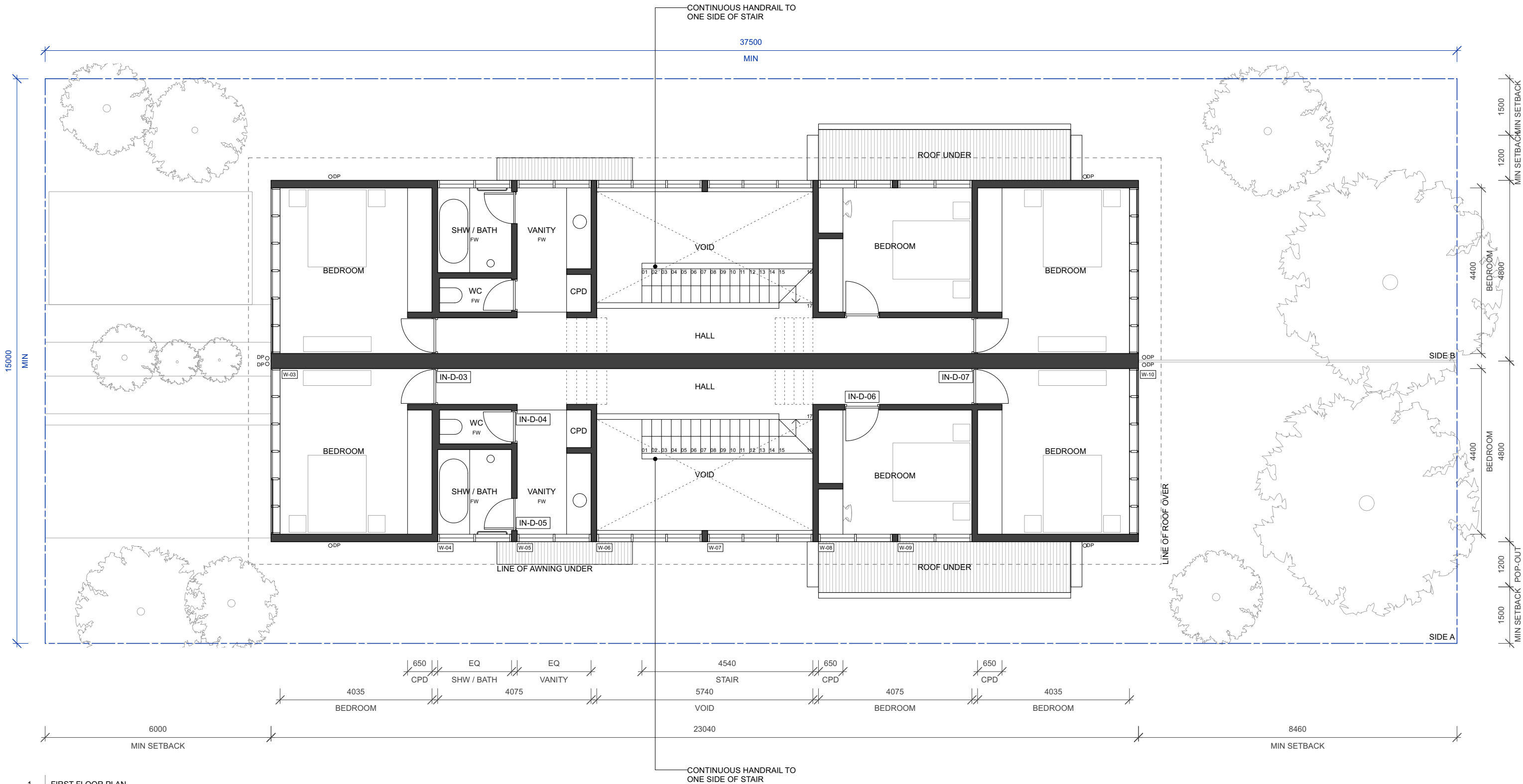
Drawing No.	A-311
Name	Site Plan Non-LMR Housing Area
Scale	1:200



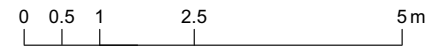
1 GROUND FLOOR PLAN
A-312 SCALE: 1:100 @ A3



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



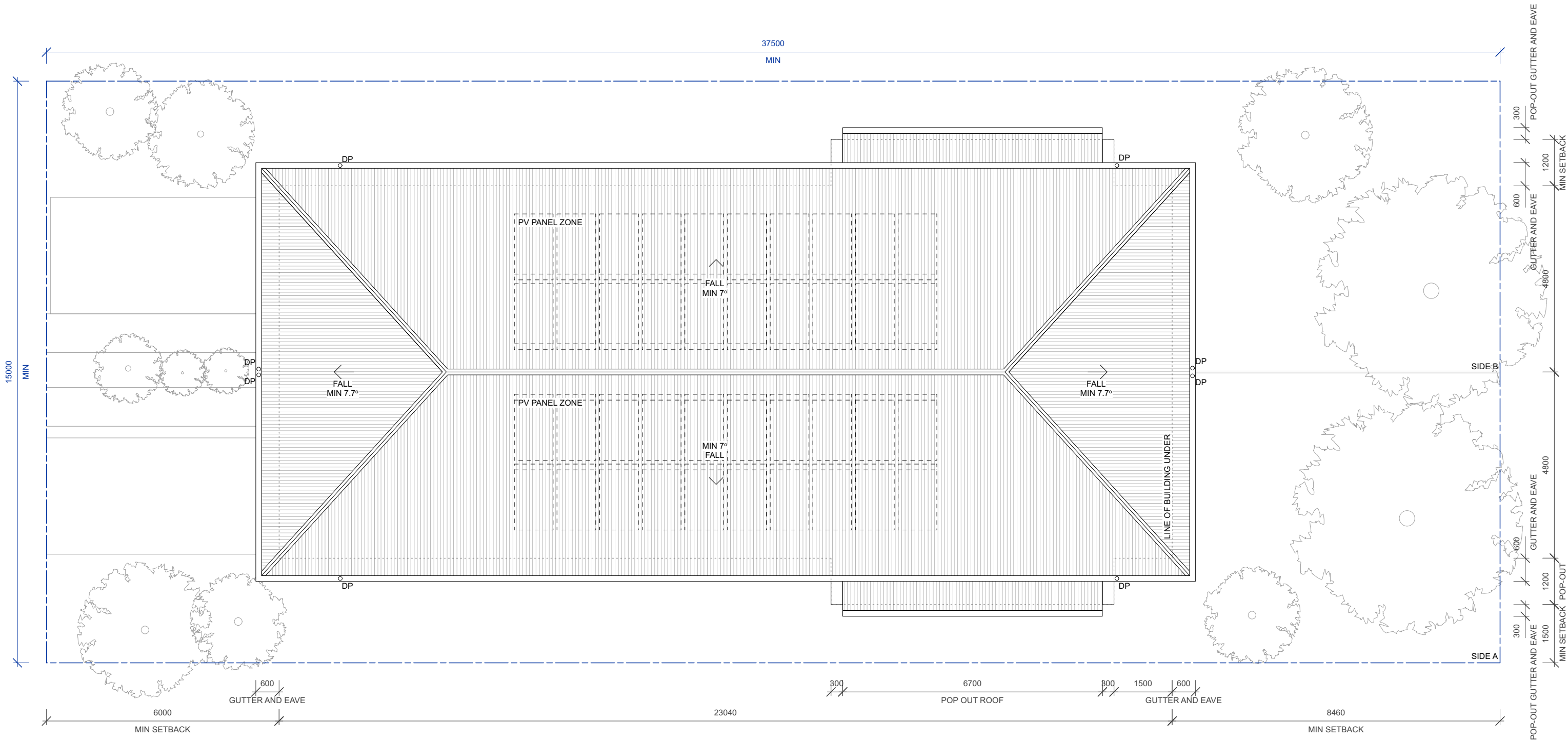
1 FIRST FLOOR PLAN
A-313 SCALE: 1:100 @ A3



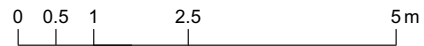
Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

Drawing No.	A-313
Name	First Floor Plan Non-LMR Housing Area
Scale	1:100



1 ROOF PLAN
A-314 SCALE: 1:100 @ A3



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

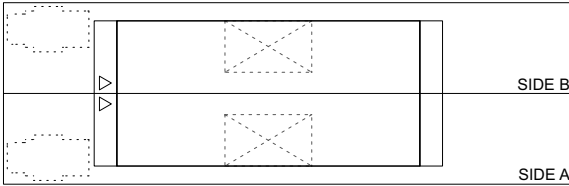
Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

Drawing No.	A-314
Name	Roof Plan Non-LMR Housing Area
Scale	1:100

Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

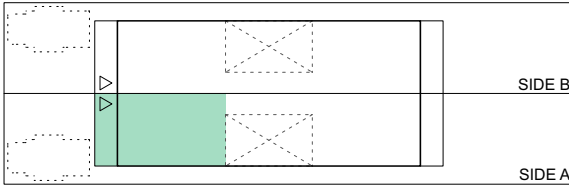
Drawing No.	A-201
Name	Pattern Adaptations Dwellings
Scale	NTS



GROUND FLOOR PLAN - BASE PATTERN LMR AREA

REFER TO DWG A-302 FOR DETAIL

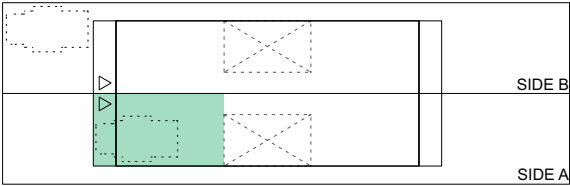
SITE AREA - 225m² MINIMUM (PER DWELLING)
PROPOSED GF GFA - 83.5m² (SIDE A), 83.5m² (SIDE B)



PLAN ADAPTATIONS - GROUND FLOOR 01

REFER TO DWG A-322 FOR DETAIL
ADAPTATION: SUBSTITUTE FLEXIBLE ROOM AND LAUNDRY/WC, W/ GUEST ROOM, ENSUITE, AND CUPBOARD LAUNDRY (ADAPTATION ALLOWED TO BOTH SEMI SIDES)

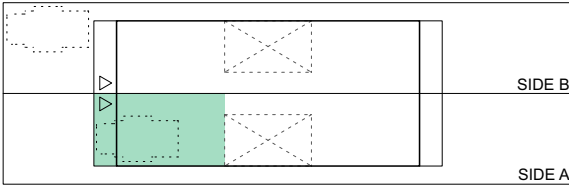
SITE AREA - 225m² MINIMUM (PER DWELLING)
PROPOSED GF GFA - 83.5m² (SIDE A), 83.5m² (SIDE B)



PLAN ADAPTATIONS - GROUND FLOOR 02

REFER TO DWG A-323 FOR DETAIL
ADAPTATION: SUBSTITUTE FLEXIBLE ROOM AND PORCH, W/ UNDERCOVER CARPORT (ADAPTATION ALLOWED TO ONE SEMI SIDE ONLY).

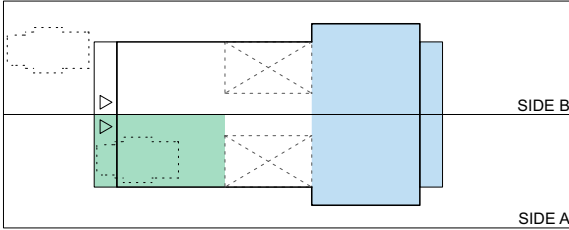
SITE AREA - 225m² MINIMUM (PER DWELLING)
PROPOSED GF GFA - 70.5m² (SIDE A), 83.5m² (SIDE B)



PLAN ADAPTATIONS - GROUND FLOOR 03

REFER TO DWG A-324 FOR DETAIL
ADAPTATION: SUBSTITUTE FLEXIBLE ROOM AND PORCH, W/ GARAGE (ADAPTATION ALLOWED TO ONE SEMI SIDE ONLY).

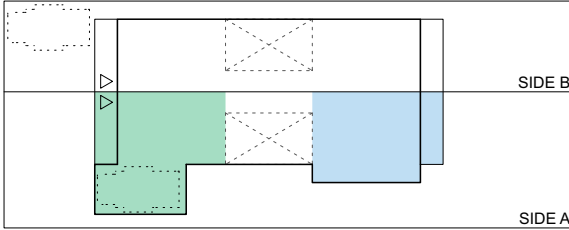
SITE AREA - 225m² MINIMUM (PER DWELLING)
PROPOSED GF GFA - 70m² (SIDE A), 83.5m² (SIDE B)



GROUND FLOOR PLAN - BASE PATTERN NON-LMR AREA

REFER TO DWG A-312 FOR DETAIL
ADAPTATION: (1) SUBSTITUTE FLEXIBLE ROOM AND PORCH, W/ UNDERCOVER CARPORT (ADAPTATION ALLOWED TO ONE SEMI SIDE ONLY).
(2) ADD ADDITIONAL LIVING AND DINING SPACE AT SEMIS' SIDES

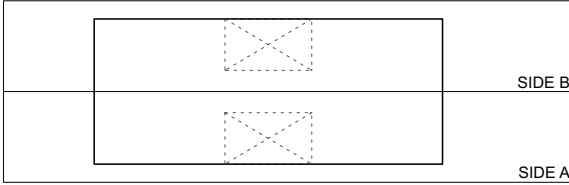
SITE AREA - 281.25m² MINIMUM (PER DWELLING)
PROPOSED GF GFA - 75.5m² (SIDE A), 91.5m² (SIDE B)



PLAN ADAPTATIONS - GROUND FLOOR 04 (NON-LMR AREAS ONLY)

REFER TO DWG A-325 FOR DETAIL
ADAPTATION: (1) ADD GARAGE AT SEMI'S SIDE, FLIP LAUNDRY/WC. (ADAPTATION ALLOWED TO ONE SEMI SIDE ONLY)
(2) ADD ADDITIONAL LIVING AND DINING SPACE AT SEMI'S SIDE (ADAPTATION ALLOWED TO ONE SEMI SIDE ONLY).

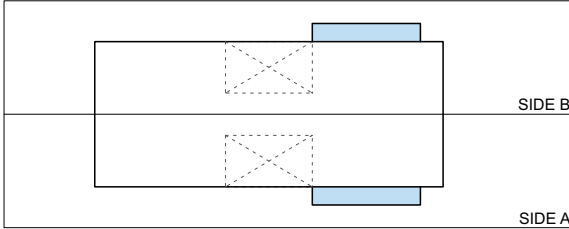
SITE AREA - 337.5m² MINIMUM (SIDE A), 225m² MINIMUM (SIDE B)
PROPOSED GF GFA - 91.5m² (SIDE A), 83.5m² (SIDE B)



FIRST FLOOR PLAN - BASE PATTERN LMR AREA

REFER TO DWG A-303 FOR DETAIL

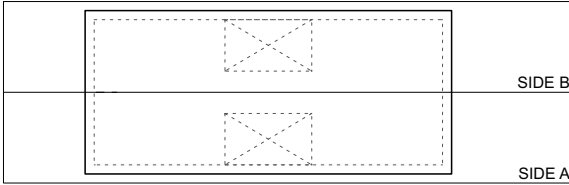
SITE AREA - 225m² MINIMUM (PER DWELLING)
PROPOSED FF GFA - 82m² (SIDE A), 82m² (SIDE B)



FIRST FLOOR PLAN - BASE PATTERN NON-LMR AREA

REFER TO DWG A-313 FOR DETAIL
ADAPTATION: (1) ADD ROOF OVER ADDITIONAL LIVING AND DINING SPACE AT SEMI'S SIDE (ADAPTATION ALLOWED TO BOTH SEMI SIDES)
NOTE: NO ADDITIONAL GFA PROPOSED TO FIRST STOREY ON NON-LMR SITES: FIRST FLOOR INTERNAL LAYOUT AS PER LMR BASE PATTERN OR FIRST FLOOR PLAN ADAPTATIONS 01 OR 02.

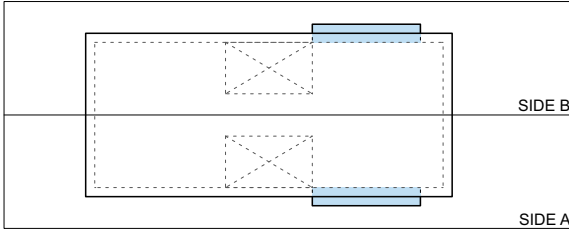
SITE AREA - 281.25m² MINIMUM (PER DWELLING)
PROPOSED FF GFA - 82m² (SIDE A), 82m² (SIDE B)



ROOF PLAN - BASE PATTERN LMR AREA

REFER TO DWG A-304 FOR DETAIL

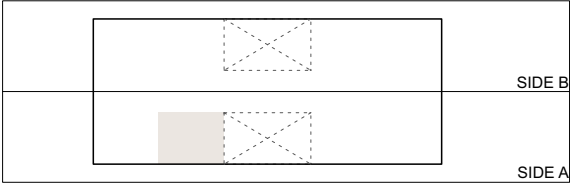
SITE AREA - 225m² MINIMUM (PER DWELLING)
PROPOSED ROOF AREA - 125.5m² (PER DWELLING)



ROOF PLAN - BASE PATTERN NON-LMR AREA

REFER TO DWG A-314 FOR DETAIL
ADAPTATION: (1) ADD ROOF OVER ADDITIONAL LIVING AND DINING SPACE AT SEMIS' SIDES (AT LOWER STOREY).
NOTE: NO CHANGE TO ROOF OVER FIRST FLOOR PROPOSED ON WIDER SITES.

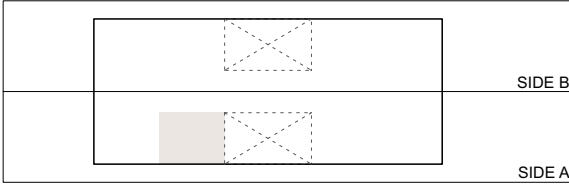
SITE AREA - 281.25m² MINIMUM (PER DWELLING)
PROPOSED ROOF AREA - 135.5m² (PER DWELLING)



PLAN ADAPTATIONS - FIRST FLOOR 01

REFER TO DWG A-326 FOR DETAIL
ADAPTATION: (1) SUBSTITUTE SINGLE FAMILY BATHROOM FOR ONE ENSUITE AND ONE FAMILY BATHROOM (ADAPTATION ALLOWED TO BOTH SEMI SIDES)

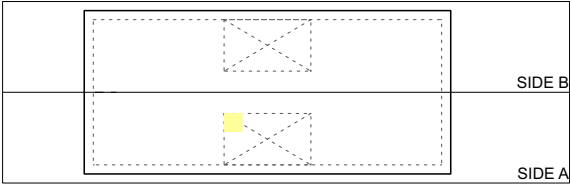
SITE AREA - 225m² MINIMUM (PER DWELLING)
PROPOSED FF GFA - 82m² (SIDE A), 82m² (SIDE B)



PLAN ADAPTATIONS - FIRST FLOOR 02

REFER TO DWG A-327 FOR DETAIL
ADAPTATION: (1) SUBSTITUTE SINGLE FAMILY BATHROOM FOR ONE SMALLER FAMILY BATHROOM AND ONE STUDY (ADAPTATION ALLOWED TO BOTH SEMI SIDES)

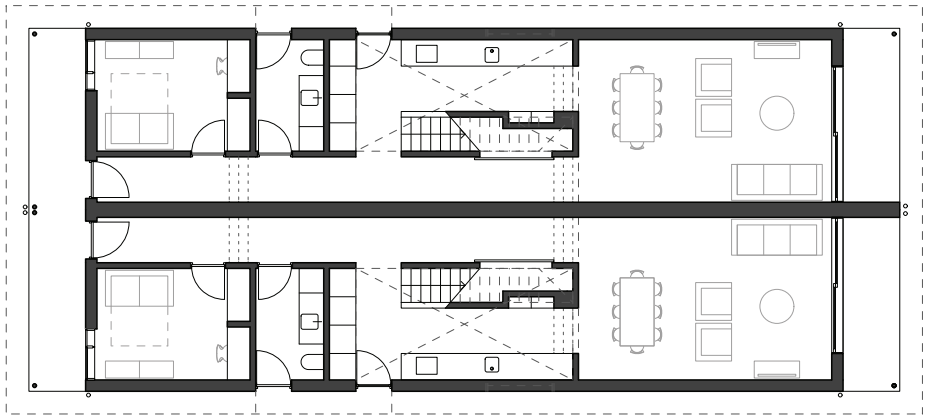
SITE AREA - 225m² MINIMUM (PER DWELLING)
PROPOSED FF GFA - 82m² (SIDE A), 82m² (SIDE B)



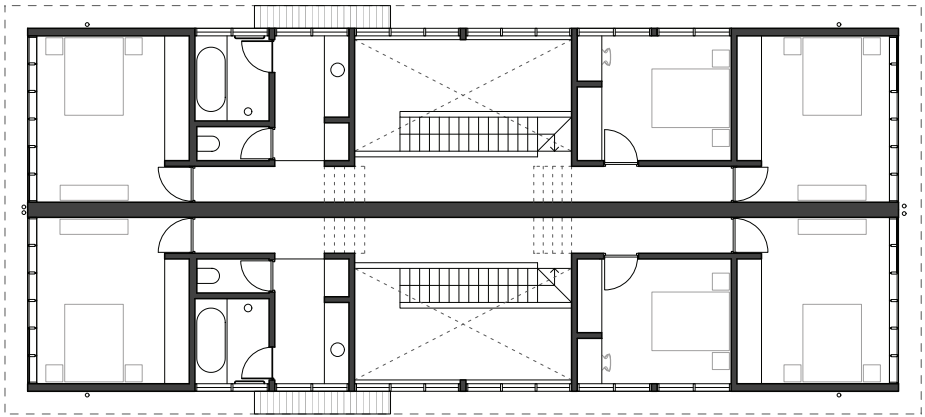
PLAN ADAPTATIONS - ROOF PLAN 01

REFER TO DWG A-328 FOR DETAIL
ADAPTATION: (1) ADD SKYLIGHT OVER CENTRAL VOID WHEN KITCHEN WINDOWS ARE ORIENTED SOUTH

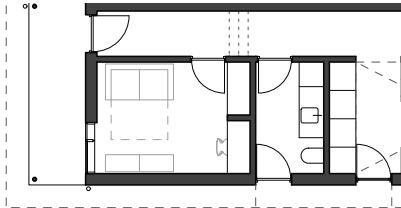
SITE AREA - 225m² MINIMUM (PER DWELLING)
PROPOSED ROOF AREA - 125.5m² (PER DWELLING)



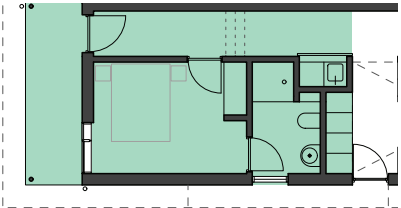
BASE PATTERN:
GROUND FLOOR PLAN (LMR HOUSING AREA)



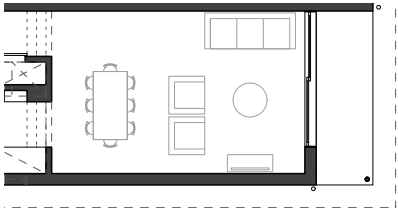
BASE PATTERN:
FIRST FLOOR PLAN (LMR HOUSING AREA)



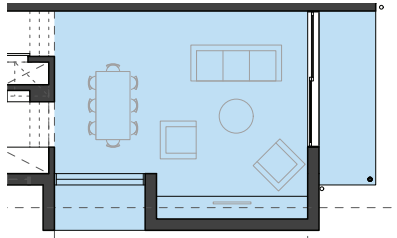
GROUND FLOOR FRONT - BASE MODULE:
PORCH, FLEXIBLE ROOM AND LAUNDRY/WC
LOCATED AT FRONT OF HOUSE



ADAPTATION MODULE: (FOR ALL SITES)
SUBSTITUTE FLEXIBLE ROOM AND LAUNDRY/WC,
W/ GUEST ROOM, ENSUITE, AND CUPBOARD LAUNDRY.
(ADAPTATION ALLOWED TO BOTH SEMI SIDES)

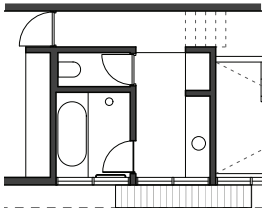


GROUND FLOOR REAR - BASE MODULE:
DINING, LIVING AND COVERED REAR PORCH

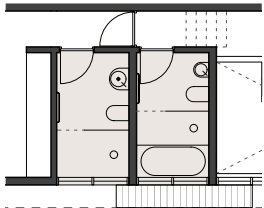


ADAPTATION MODULE: (FOR NON-LMR SITES ONLY)
ADD ADDITIONAL LIVING AND DINING SPACE
AT SEMI'S SIDE. (ADAPTATION ALLOWED
TO BOTH SEMI SIDES)

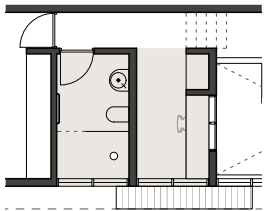
SIDE WINDOW AT DINING AREA LOCATED
EITHER AT LINE OF FACADE, OR INSET WITHIN
REVEAL AS SHOWN DEPENDING ON
BUILDING ORIENTATION



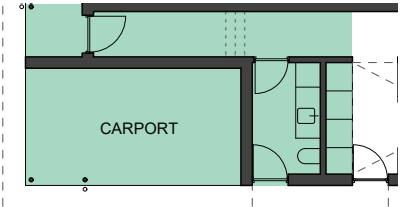
FIRST FLOOR - BASE MODULE:
SINGLE FAMILY BATH W/ SEPARATE
SHW/BATH, WC AND VANITY



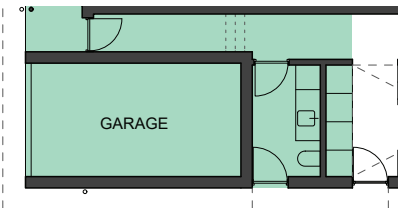
ADAPTATION MODULE: (FOR ALL SITES)
SUBSTITUTE SINGLE FAMILY BATHROOM FOR
ONE ENSUITE AND ONE BATHROOM. (ADAPTATION
ALLOWED TO BOTH SEMI SIDES)



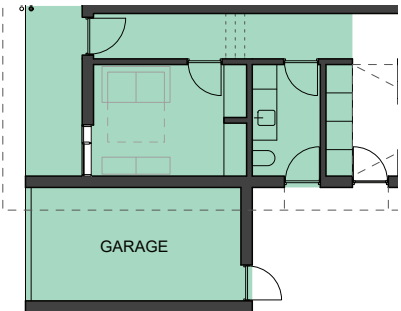
ADAPTATION MODULE: (FOR ALL SITES)
SUBSTITUTE SINGLE FAMILY BATHROOM
WITH SMALLER FAMILY BATHROOM AND STUDY.
(ADAPTATION ALLOWED TO BOTH SEMI SIDES)



ADAPTATION MODULE: (FOR ALL SITES)
SUBSTITUTE FLEXIBLE ROOM AND PORCH
W/ UNDERCOVER CARPORT. (ADAPTATION
ALLOWED TO ONE SEMI SIDE ONLY)



ADAPTATION MODULE: (FOR ALL SITES)
SUBSTITUTE FLEXIBLE ROOM AND PORCH
W/ GARAGE, ENTRY HALL WAY NARROWS. (ADAPTATION
ALLOWED TO ONE SEMI SIDE ONLY)

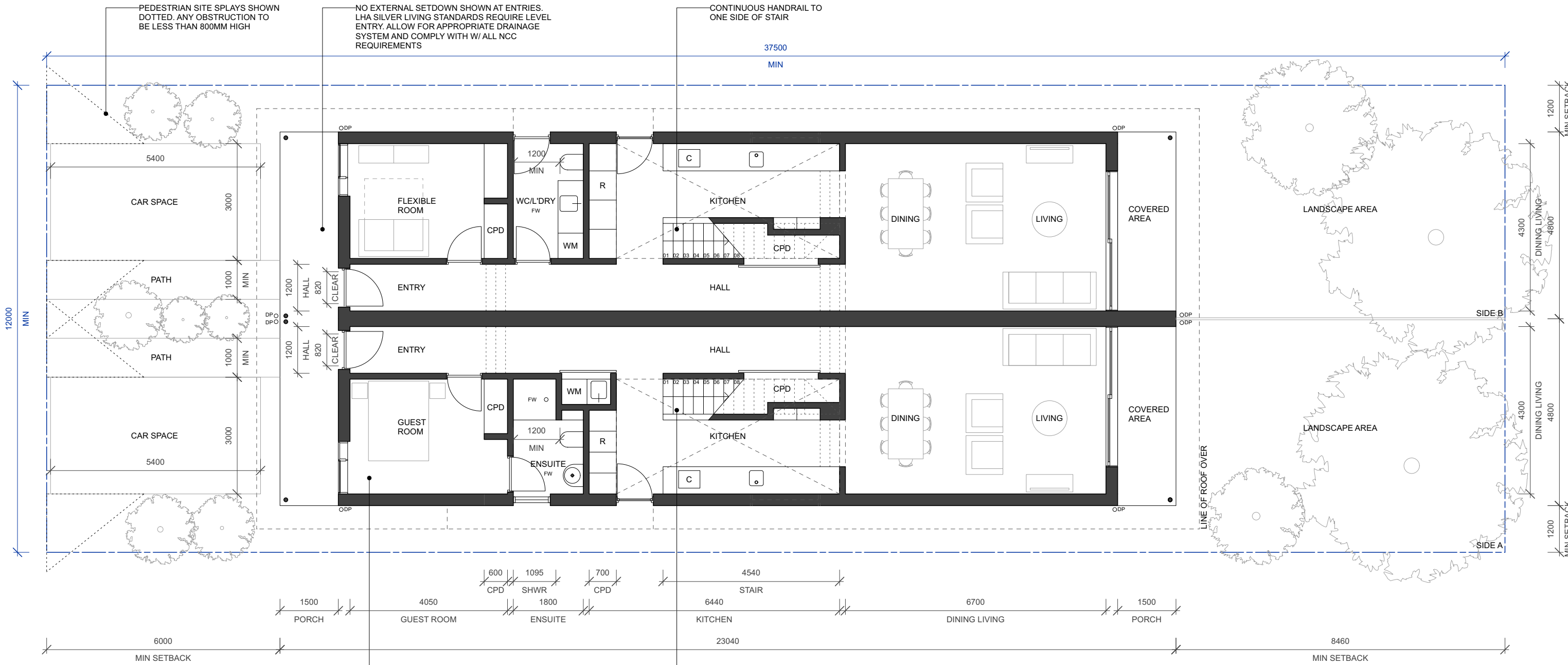
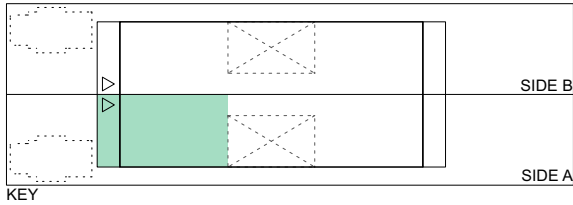


ADAPTATION MODULE: (FOR NON-LMR SITES ONLY)
ADD GARAGE AT SEMI'S SIDE, FLIP LAUNDRY/WC.
(ADAPTATION ALLOWED TO ONE SEMI SIDE ONLY)

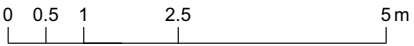
Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

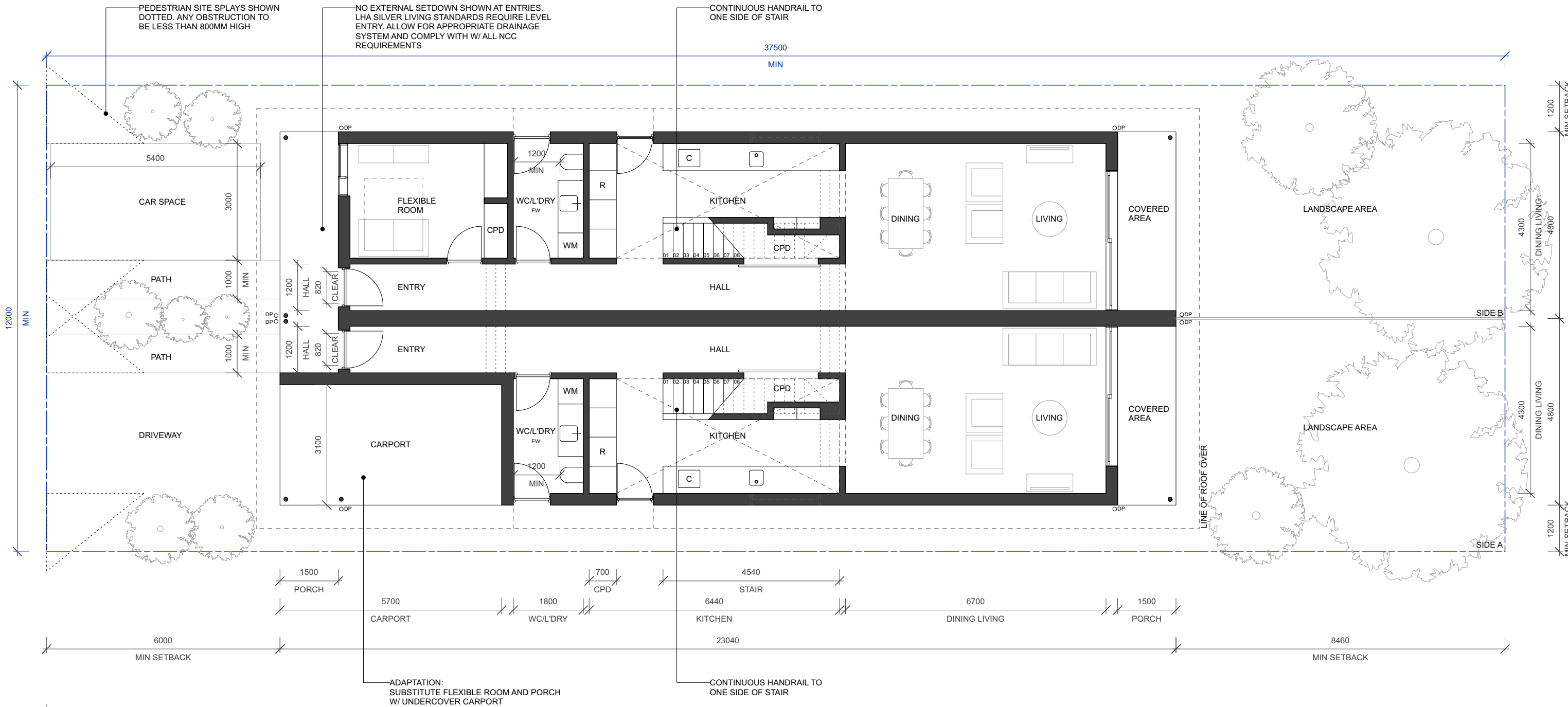
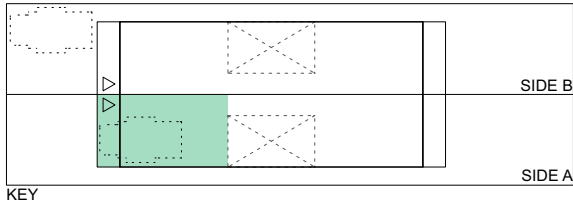
Drawing No.	A-321
Name	Plan Adaptations
Scale	1:200



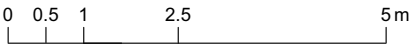
1 GROUND FLOOR PLAN
A-322 SCALE: 1:100 @ A3



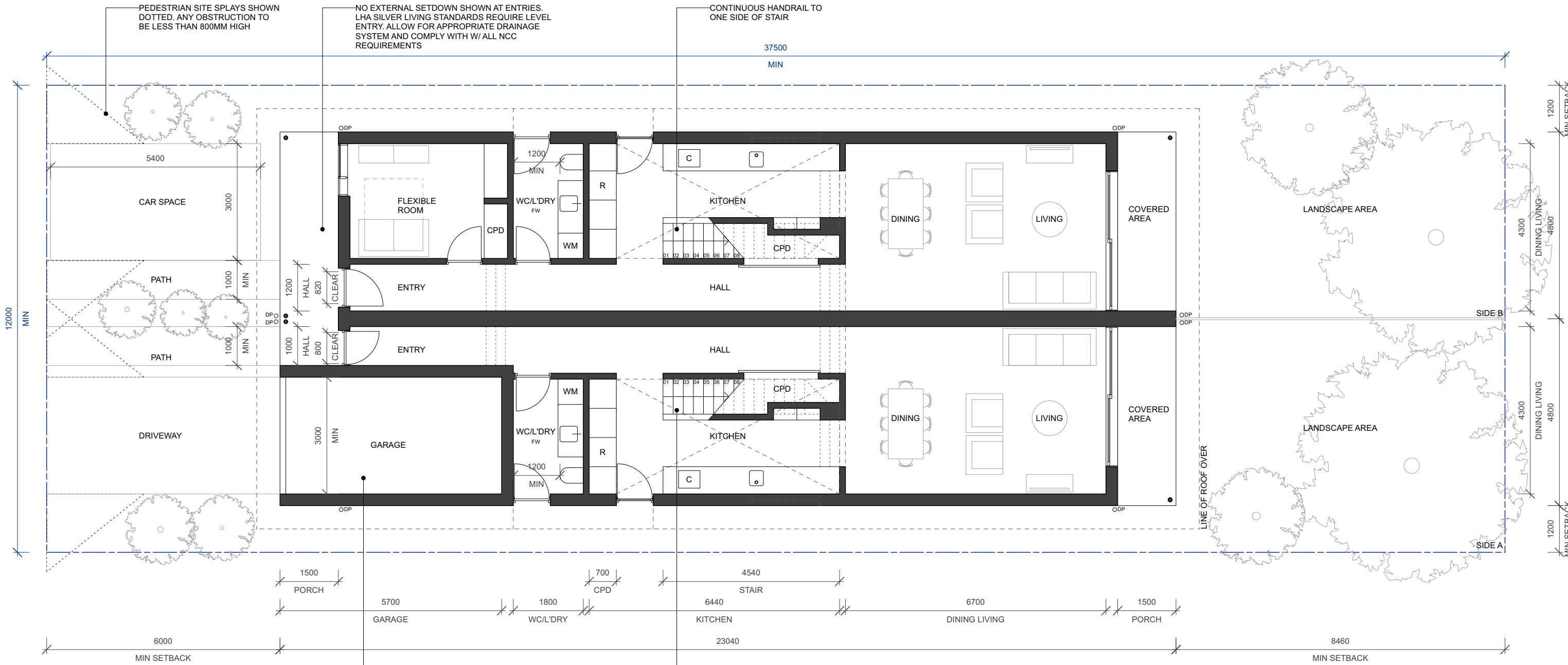
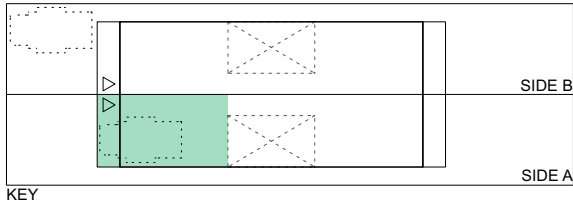
Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



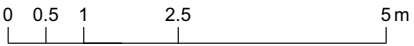
1 GROUND FLOOR PLAN
A-323 SCALE: 1:100 @ A3



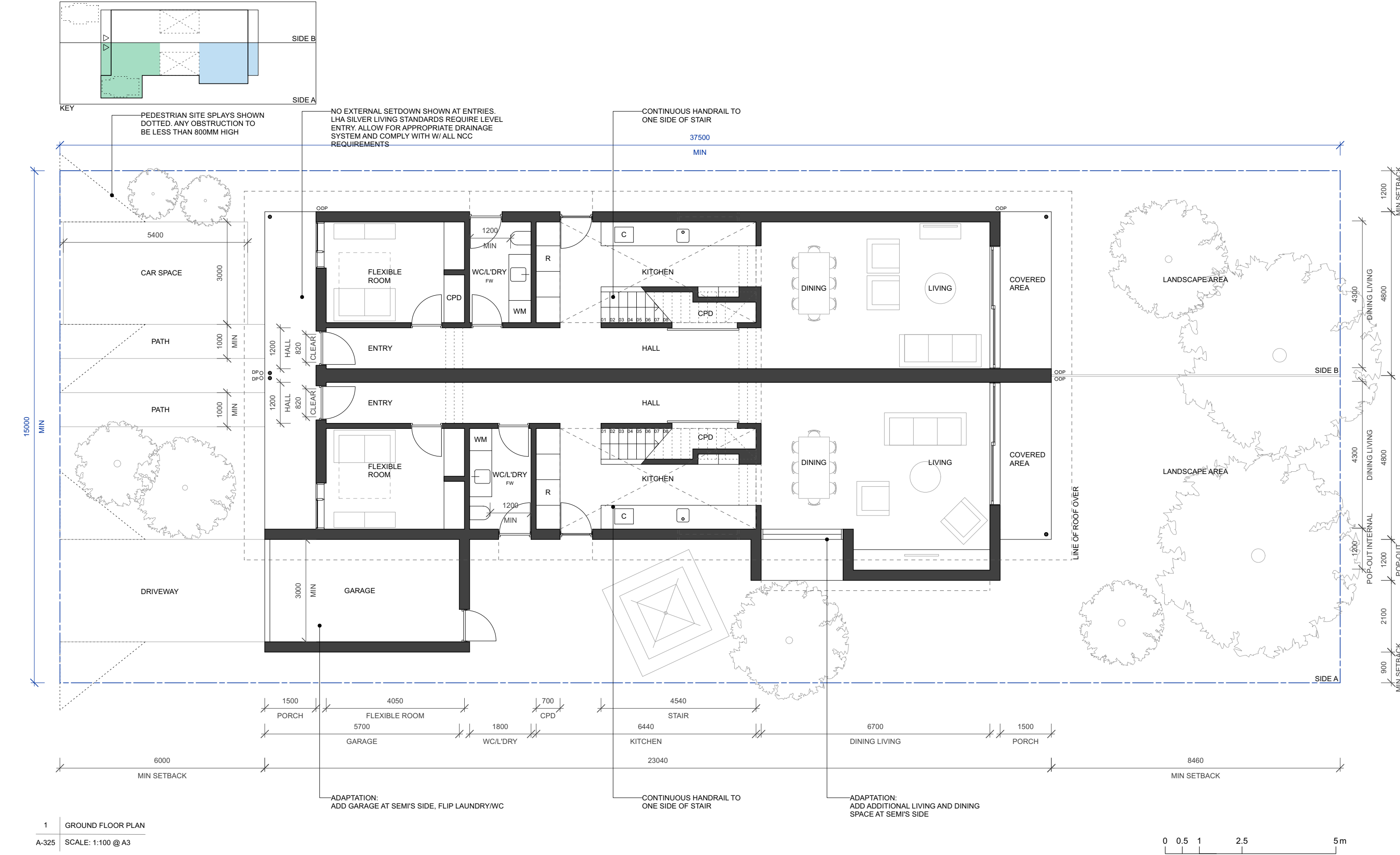
Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



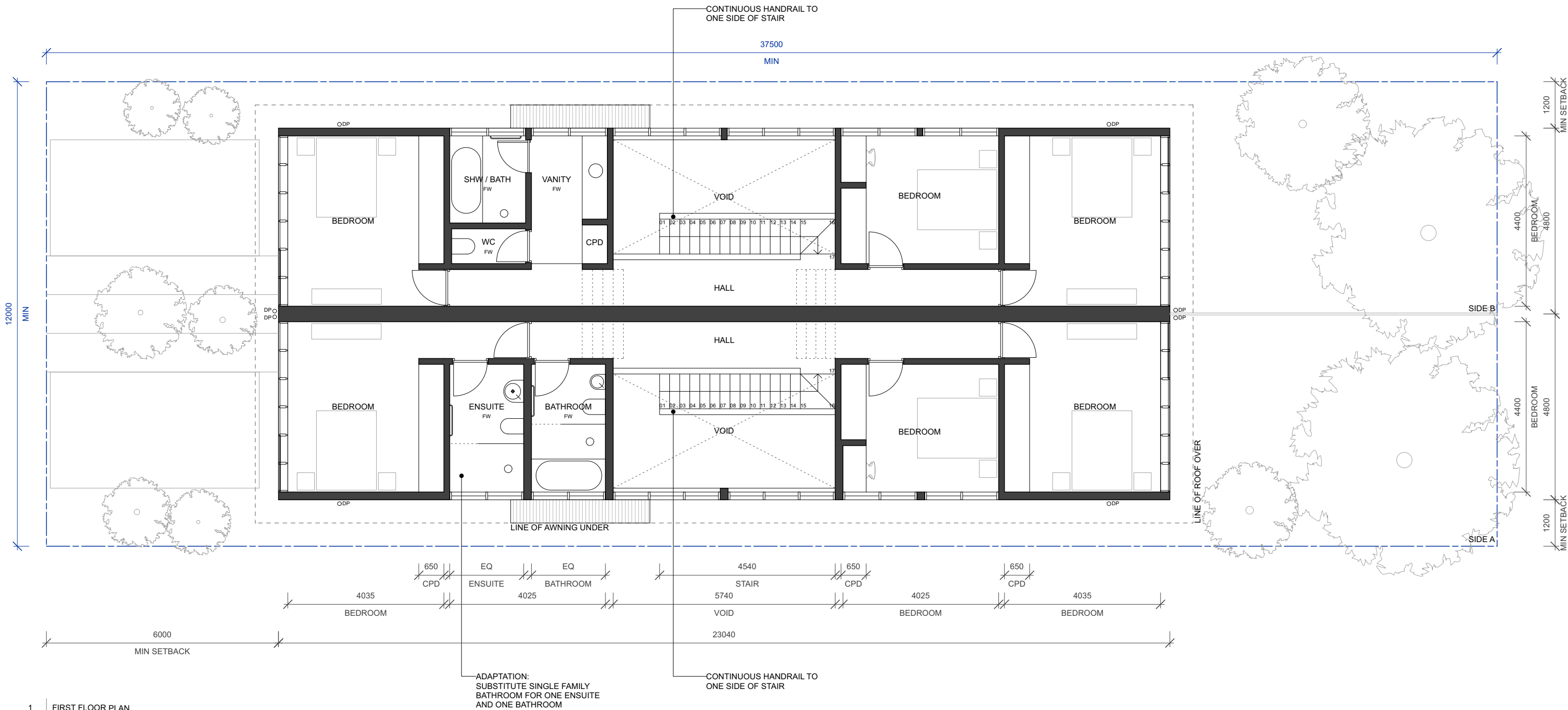
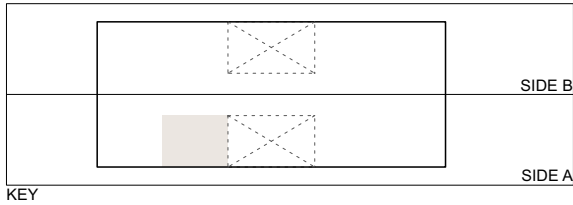
1 GROUND FLOOR PLAN
A-324 SCALE: 1:100 @ A3



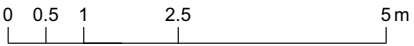
Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



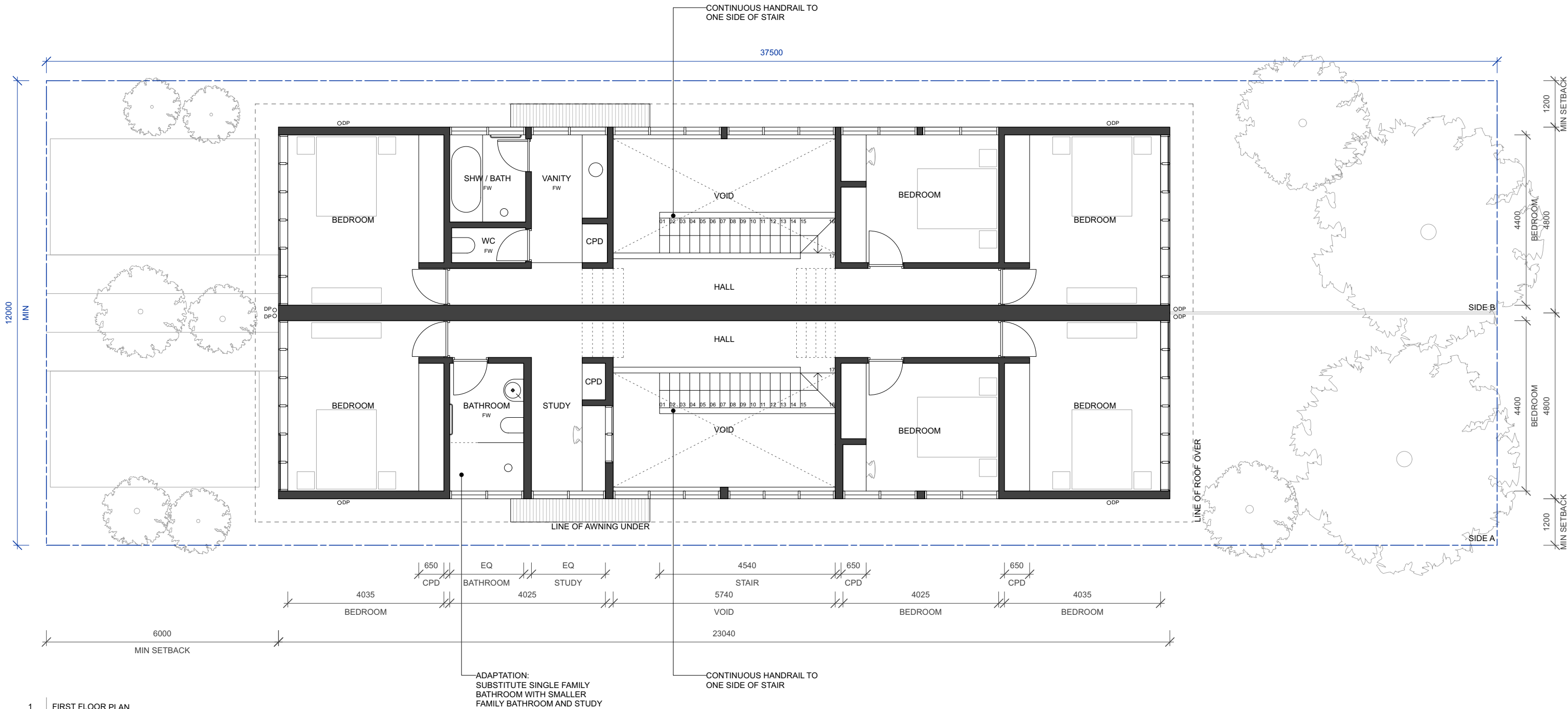
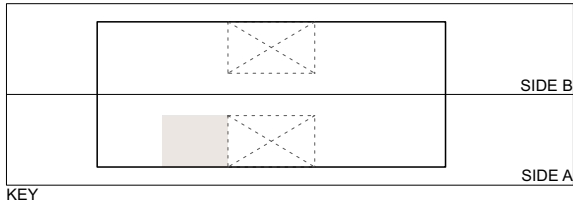
1 FIRST FLOOR PLAN
A-326 SCALE: 1:100 @ A3



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Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

Drawing No.	A-326
Name	Plan Adaptations First Floor 01
Scale	1:100



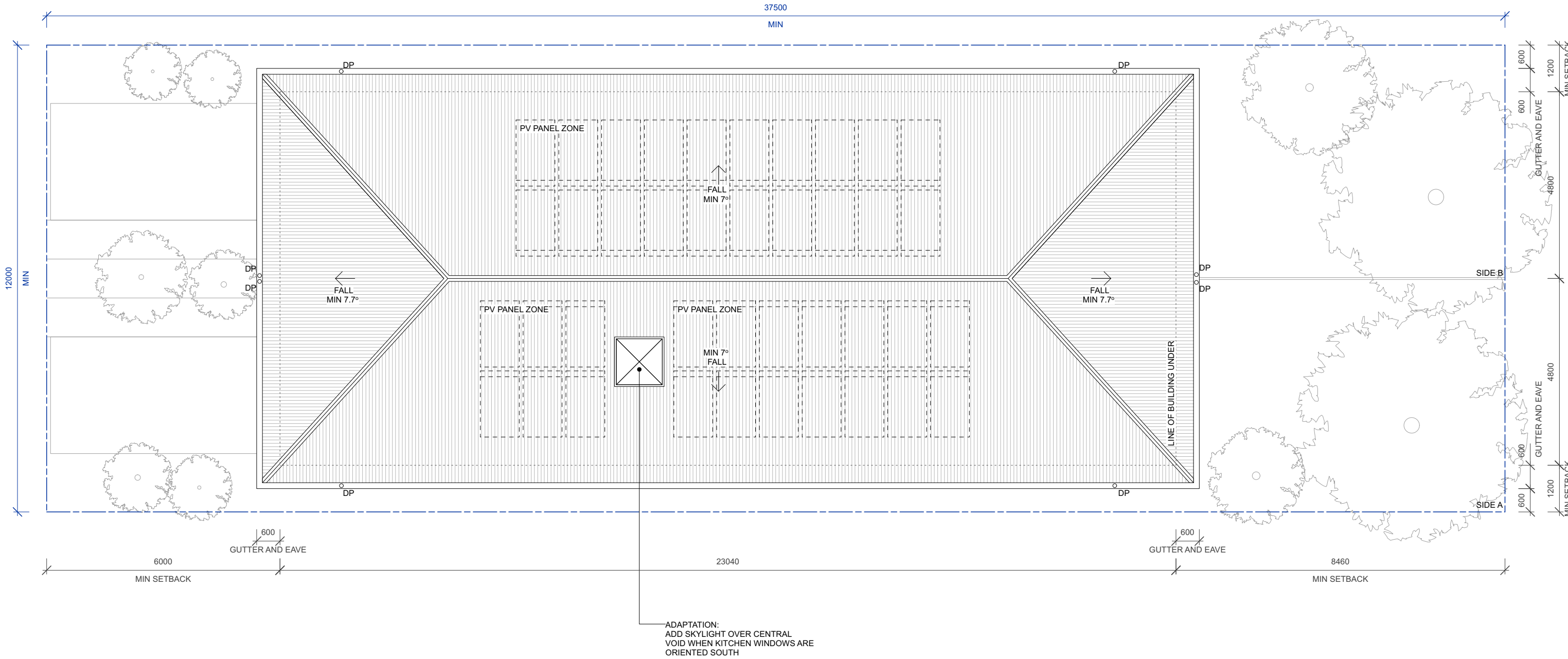
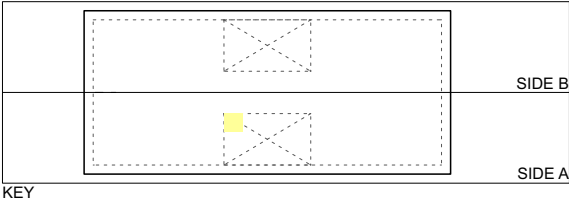
1 FIRST FLOOR PLAN
A-327 SCALE: 1:100 @ A3



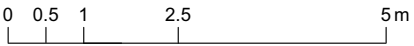
Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

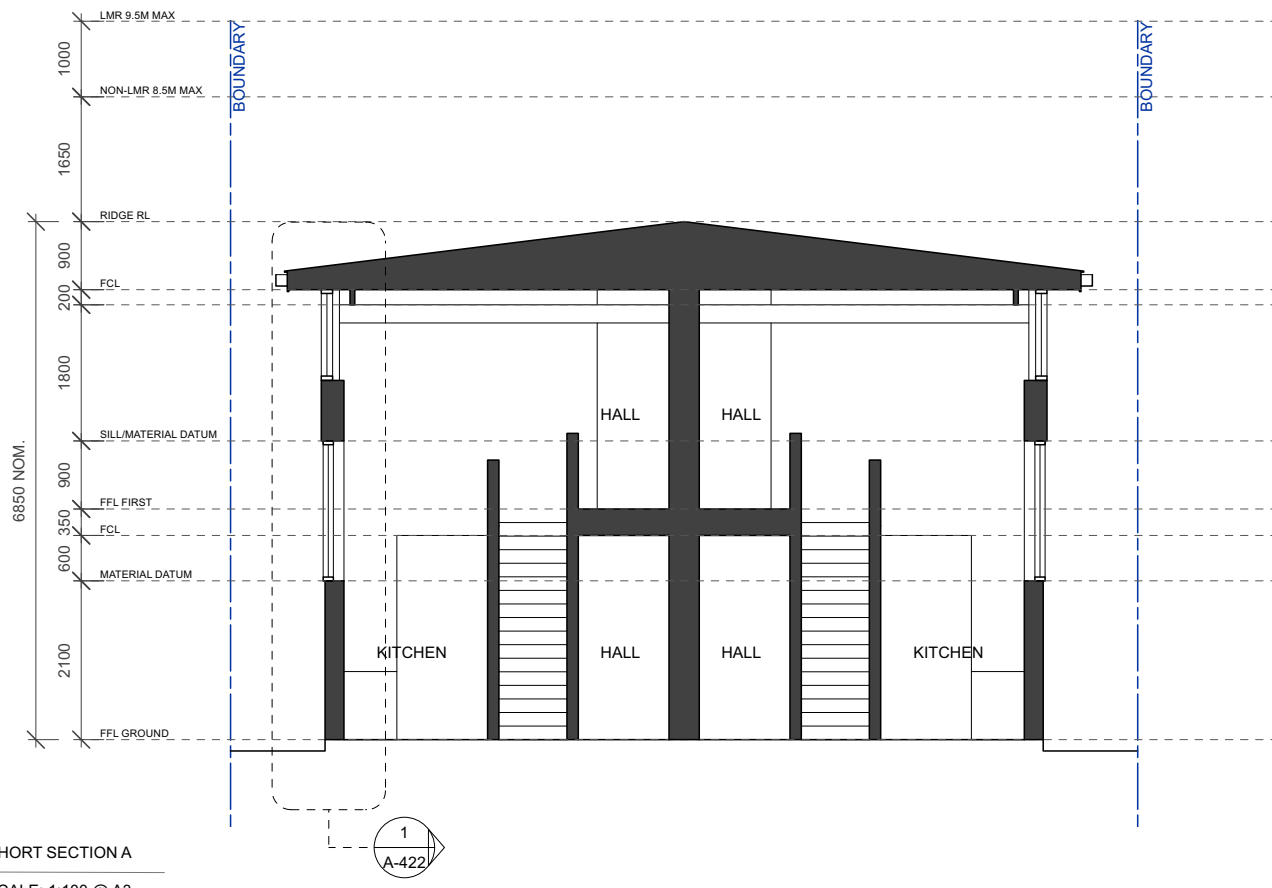
Drawing No.	A-327
Name	Plan Adaptations First Floor 02
Scale	1:100



1 ROOF PLAN
A-328 SCALE: 1:100 @ A3



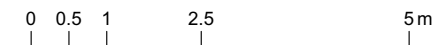
Rev	Date	Description
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1 | SHORT SECTION A
A-331 | SCALE: 1:100 @ A3



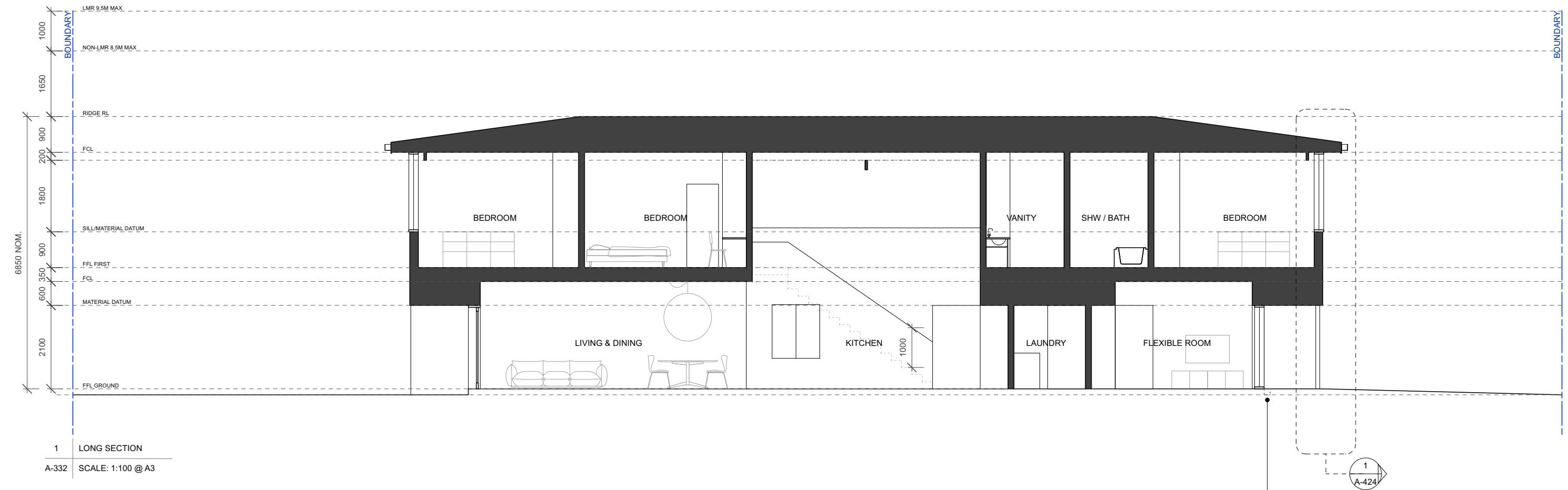
2 | SHORT SECTION B
A-331 | SCALE: 1:100 @ A3



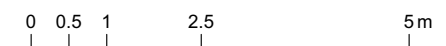
Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

Drawing No.	A-331
Name	Sections Short
Scale	1:100



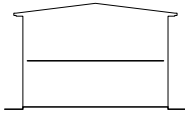
NO EXTERNAL SETDOWN SHOWN AT ENTRY. LHA SILVER LIVING STANDARDS REQUIRE LEVEL ENTRY. ALLOW FOR APPROPRIATE DRAINAGE SYSTEM AND COMPLY WITH W/ ALL NCC REQUIREMENTS



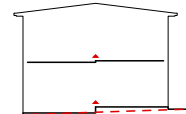
Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

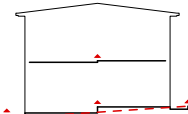
Drawing No.	A-332
Name	Sections Long
Scale	1:100



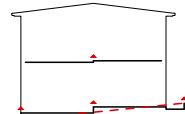
BASE PATTERN - NO SITE FALL SIDE TO SIDE
REFER TO DWGS A-331 AND A-341 FOR DETAIL
GROUND FLOOR: NO STEP IN FLOOR PLATE BETWEEN SEMIS
FIRST FLOOR: NO STEP IN FLOOR PLATE BETWEEN SEMIS



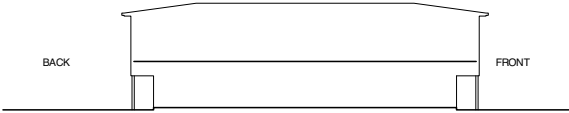
400 SITE FALL SIDE TO SIDE
REFER TO DWG A-334
GROUND FLOOR: 400 STEP IN FLOOR PLATE BETWEEN SEMIS
FIRST FLOOR: 100 STEP IN FLOOR PLATE BETWEEN SEMIS



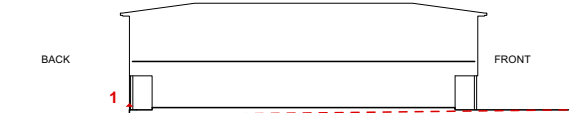
800 SITE FALL SIDE TO SIDE
REFER TO DWG A-334
GROUND FLOOR: 400 STEP IN FLOOR PLATE BETWEEN SEMIS, ADDITIONAL CUT AND FILL AT SEMI SIDES
FIRST FLOOR: 100 STEP IN FLOOR PLATE BETWEEN SEMIS



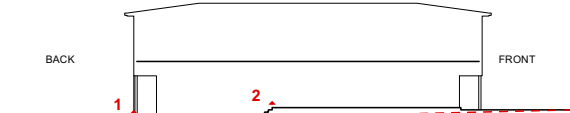
1200 SITE FALL SIDE TO SIDE
REFER TO DWG A-334
GROUND FLOOR: 400 STEP IN FLOOR PLATE BETWEEN SEMIS, ADDITIONAL CUT AND FILL AT SEMI SIDES
FIRST FLOOR: 100 STEP IN FLOOR PLATE BETWEEN SEMIS



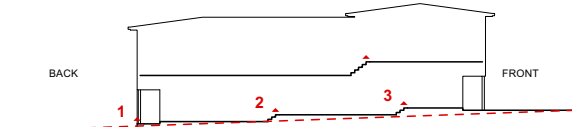
BASE PATTERNS - NO SITE FALL FRONT TO REAR OR REAR TO FRONT
REFER TO DWGS A-332 AND A-342
GROUND FLOOR: NO STEP IN FLOOR PLATE
FIRST FLOOR: NO STEP IN FLOOR PLATE



450 SITE FALL FRONT TO BACK
REFER TO DWGS A-335 AND A-337
GROUND FLOOR ADAPTATION: LEVEL CHANGE ACCOMMODATED BY GF STEPPING POINT 1
FIRST FLOOR: NO STEP IN FLOOR PLATE



900 SITE FALL FRONT TO BACK
REFER TO DWGS A-335 AND A-337
GROUND FLOOR ADAPTATION: LEVEL CHANGE ACCOMMODATED BY GF STEPPING POINT 1, AND GF STEPPING POINT 2
FIRST FLOOR: NO STEP IN FLOOR PLATE



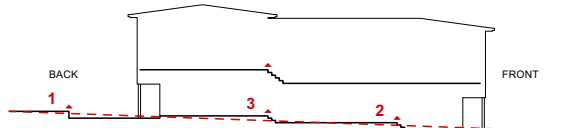
1350 SITE FALL FRONT TO BACK
REFER TO DWGS A-335 AND A-337
GROUND FLOOR ADAPTATION: LEVEL CHANGE ACCOMMODATED BY GF STEPPING POINT 1, GF STEPPING POINT 2, AND GF STEPPING POINT 3
FIRST FLOOR ADAPTATION: ACCOMMODATED ACCOMMODATED BY FF STEPPING POINT, ROOF OVER RAISED TO ACCOMMODATE



450 SITE FALL BACK TO FRONT
REFER TO DWGS A-336 AND A-338
GROUND FLOOR ADAPTATION: LEVEL CHANGE ACCOMMODATED BY GF STEPPING POINT
FIRST FLOOR: NO STEP IN FLOOR PLATE



900 SITE FALL BACK TO FRONT
REFER TO DWGS A-336 AND A-338
GROUND FLOOR ADAPTATION: LEVEL CHANGE ACCOMMODATED BY GF STEPPING POINT 1, AND GF STEPPING POINT 2
FIRST FLOOR: NO STEP IN FLOOR PLATE

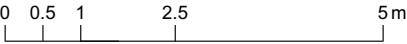
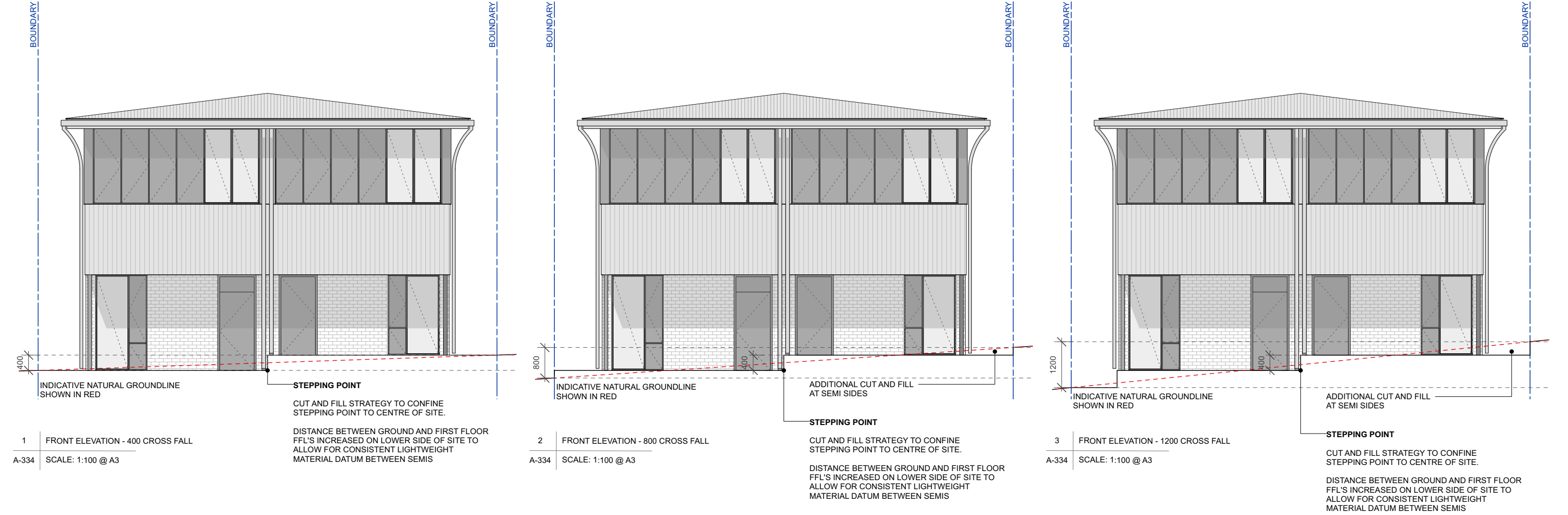


1350 SITE FALL BACK TO FRONT
REFER TO DWGS A-336 AND A-338
GROUND FLOOR ADAPTATION: LEVEL CHANGE ACCOMMODATED BY GF STEPPING POINT 1, GF STEPPING POINT 2, AND GF STEPPING POINT 3
FIRST FLOOR ADAPTATION: ACCOMMODATED ACCOMMODATED BY FF STEPPING POINT, ROOF OVER RAISED TO ACCOMMODATE

Rev	Date	Description
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Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

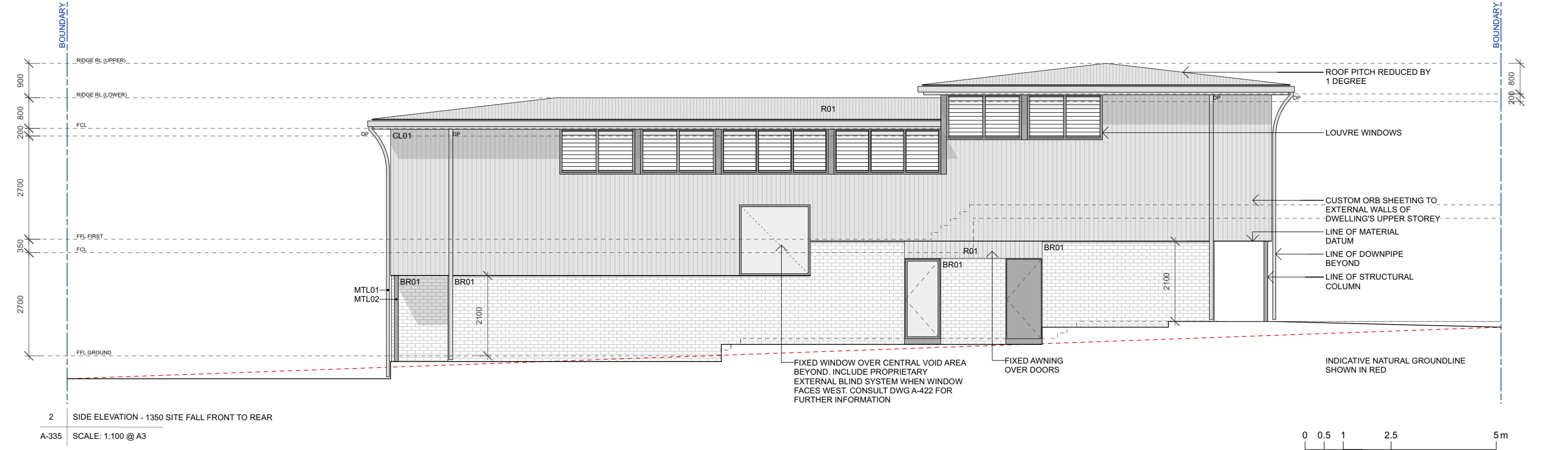
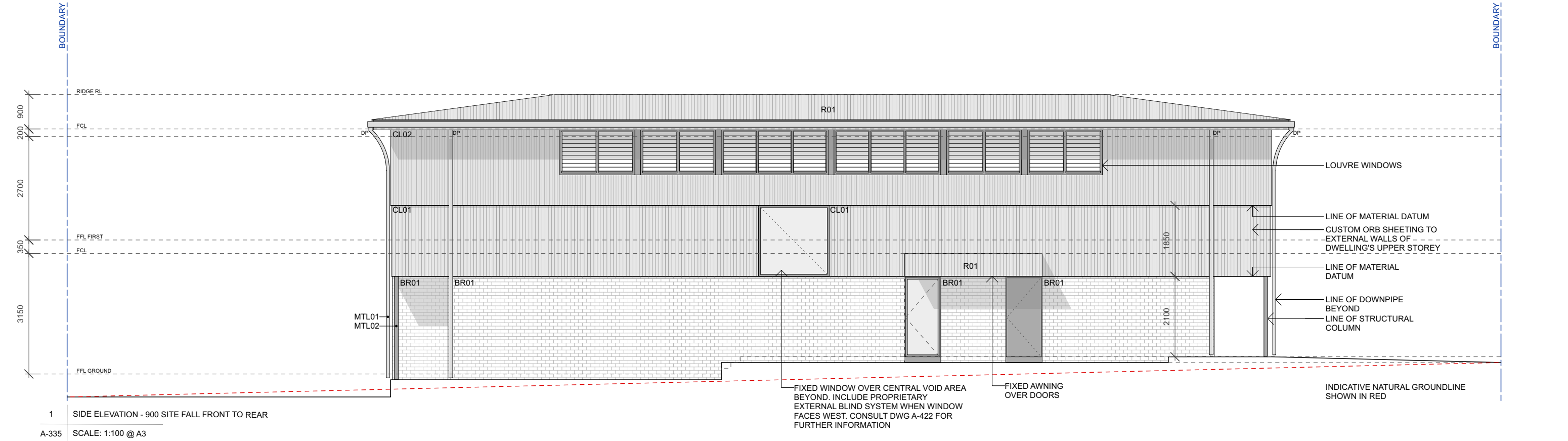
Drawing No.	A-333
Name	Slope Modification
Scale	NTS



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Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

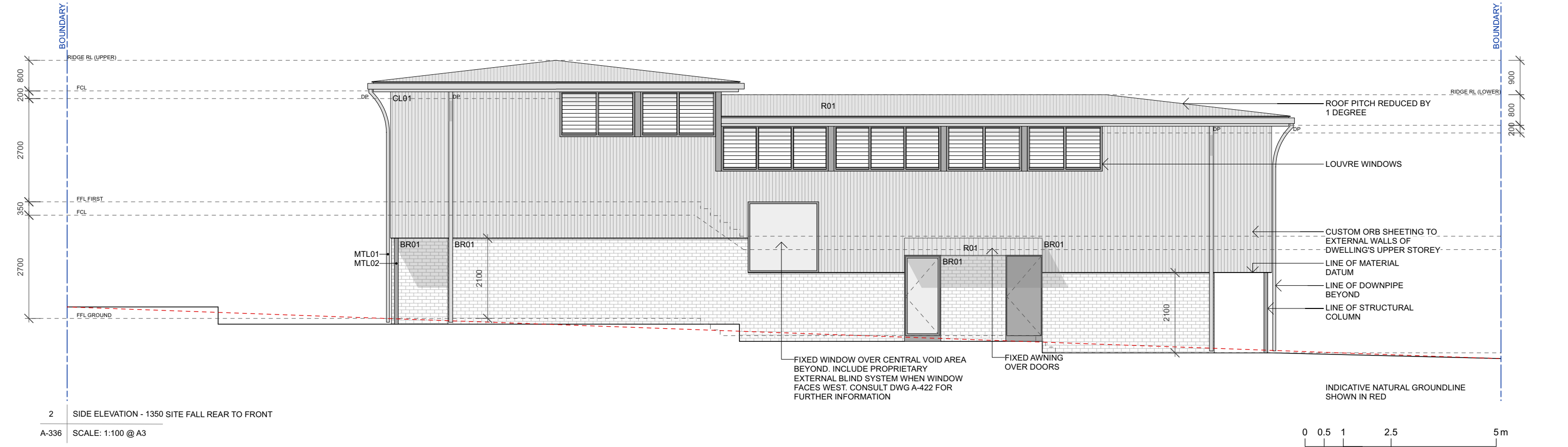
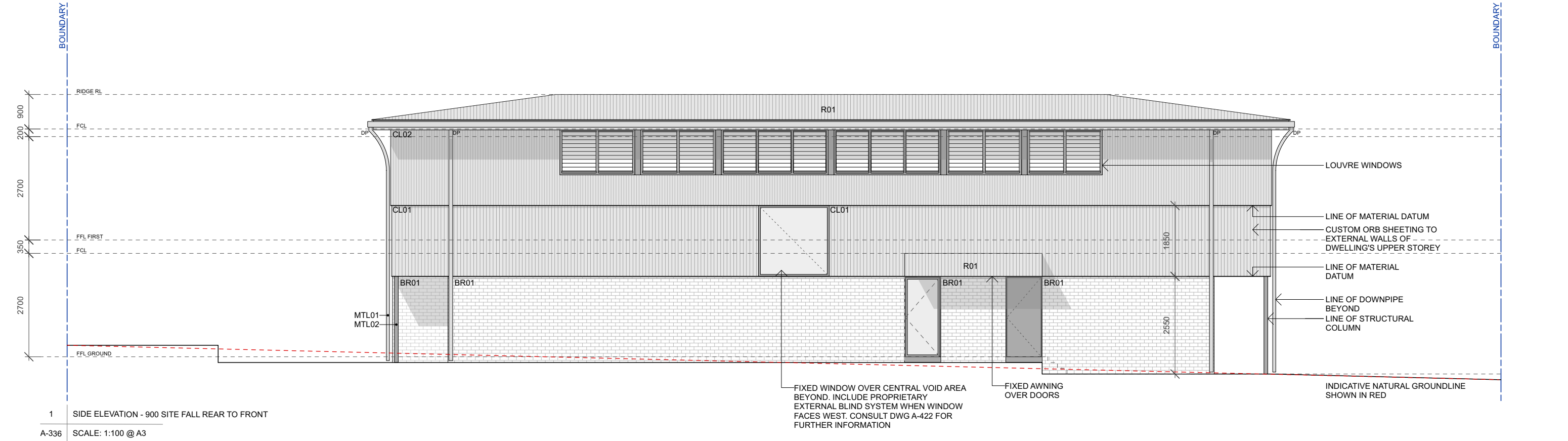
Drawing No.	A-334
Name	Slope Modification Elevations Side to Side
Scale	1:100



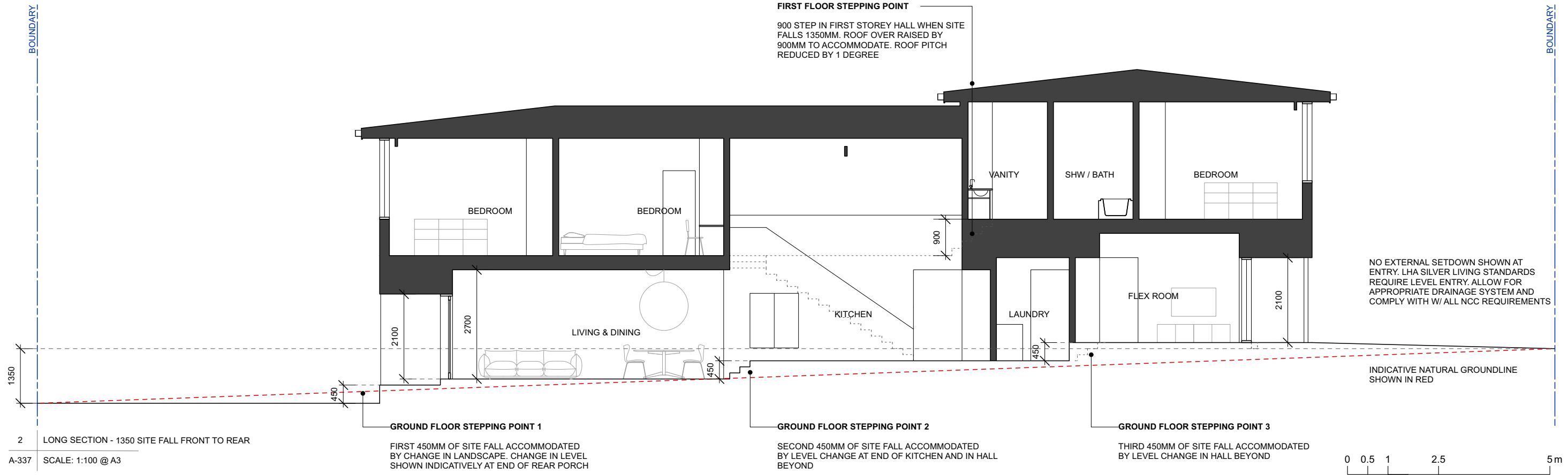
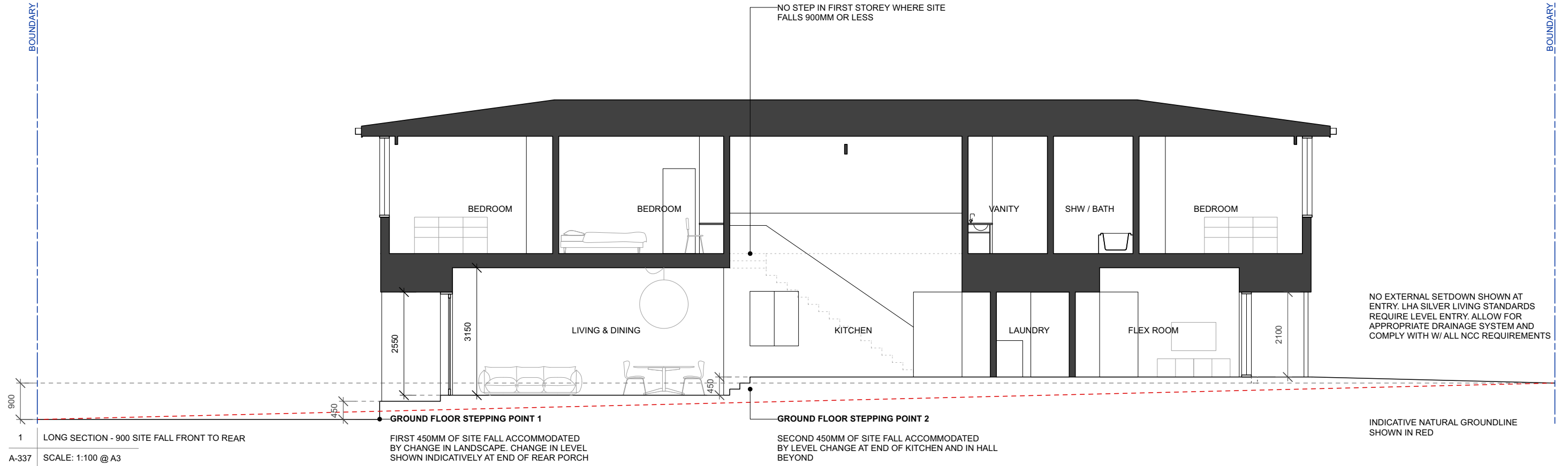
Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

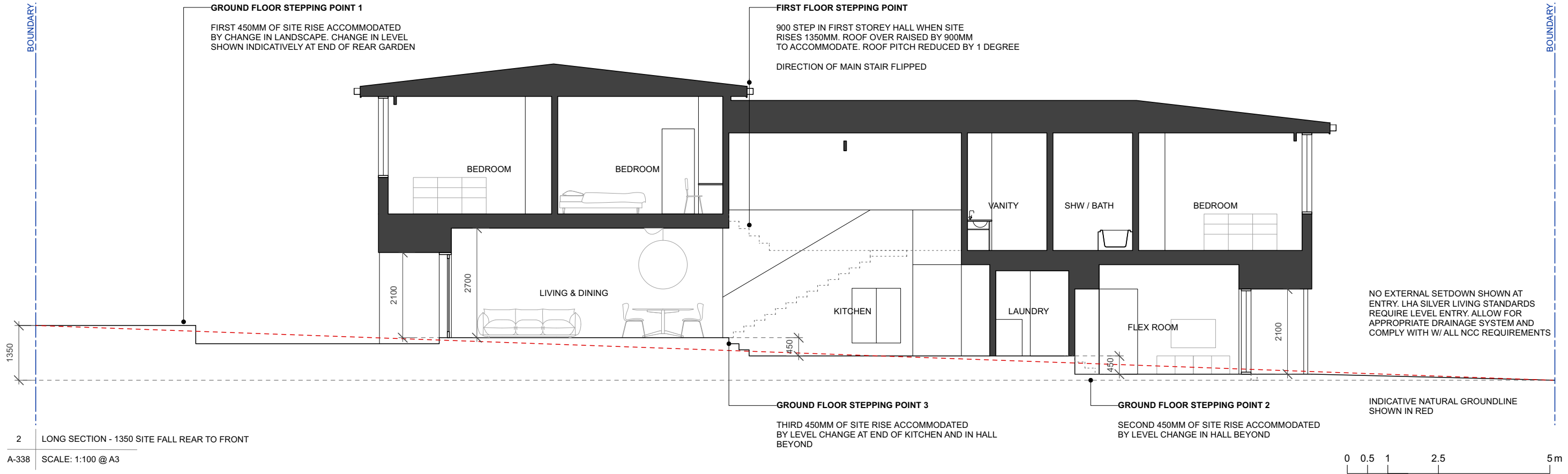
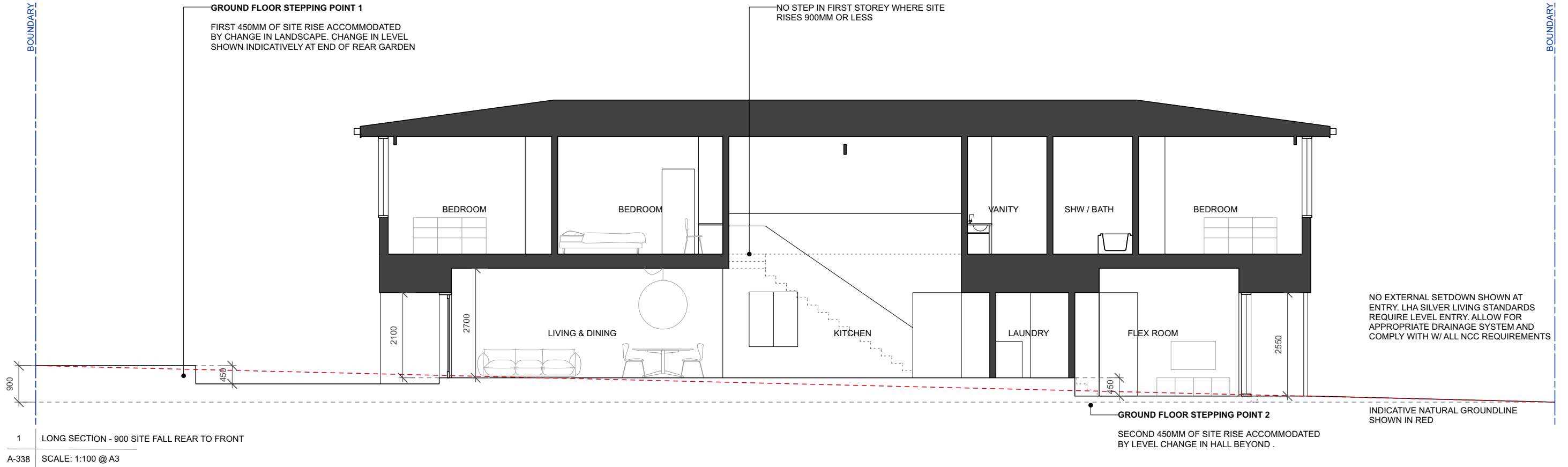
Drawing No.	A-335
Name	Slope Modification Elevations Front to Back
Scale	1:100



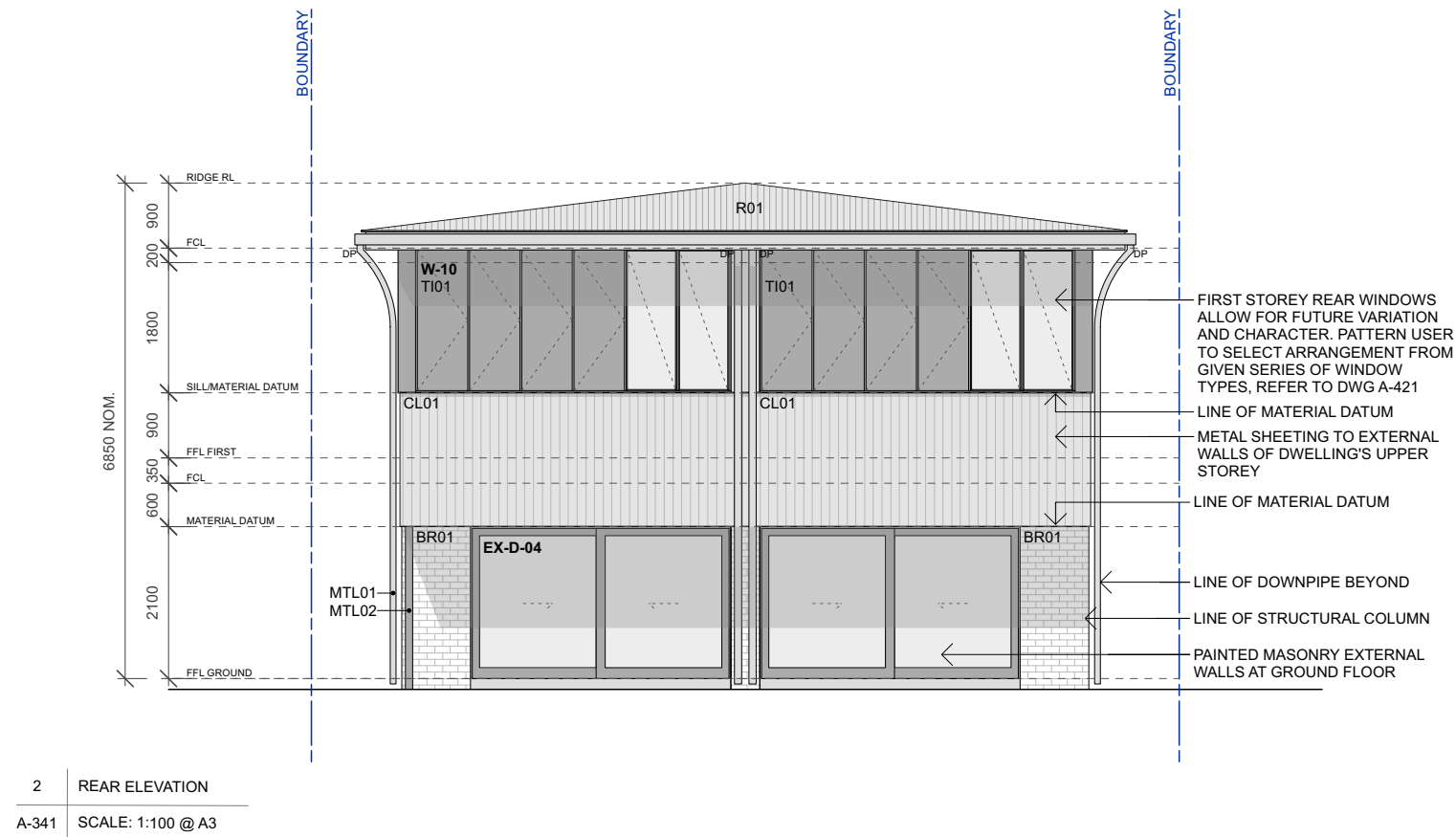
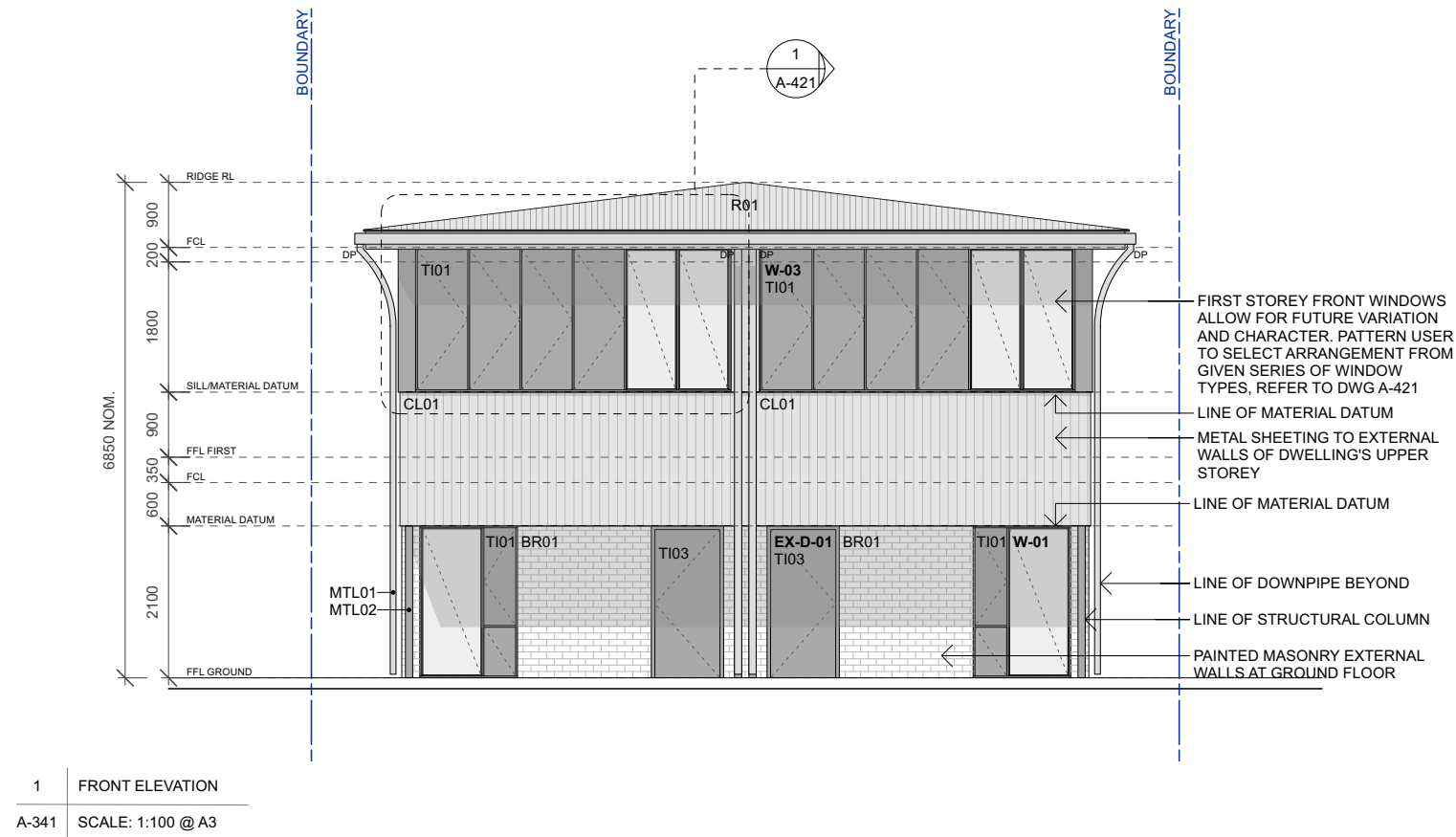
Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



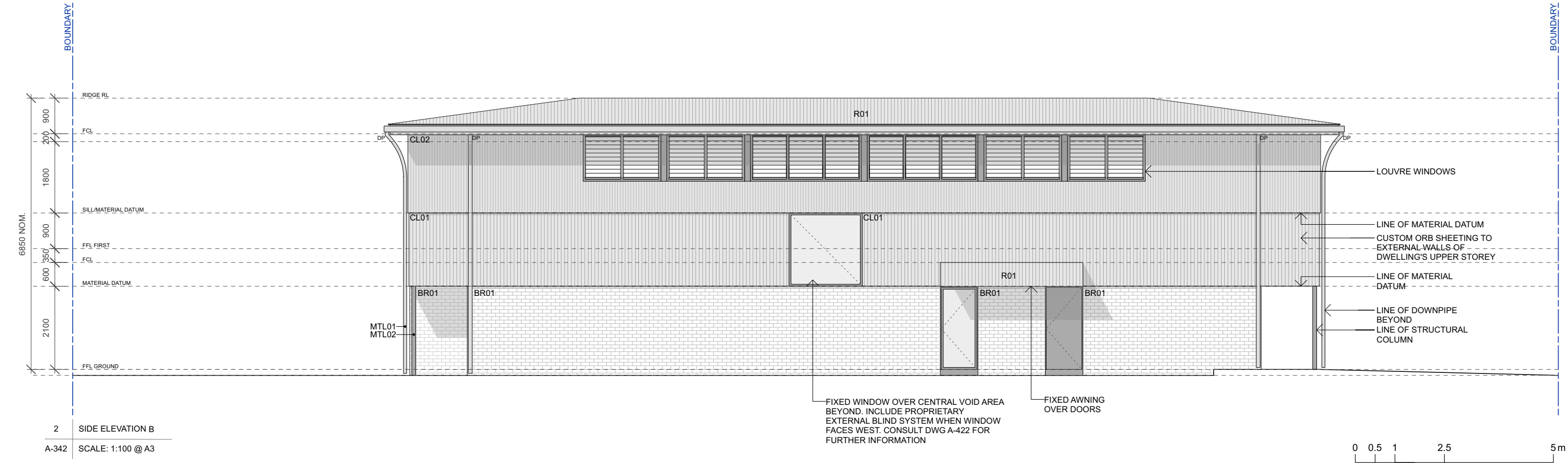
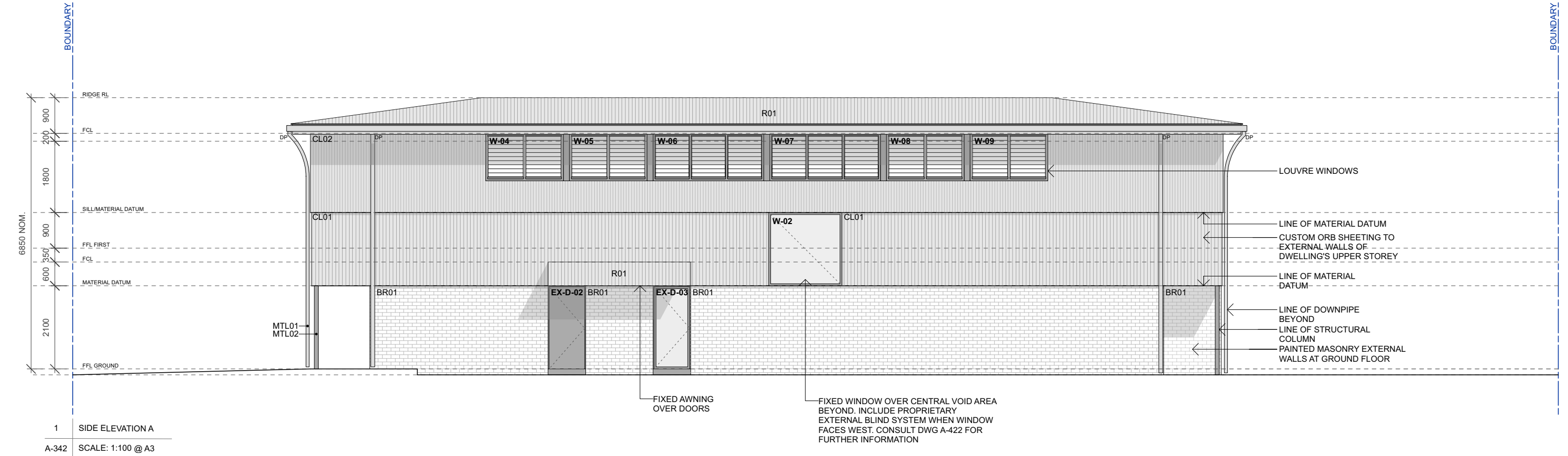
Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

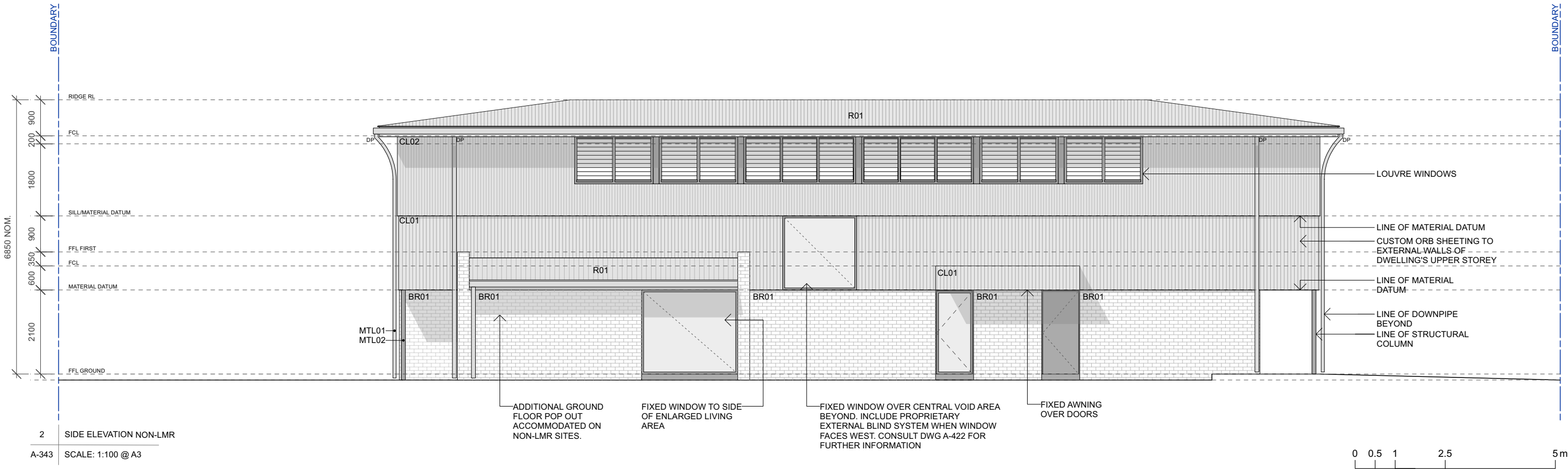
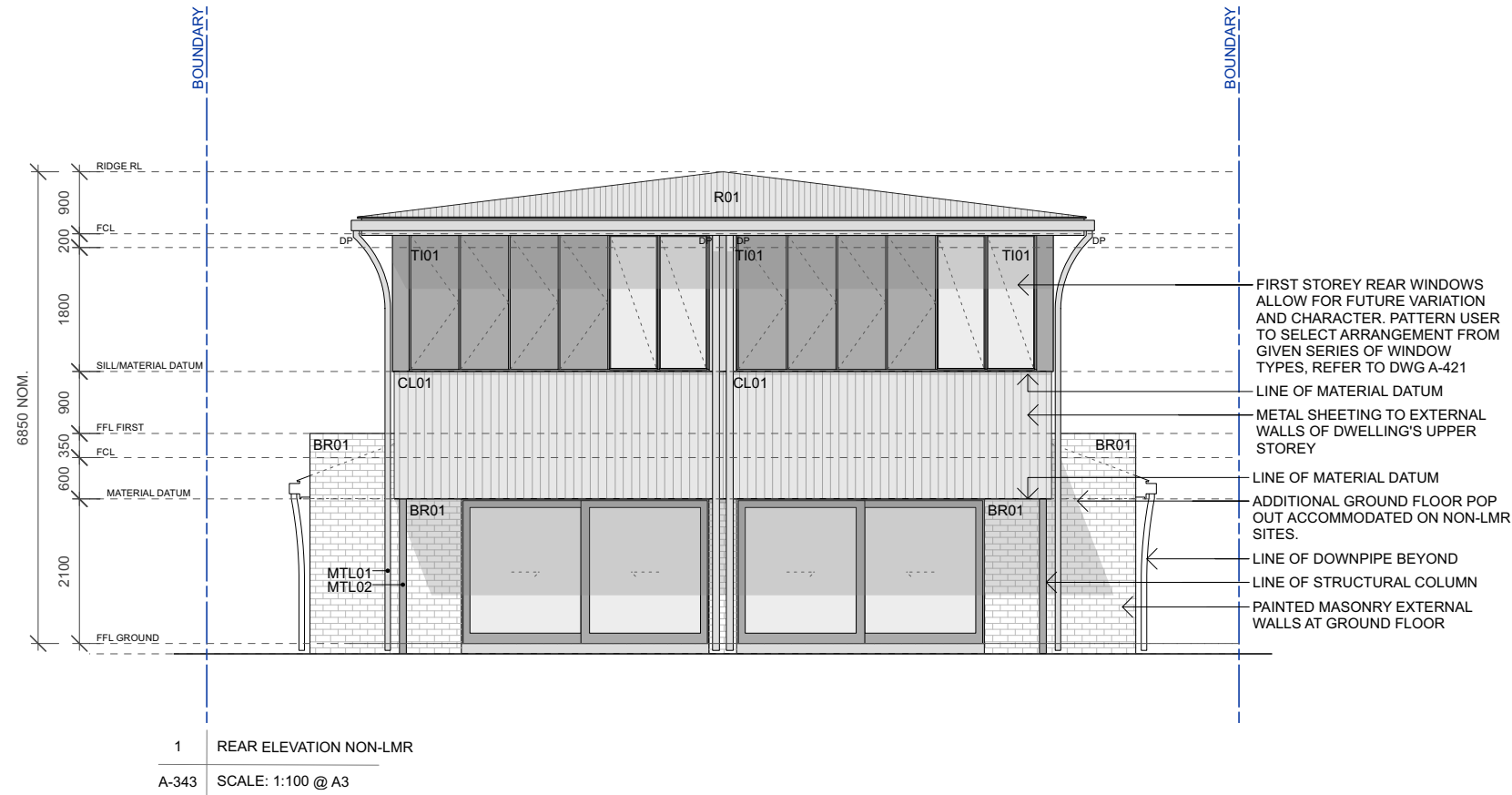
Drawing No.	A-341
Name	Elevations Front and Rear
Scale	1:100



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

Drawing No.	A-342
Name	Elevations Side A and Side B
Scale	1:100











































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Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

Drawing No.	A-343
Name	Elevation Guidance Rear and Side Non-LMR Area
Scale	1:100



LOCATION		CHARACTER 01		CHARACTER 02		CHARACTER 03A		CHARACTER 03B	
BR01	GROUND FLOOR EXTERNAL WALLS	BRICK, PAINT FINISH, LIGHT GREY		BRICK, PAINT FINISH, LIGHT GREY		BRICK, PAINT FINISH, LIGHT GREY		BRICK, PAINT FINISH, LIGHT GREY	
CL01	FIRST FLOOR EXTERNAL WALLS	CORRUGATED STEEL, SHALE GREY, CUSTOM ORB PROFILE		CORRUGATED STEEL, MANOR RED, CUSTOM ORB PROFILE		CORRUGATED STEEL, SHALE GREY, CUSTOM ORB PROFILE		CORRUGATED GALVANISED STEEL, NATURAL FINISH, CUSTOM ORB PROFILE	
CL02	FIRST FLOOR EXTERNAL WALLS	CORRUGATED STEEL, SHALE GREY, MINI ORB PROFILE		CORRUGATED STEEL, MANOR RED, MINI ORB PROFILE		CORRUGATED STEEL, SHALE GREY, MINI ORB PROFILE		CORRUGATED GALVANISED STEEL, NATURAL FINISH, MINI ORB PROFILE	
MTL01	RAINWATER GOODS	STEEL, SHALE GREY		GALVANISED STEEL, NATURAL FINISH		STEEL, SHALE GREY		GALVANISED STEEL, NATURAL FINISH	
MTL02	STRUCTURAL STEEL COLUMNS AND EXTERNAL METALWORK	STEEL, PAINT FINISH, SHALE GREY		STEEL, PAINT FINISH, MANOR RED		STEEL, PAINT FINISH, SHALE GREY		GALVANISED STEEL, NATURAL FINISH	
MTL03	GROUND FLOOR, AND FIRST FLOOR LOUVRE WINDOW SUITES (SIDE)	ALUMINIUM, NATURAL ANODISED		ALUMINIUM, POWDERCOAT FINISH, MANOR RED		ALUMINIUM, NATURAL ANODISED		ALUMINIUM, POWDERCOAT FINISH, WINDSPRAY	
R01	ROOF	CORRUGATED STEEL, SHALE GREY, CUSTOM ORB PROFILE		CORRUGATED GALVANISED STEEL, NATURAL FINISH, CUSTOM ORB PROFILE		CORRUGATED STEEL, SHALE GREY, CUSTOM ORB PROFILE		CORRUGATED GALVANISED STEEL, NATURAL FINISH, CUSTOM ORB PROFILE	
TI01	DOOR & WINDOW SUITES (FRONT & REAR), VENTILATION PANELS	TIMBER, PAINT FINISH, WINDSPRAY		TIMBER, PAINT FINISH, MANOR RED		TIMBER, FINISH AND SPECIES TBC		TIMBER, FINISH AND SPECIES TBC	
TI02	BARGE/FASCIA BOARD	TIMBER, PAINT FINISH, SHALE GREY		TIMBER, PAINT FINISH, WINDSPRAY		TIMBER, PAINT FINISH, SHALE GREY		TIMBER, PAINT FINISH, WINDSPRAY	
TI03	FRONT DOOR	TIMBER, FINISH AND SPECIES TBC		TIMBER, PAINT FINISH, MANOR RED		TIMBER, FINISH AND SPECIES TBC		TIMBER, FINISH AND SPECIES TBC	

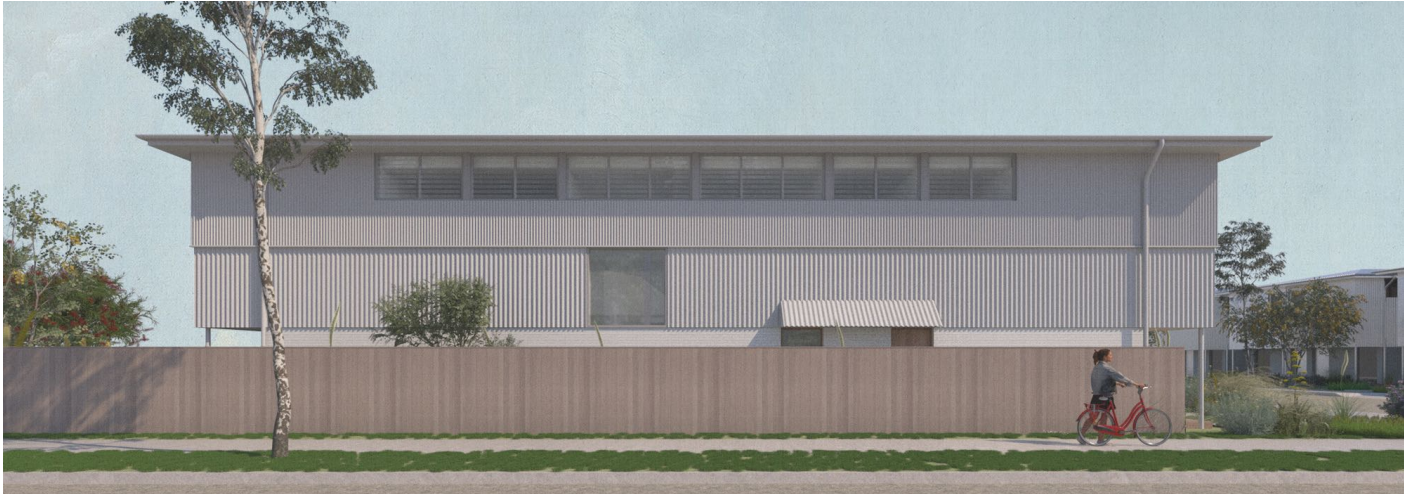
NOTES
- **VENTILATION PANELS:**
CHARACTER OPTIONS 1 AND 2 ALLOW FOR PAINTED EXTERNAL GRADE SOLID CORE VENTILATION PANELS AT THE UPPER STOREY. CHARACTER OPTIONS 3A AND 3B ALLOW FOR STAINED HARDWOOD TIMBER VENTILATION PANELS. CHARACTER OPTIONS 1 AND 2 OFFER PATTERN USERS A COST SAVING FOR THIS ELEMENT OF CONSTRUCTION.

- **TBC ITEMS:**
WHERE ITEMS ARE MARKED TBC, PATTERN USER TO MAKE FINAL SELECTION, ALLOWING FOR LOCAL CONDITIONS AND MATERIAL AVAILABILITY

Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

Drawing No.	A-351
Name	Combined Character Material Palettes
Scale	NTS



LOCATION		CHARACTER 01	
BR01	GROUND FLOOR EXTERNAL WALLS	BRICK, PAINT FINISH, LIGHT GREY	
CL01	FIRST FLOOR EXTERNAL WALLS	CORRUGATED STEEL, SHALE GREY, CUSTOM ORB PROFILE	
CL02	FIRST FLOOR EXTERNAL WALLS	CORRUGATED STEEL, SHALE GREY, MINI ORB PROFILE	
MTL01	RAINWATER GOODS	STEEL, SHALE GREY	
MTL02	STRUCTURAL STEEL COLUMNS AND EXTERNAL METALWORK	STEEL, PAINT FINISH, SHALE GREY	
MTL03	GROUND FLOOR, AND FIRST FLOOR LOUVRE WINDOW SUITES (SIDE)	ALUMINIUM, NATURAL ANODISED	
R01	ROOF	CORRUGATED STEEL, SHALE GREY, CUSTOM ORB PROFILE	
T101	DOOR & WINDOW SUITES (FRONT & REAR), VENTILATION PANELS	TIMBER, PAINT FINISH, WINDSPRAY	
T102	BARGE/FASCIA BOARD	TIMBER, PAINT FINISH, SHALE GREY	
T103	FRONT DOOR	TIMBER, FINISH AND SPECIES TBC	



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

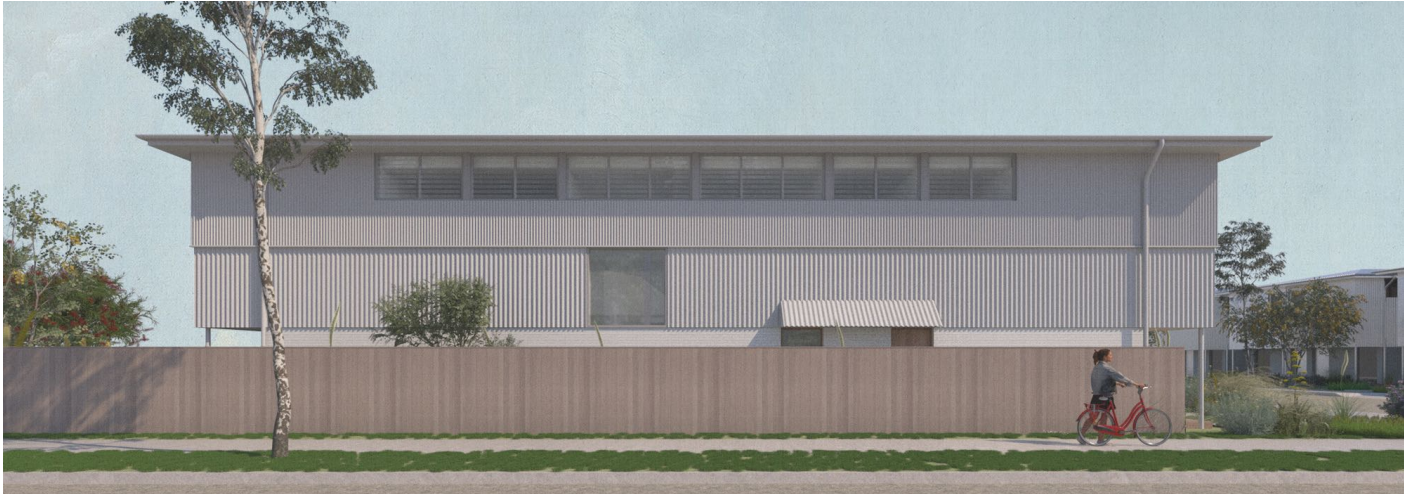
Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

Drawing No.	A-352
Name	Character Material Palette 01
Scale	NTS



LOCATION		CHARACTER 02	
BR01	GROUND FLOOR EXTERNAL WALLS	BRICK, PAINT FINISH, LIGHT GREY	
CL01	FIRST FLOOR EXTERNAL WALLS	CORRUGATED STEEL, MANOR RED, CUSTOM ORB PROFILE	
CL02	FIRST FLOOR EXTERNAL WALLS	CORRUGATED STEEL, MANOR RED, MINI ORB PROFILE	
MTL01	RAINWATER GOODS	GALVANISED STEEL, NATURAL FINISH	
MTL02	STRUCTURAL STEEL COLUMNS AND EXTERNAL METALWORK	STEEL, PAINT FINISH, MANOR RED	
MTL03	GROUND FLOOR, AND FIRST FLOOR LOUVRE WINDOW SUITES (SIDE)	ALUMINIUM, POWDERCOAT FINISH, MANOR RED	
R01	ROOF	CORRUGATED GALVANISED STEEL, NATURAL FINISH, CUSTOM ORB PROFILE	
T101	DOOR & WINDOW SUITES (FRONT & REAR), VENTILATION PANELS	TIMBER, PAINT FINISH, MANOR RED	
T102	BARGE/FASCIA BOARD	TIMBER, PAINT FINISH, WINDSPRAY	
T103	FRONT DOOR	TIMBER, PAINT FINISH, MANOR RED	

Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



LOCATION		CHARACTER 03A	
BR01	GROUND FLOOR EXTERNAL WALLS	BRICK, PAINT FINISH, LIGHT GREY	
CL01	FIRST FLOOR EXTERNAL WALLS	CORRUGATED STEEL, SHALE GREY, CUSTOM ORB PROFILE	
CL02	FIRST FLOOR EXTERNAL WALLS	CORRUGATED STEEL, SHALE GREY, MINI ORB PROFILE	
MTL01	RAINWATER GOODS	STEEL, SHALE GREY	
MTL02	STRUCTURAL STEEL COLUMNS AND EXTERNAL METALWORK	STEEL, PAINT FINISH, SHALE GREY	
MTL03	GROUND FLOOR, AND FIRST FLOOR LOUVRE WINDOW SUITES (SIDE)	ALUMINIUM, NATURAL ANODISED	
R01	ROOF	CORRUGATED STEEL, SHALE GREY, CUSTOM ORB PROFILE	
TI01	DOOR & WINDOW SUITES (FRONT & REAR), VENTILATION PANELS	TIMBER, FINISH AND SPECIES TBC	
TI02	BARGE/FASCIA BOARD	TIMBER, PAINT FINISH, SHALE GREY	
TI03	FRONT DOOR	TIMBER, FINISH AND SPECIES TBC	



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

Drawing No.	A-354
Name	Character Material Palette 03A
Scale	NTS



LOCATION		CHARACTER 03B	
BR01	GROUND FLOOR EXTERNAL WALLS	BRICK, PAINT FINISH, LIGHT GREY	
CL01	FIRST FLOOR EXTERNAL WALLS	CORRUGATED GALVANISED STEEL, NATURAL FINISH, CUSTOM ORB PROFILE	
CL02	FIRST FLOOR EXTERNAL WALLS	CORRUGATED GALVANISED STEEL, NATURAL FINISH, MINI ORB PROFILE	
MTL01	RAINWATER GOODS	GALVANISED STEEL, NATURAL FINISH	
MTL02	STRUCTURAL STEEL COLUMNS AND EXTERNAL METALWORK	GALVANISED STEEL, NATURAL FINISH	
MTL03	GROUND FLOOR, AND FIRST FLOOR LOUVRE WINDOW SUITES (SIDE)	ALUMINIUM, POWDERCOAT FINISH, WINDSPRAY	
R01	ROOF	CORRUGATED GALVANISED STEEL, NATURAL FINISH, CUSTOM ORB PROFILE	
T101	DOOR & WINDOW SUITES (FRONT & REAR), VENTILATION PANELS	TIMBER, FINISH AND SPECIES TBC	
T102	BARGE/FASCIA BOARD	TIMBER, PAINT FINISH, WINDSPRAY	
T103	FRONT DOOR	TIMBER, FINISH AND SPECIES TBC	



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

Drawing No.	A-355
Name	Character Material Palette 03B
Scale	NTS



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

Drawing No.	A-356
Name	Interior Guidance
Scale	NTS



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

Drawing No.	A-357
Name	Front Illustration
Scale	NTS



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	SD01
Name	Semis 01 by Anthony Gill Architects

Drawing No.	A-358
Name	Front and Rear Illustrations
Scale	NTS