

NSW Housing Pattern Book

# TERRACES 03

by Officer Woods  
Architects

A respectful design nestled  
in a garden that chases the  
sun to create comfortable,  
light-filled interiors

July 2025



GOVERNMENT  
ARCHITECT  
NEW SOUTH WALES



# About this document

This document explains the specific requirements for the pattern called ‘**Terraces 03 by Officer Woods Architects**’. This pattern is part of the NSW Housing Pattern Book as referred to in the State Environmental Planning Policy (Exempt and Complying Development Codes) (Pattern Book Development Code) 2025.

The document provides an overview of what this pattern offers. It explains where housing based on this pattern can be located and how the design can be adjusted to suit user preferences and site requirements within the development standards defined for this pattern.

The technical drawings describe the pattern design in detail. Once you have selected a suitable pattern, you can download the CAD package for use by your architect or accredited designer to prepare your development application.

## Using the pattern book

- 1

**You are here:**  
Explore patterns and engage a designer  
Explore the patterns available on the NSW Housing Pattern Book and identify which ones might be suitable to your site and requirements. If you decide to proceed, engage an architect or building designer who will be able to support you through your pattern book development process.
- 2

**Select a pattern and adapt it to your site and preferences**
- 3

**Prepare drawings and information for a planning application**
- 4

**Lodge a planning application**
- 5

**Get fast-tracked approval**

## Contents

1. Terraces 03 by Officer Woods Architects	3
2. Requirements and adaptations	6
Planning overview	7
Planning information for Terraces 03 by Officer Woods Architects	8
Pattern adaptations–dwellings (LMR and non-LMR base patterns)	9
Location requirements – siting and orientation adaptations (LMR base pattern)	10
Location requirements – siting and orientation adaptations (Non-LMR base pattern)	11
Pattern adaptations –material selections	12
Pattern selections template	13
Instructions to designers	14

3. Technical drawings	16
Pattern adaptations dwellings	A-200 series
LMR housing area option	
Site plan*	A-301
Ground floor*	A-302
First floor*	A-303
Roof plan*	A-304
Non-LMR housing area option	
Site plan and roof plan*	A-311
Ground floor*	A-312
First floor*	A-313
Roof plan*	A-314
Pattern planning adaptations	
Pattern adaptations*	A-320 series
Sections*	A-330 series
Elevations*	A-340 series
Character and interior	A-350 series

4. Technical information	
Services plan*	A-401 series
Door and window schedule*	A-410 series
Construction and character details	A-420 series
Technical information: Compliance calculations	A-430 series

*Note: When you pay the fee, you will receive the technical information PDF, all technical drawings and information in DWG\* formats, BASIX guidance for this pattern, an editable design verification statement and your unique identification number.*



# TERRACES 03

## by Officer Woods Architects

### The architects designed:

North-facing living areas for all orientations

A familiar and respectful form to fit into residential neighbourhoods

Living areas with a double-height space that brings sunlight and fresh air into the centre of the house

Well-planned and generous interior spaces to allow for future adaptability

A private balcony for the principal bedroom

A simple roof that extends over the front and rear of the building to protect from sun and rain



Rear view from the garden

## Easy to live in

The pattern is designed to suit different household types including:

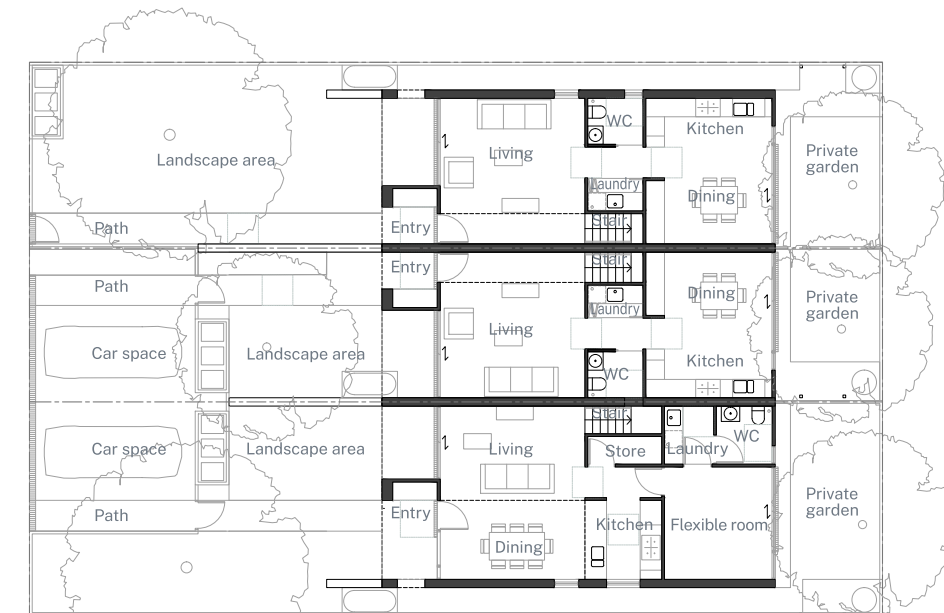
**Young families** – The private garden is visible from the living area

**Grown-up families** – Living areas are separated from bedrooms with space to create a teen retreat or home office

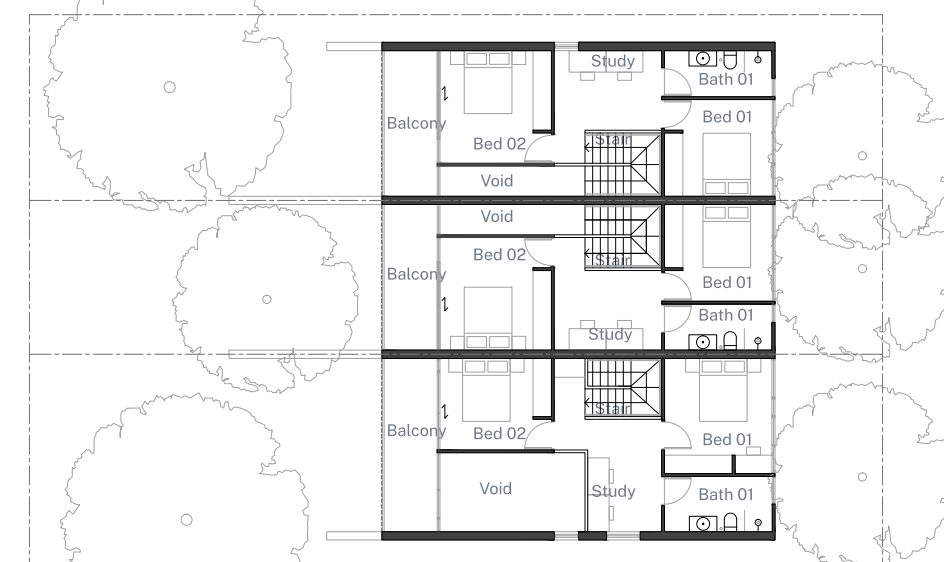
**Extended families** – The flexible room on the ground floor can become a guest bedroom or granny flat

**Ageing in place** – Designed to meet Australian Building Codes Board Livable Housing Design Standard and can be adapted to Beyond Minimum Standard to suit changing mobility needs

**Co-living or share houses** – Separation between bedrooms and living areas can suit shared living arrangements



Ground floor plan



First floor plan

Not to scale



Front view of the design from the street

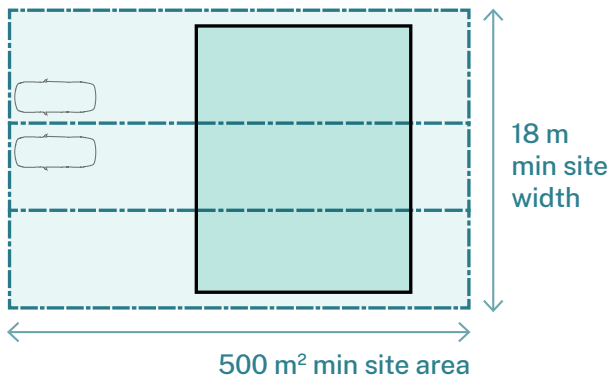


# For everyone and every place

Suits corner or infill sites	<b>Ownership</b> – suitable for Torrens or strata title
Designed so that living spaces always face north for all orientations	<b>No. of bedrooms</b> – 2-bed, 3-bed or 4-bed options available
<b>Development type</b> – multi-dwelling housing (terrace)	<b>No. of dwellings</b> – 3
<b>Permissibility</b> – in low- and mid-rise housing areas and all other locations across NSW where this type of development is allowed	<b>No. of storeys</b> – 2

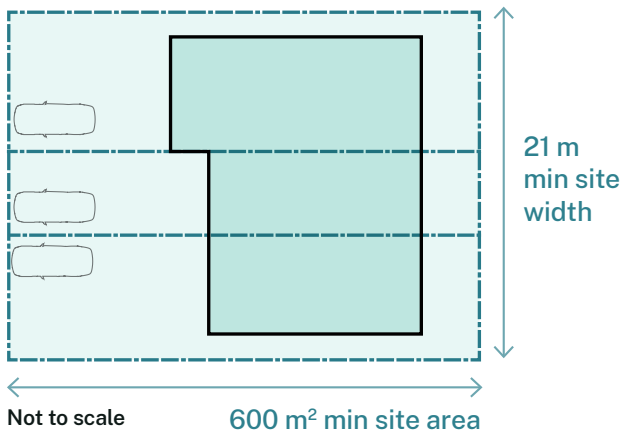
## Base pattern: low- and mid-rise housing areas

Low- and mid-rise housing areas are locations where the Low and Mid-Rise Housing Policy applies. Suits a minimum lot width of 18 m wide and minimum lot area of 500 m<sup>2</sup>.



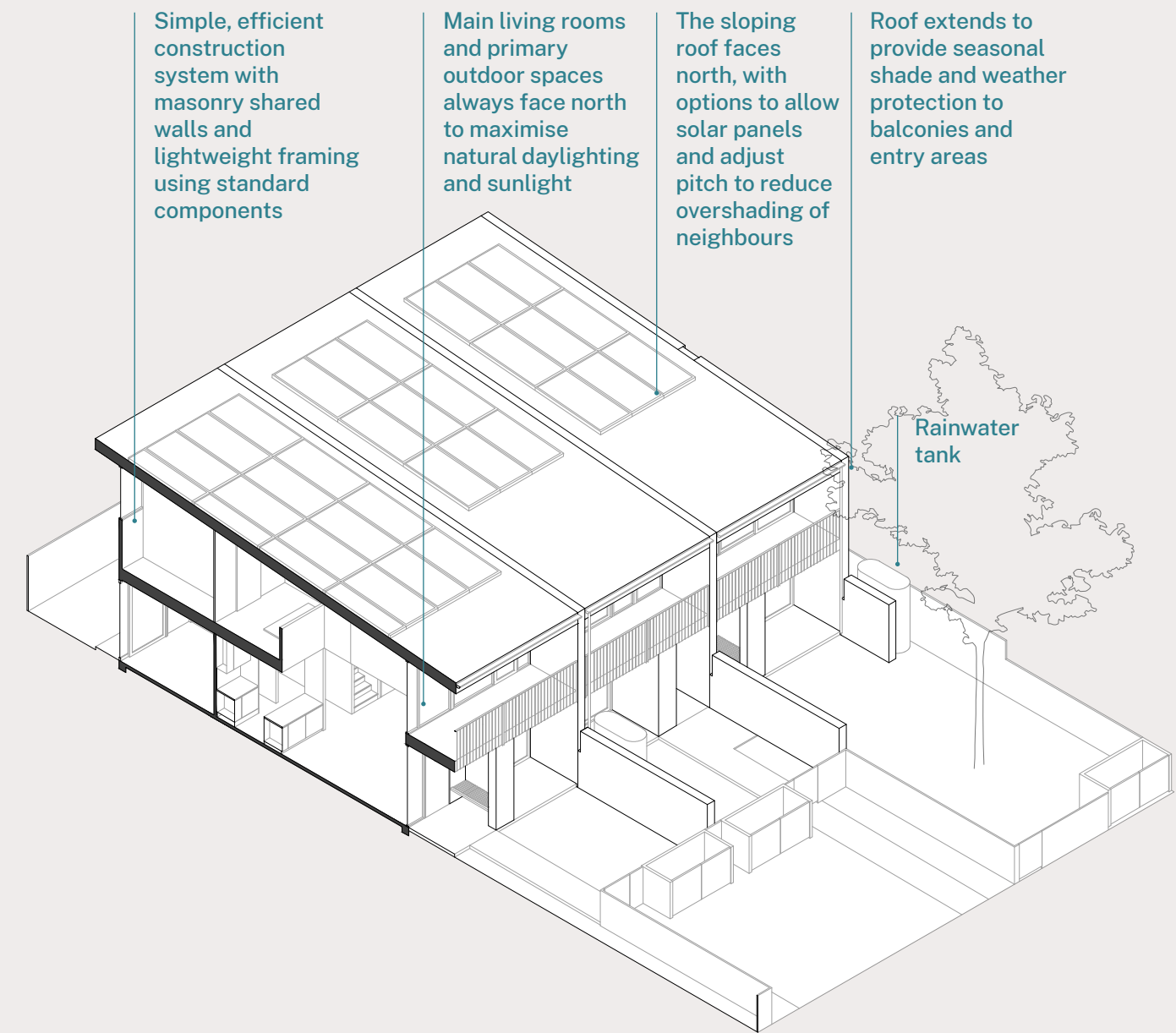
## Base pattern: sites outside low- and mid-rise housing areas

Sites outside low- and mid-rise housing areas are locations across the rest of NSW where this type of development is permitted with consent. They are referred to in the patterns as non-low- and mid-rise housing areas. Suits a minimum lot width of 21 m wide and minimum lot area of 600 m<sup>2</sup>.



# Sustainable and energy efficient

Passive solar design ensures comfortable living spaces and lower energy bills	The simple construction is suited to prefabricated and standardised elements to reduce cost and construction waste
Daylight and natural ventilation is provided throughout the home	External materials have longevity for an enduring and high-quality home
A large roof area, sloping north, is suitable for solar panels	The rainwater tank captures roof water for reuse
The roof overhang on the first floor protects windows and doors from sun and rain	Ceiling fans improve air circulation, energy efficiency and thermal comfort
Careful control of the extent of glass maximises light and thermal comfort while minimising cost	All-electric homes provide healthier indoor environment, lower energy bills, and reduced carbon footprint





# Smart and flexible

Designs are available for small, medium or large terraces to fit within the site's size and area constraints

Choose between open plan living to maximise solar access or a gold level liveable bedroom and bathroom

First floor layout options include 3 bedrooms, 2 bedrooms with study or substitute a family bathroom for separate WC and bath

Parking is a hardstand in the front setback with an optional carport

## Small terrace select

1, 2, 3 or 4

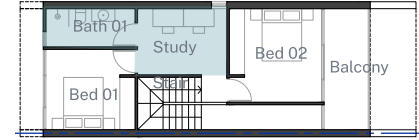
1  
Ground floor entry option 01



2  
Ground floor entry option 02



3  
First floor bath and study



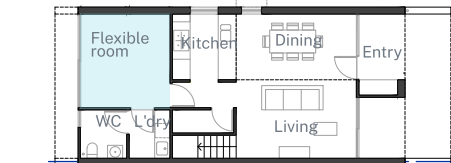
4  
First floor 2 bath



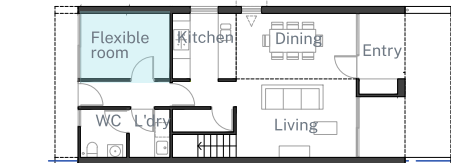
## Medium terrace select

5, 6, 7, 8 or 9

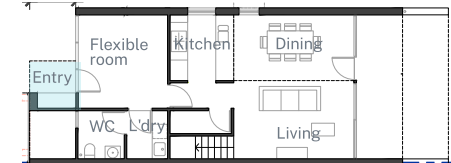
5  
Ground floor large flexible room



6  
Ground floor private flexible room



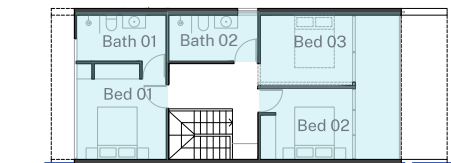
7  
Ground floor entry option 02



8  
First floor bathroom study w/ void



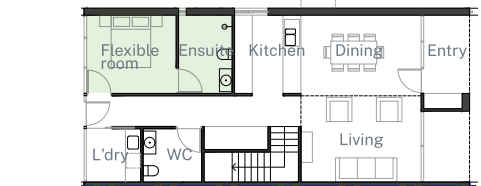
9  
First floor 3 bed 2 bath



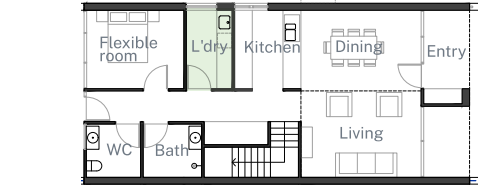
## Large terrace select

10, 11, 12, 13 or 14

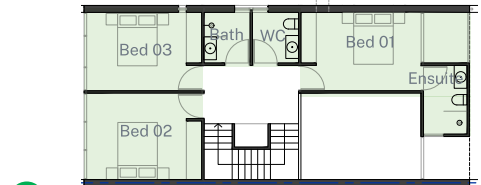
10  
Ground floor flexible room with ensuite



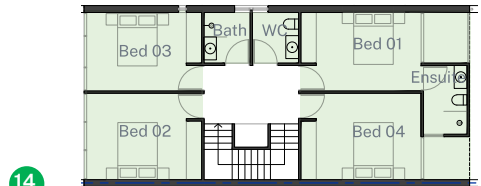
11  
Ground floor larger laundry



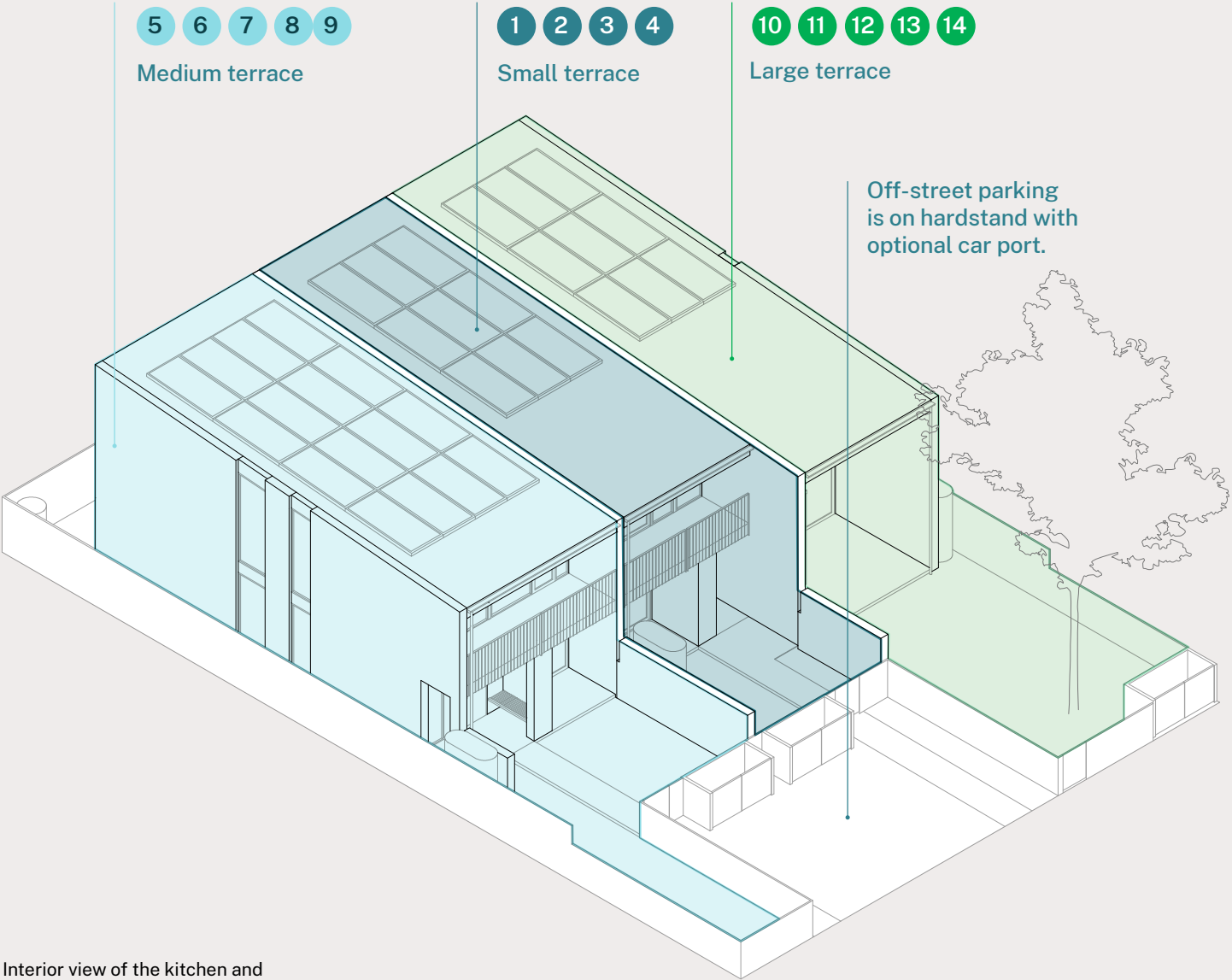
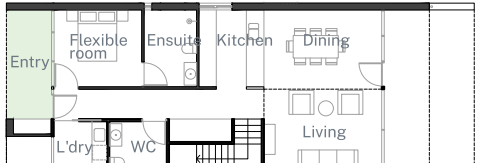
12  
First floor 3 bed 2.5 bath



13  
First floor 4 bed 2.5 bath



14  
Entry relocation for south-facing terraces



Interior view of the kitchen and living area looking through to the back door and up to the first floor





# TERRACES 03

by Officer Woods Architects

Requirements  
and adaptations





# Planning overview

## Where the pattern book applies

The Low and Mid-Rise Housing Policy (the LMR Policy) aims to encourage new housing in well-located areas. The LMR Policy applies in particular well-located residential zones within 800 m walk of town centres and stations across NSW. These are known as LMR housing areas.

### A base pattern for LMR housing areas

A version of each pattern design, or 'base pattern', has been created for low-and mid-rise housing areas (LMR housing area). These have different planning controls reflecting the well-located and connected sites.

### A base pattern for sites outside LMR housing areas

Sites outside low-and mid-rise housing areas (referred to in the pattern book as non-LMR housing areas) are all other locations throughout NSW where these development types are permitted. These base patterns reflect different planning requirements in these areas, such as additional parking.

## Fast-tracked planning pathways for pattern book developments

Pattern book developments are eligible for fast-tracked planning approval. The Pattern Book Development Code 2025 enables pattern book developments to be approved as complying development. An accelerated 10-day approval timeframe applies to pattern book complying development certificates, compared with 20 days for standard residential complying development.

## Excluded land

Like other forms of complying development, pattern book complying development will not be permitted on high-risk or other constrained land such as bushfire-prone and certain flood-prone land. To understand the full list of exclusions, refer to the policy in the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 (the 'Codes SEPP'). If the land is excluded from complying development, pattern book development can be proposed through the standard development application pathway.

## Design verification statement

Pattern book development approval requires a complying development certificate (CDC) in accordance with part 3BA of the Codes SEPP (as required by section 131A of the Environmental Planning and Assessment Regulation 2021).

To obtain the CDC, the development application must include a written statement from either an architect or accredited designer. The design verification statement must confirm the proposed development will comply with the development standards, site requirements, pre-defined options, technical drawing set and technical information specified in the NSW Housing Pattern Book for the type of development proposed. The architect or accredited designer must confirm that all fixed and adaptable design features required by the pattern are evident in the submitted development proposal.

The statement will help assessors to determine whether a proposed development complies with the original pattern design intent and is eligible to be considered pattern book development.

## Accredited designer

The design verification statement must be completed by an accredited designer or architect. They must include their professional registration in the statement.

## Note to assessors

To be considered pattern book development, it is essential that a proposed development meets its planning obligations. This includes complying with development standards, consistency with the pattern, permissibility, and completion of the design verification statement by an architect or accredited designer. The assessor should ensure these obligations have been met.

## Design integrity

The design integrity of the pattern must be reflected in the submitted design. The submitted design should not be modified beyond the described adaptable features.

## Landscape

Pattern book developments must show how they have considered the *NSW Housing Pattern Book Landscape Guide* which provides advice on creating a landscape plan for the patterns. This includes tree canopy and deep soil requirements, in accordance with the NSW Government *Tree Canopy Guide for Low and Mid Rise Housing*, for different building types. It also includes suggested planting lists.

## Heritage

Pattern book developments via the complying development pathway are not permitted in heritage conservation areas (HCAs) or on heritage sites.

Pattern book development applications within heritage conservation areas need to follow a standard development application process.

## Privacy

Privacy has been addressed within the pattern designs; solutions include providing fixed and optional screening.

## Sustainability

Pattern book developments must achieve BASIX targets and compliance. Each pattern includes guidance on how to achieve the BASIX requirements, along with optional sustainability features such as solar panels and upgraded performance features an applicant may choose to incorporate in their development.

## Solar access and overshadowing

All pattern book developments need to demonstrate that reasonable solar access (as defined in the *Low Rise Housing Diversity Design Guide*\*) is provided to the living rooms and private open spaces of adjoining dwellings.

\*A window that is more than 3 m from the boundary to a living room of an adjoining dwelling is to receive more than 3 hours of direct sunlight between 9 am and 3 pm on the winter solstice (June 21). If the window currently receives less than 3 hours, direct sunlight is not reduced.



# Development standards and planning information

## Terraces 03 by Officer Woods Architects

Developments applying this design from the pattern book must adhere to the planning requirements specified below in order to be eligible for the pattern book fast-tracked planning pathways.

### Type of development – multi-dwelling housing (terraces)

- Permitted where multi-dwelling housing (terraces) is currently permitted with consent across NSW
- 3 dwellings minimum
- Suitable for Torrens title

### Building class

- Class 1a

### Pattern adaptation

This design includes fixed and adaptable features which are outlined in this section of this document, and detailed in the technical drawings section of this document. The adaptable features have pre-defined options that must not be modified beyond those designs. The design verification statement must clarify which adaptations and options have been selected for the proposed pattern book development and that the adaptations meet the provided guidance and original design intent.

### Pattern specific adaptation criteria:

#### Site slope

The building can be adapted to suit gently sloping sites as shown in the technical drawings section. This pattern accommodates internal stairs and adjustments of up to 2.3 m front to back, and 1.2 m side to side.

Associated earthworks for the site are permitted in accordance with 3BA.7 of the Codes SEPP.

#### Carport

A carport as designed in the pattern is allowed in the front setback designated parking spaces.

### Development standards

The below development standards are specific to Terraces 03 by Officer Woods Architects. They apply where this pattern is proposed as pattern book complying development under State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

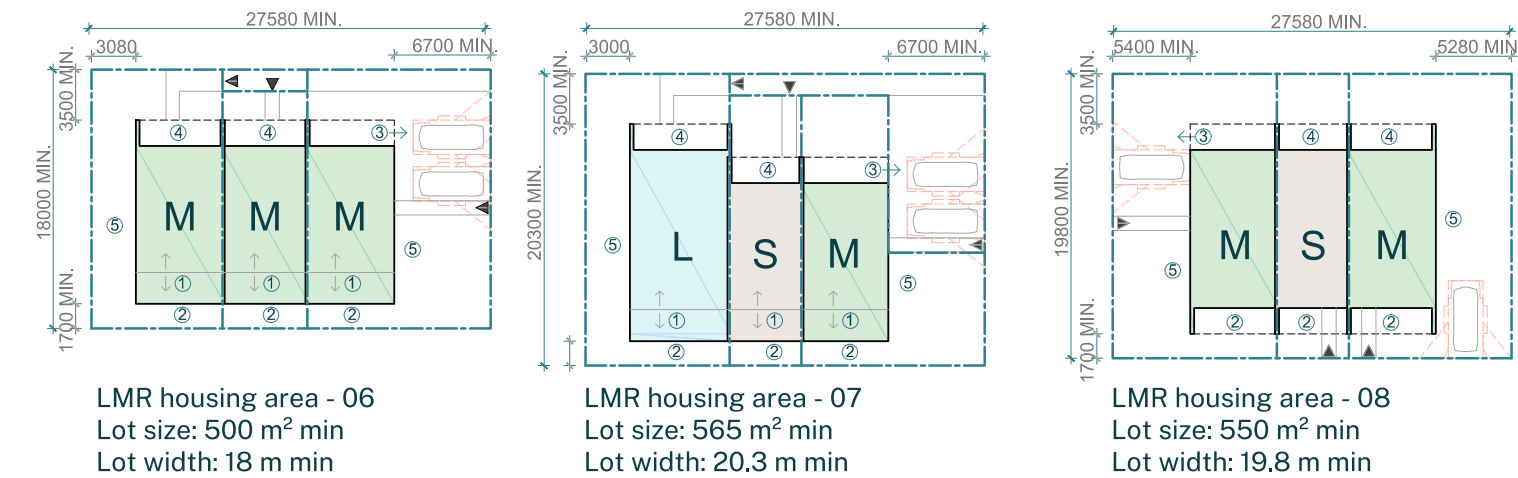
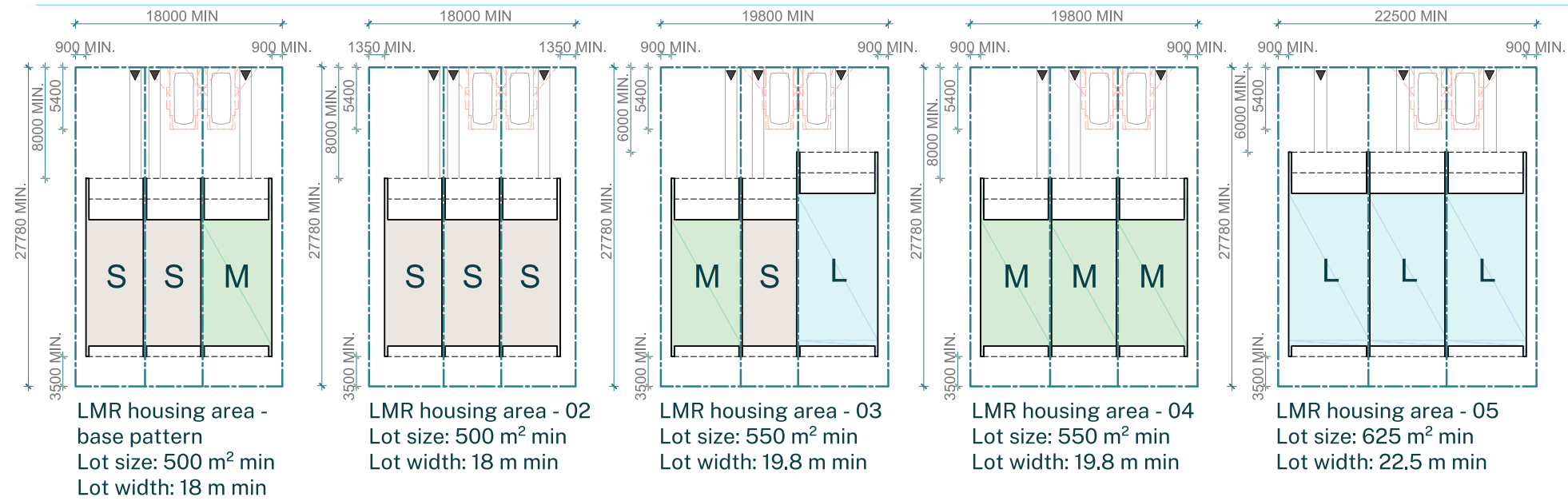
	LMR housing areas	Non-LMR housing areas
Minimum lot size	<i>As defined by LMR reforms</i> 500 m <sup>2</sup>	600 m <sup>2</sup> (must also meet relevant LEP minimum lot size for this development type)
Minimum lot width	<i>As defined by LMR reforms</i> 18 m min	21 m min
Maximum building height	<i>As defined by LMR reforms</i> (9.5 m max)	9.0 m max
Maximum floor space ratio	0.8:1 max	0.75:1 max
Maximum unbroken street frontage	45 m	45 m
Minimum front setback	3.5 m min <i>South-, east-and west-facing lots</i> 8.0 m min <i>North-facing lots</i>	3.5 m min setback <i>South-, east-and west-facing lots</i> Or, not less than the average setback from the primary road of the nearest 2 dwelling houses within 40 m of the lot and on the same side of the primary road, whichever is greater. 8.0 m min <i>North-facing lots</i>
Minimum side setbacks	0.9 m min	1.5 m min
Minimum rear setback	3.0 m min	3.5 m min
Minimum secondary street setback	2.0 m min	2.0 m min
Minimum landscaped area	20% min	20% min
Minimum off-street parking spaces per dwelling	<i>As defined by LMR reforms</i> (Min 0.5 car parking spaces per dwelling)	Min 1 car parking space per dwelling

### Notes on development standards

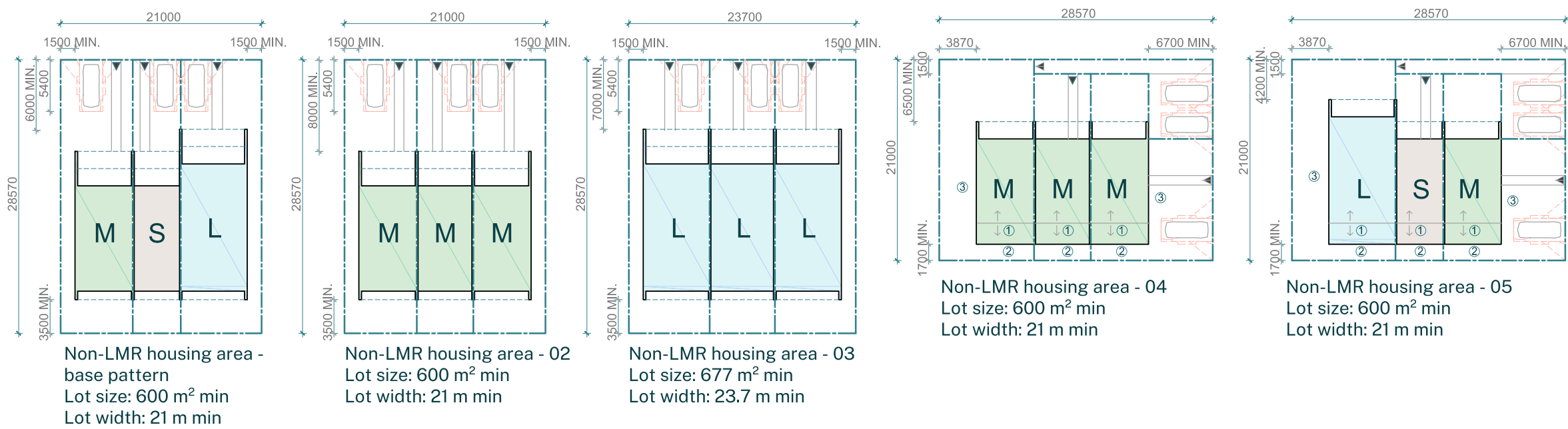
Minimum lot size and adaptations	The minimum lot size represents minimum site for potential combination of the modules. The pattern adaptation pages included in requirements and adaptations along with technical drawings provide guidance on adapting the base plan for different site positions (mid-block, corner, laneway), orientations and inclusions.
Minimum lot width	The minimum lot width is measured at the front building line.
Floor space ratio	The planning table shows the maximum possible FSR for the pattern when selecting all adaptations and options. The base patterns FSR as shown are: <ul style="list-style-type: none"><li>— LMR housing area 0.58:1 FSR</li><li>— Non-LMR housing area 0.59:1 FSR</li></ul>
Height	The base pattern height as drawn is 7 m in LMR housing areas. The maximum building height in the development standards (left) allows for adaptation to slope on the subject site.
Parking provision	Parking is provided in the front setback hardstand. Refer to requirements and adaptations section for additional options.



LMR housing area



Non-LMR housing area



Pattern adaptations

Dwellings (LMR and non-LMR base patterns)  
These diagrams demonstrate the dwelling combinations available for this pattern.

These should be read in combination with the LMR housing area and non-LMR housing area siting and orientation guidance to determine the most suitable combinations and approach for your specific site.

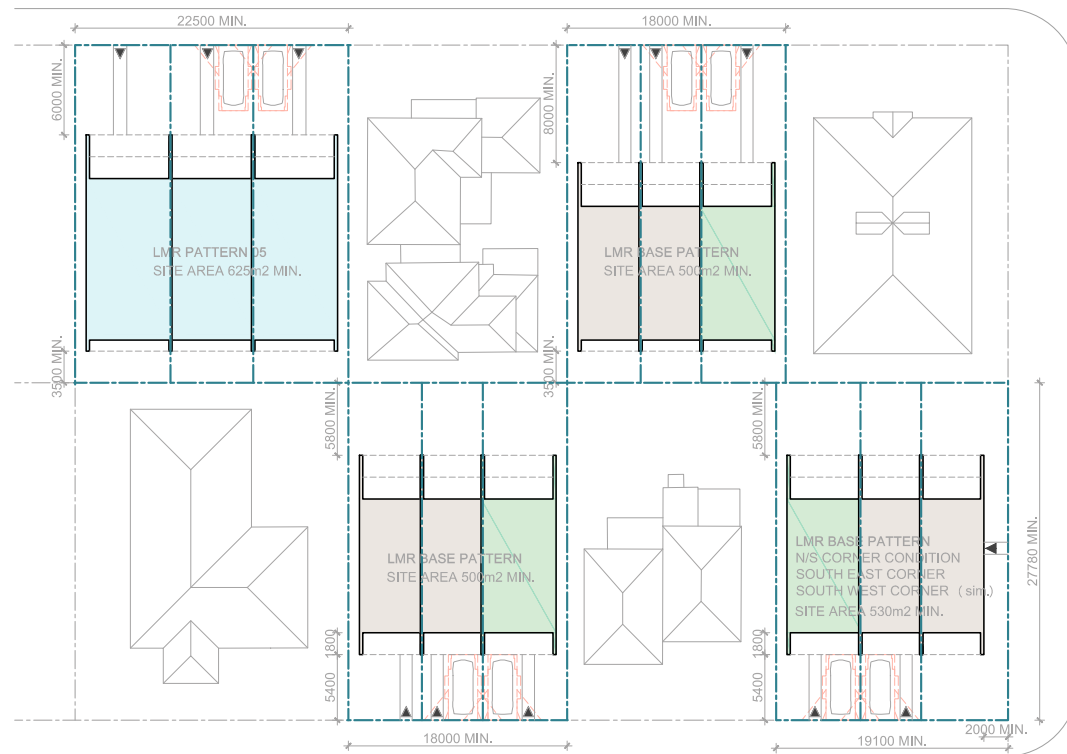
- Small terrace (silver level livability)
- Medium terrace (silver level livability)
- Large terrace (gold level livability)
- Pedestrian entry
- Car space and sight splays



# Location requirements

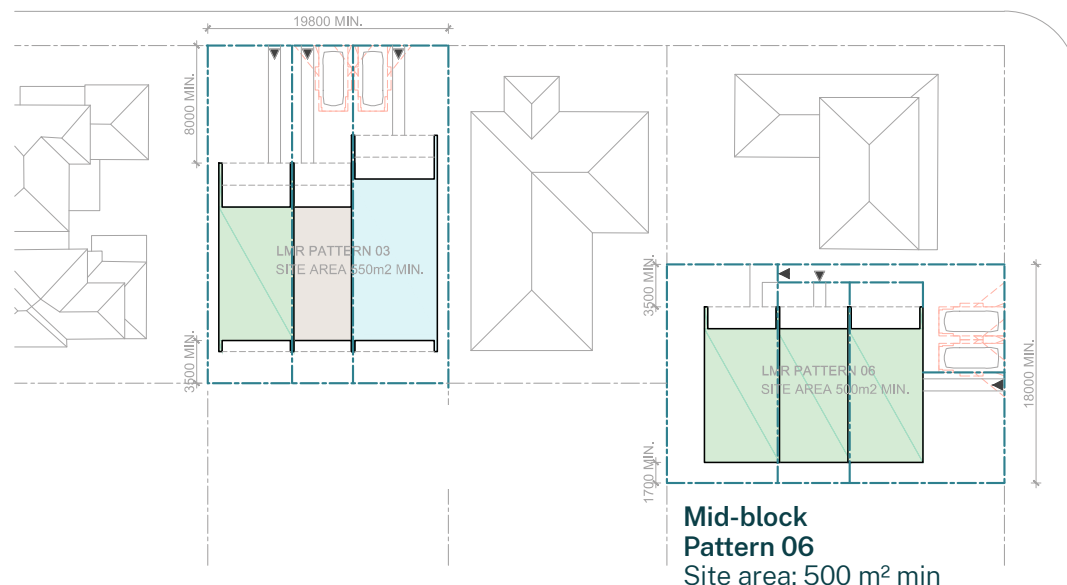
**Mid-block  
Pattern 05**  
Site area: 625 m<sup>2</sup> min

**Mid-block  
Base pattern**  
Site area: 500 m<sup>2</sup> min



**Mid-block  
Base pattern**  
Site area: 500 m<sup>2</sup> min

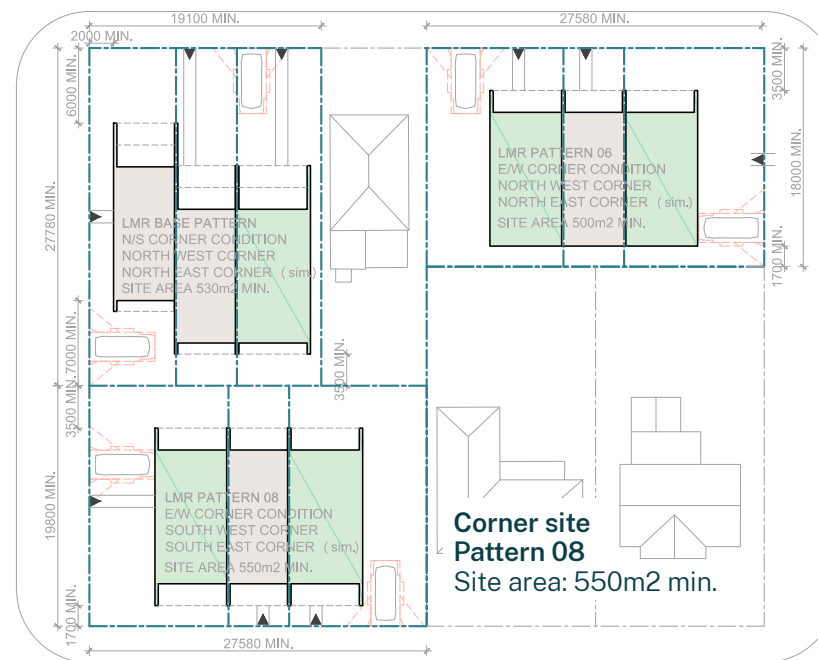
**Corner site  
Base pattern**  
Site area: 530 m<sup>2</sup> min



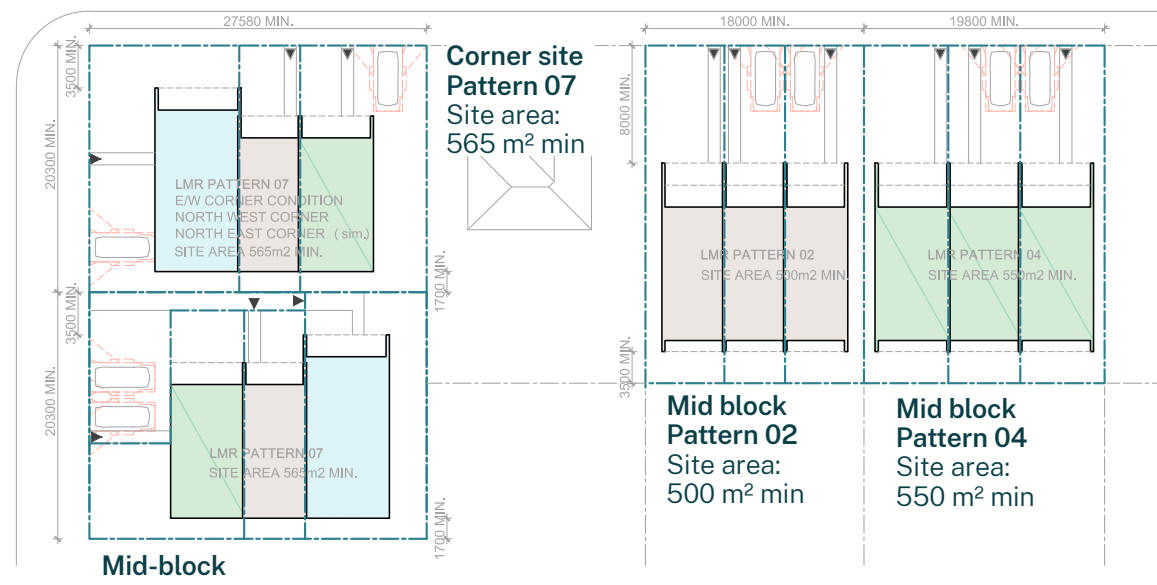
**Mid-block  
Pattern 06**  
Site area: 500 m<sup>2</sup> min

**Corner site  
Base pattern**  
Site area: 530 m<sup>2</sup> min

**Corner site  
Pattern 06**  
Site area: 500 m<sup>2</sup> min



**Corner site  
Pattern 08**  
Site area: 550m² min.



**Mid-block  
Pattern 07**  
Site area: 585 m<sup>2</sup> min

**Mid block  
Pattern 02**  
Site area:  
500 m<sup>2</sup> min

**Mid block  
Pattern 04**  
Site area:  
550 m<sup>2</sup> min

## Siting and orientation adaptations (LMR base pattern)

These plans demonstrate siting and orientation principles for this pattern in the **LMR housing areas**, adapting to suit mid-block, corner, and rear-lane lots.

Pattern sites must:

- meet minimum lot width and areas
- meet minimum setbacks and landscape areas. Refer to the planning pages of this document for further detail.
- have driveways located a min 6 m from intersections. Confirm with local authorities if additional rules apply.

The examples also shows the siting response to orientation. Analyse the drawing to find the most relevant example for your site, which show recommended siting, driveway locations and opportunities to adjust for orientation.

Using this guidance, refer to the **LMR site plan** to begin adaptation to your site, and to the slope adaptation pages for topography.

**Note:** Some adaptations to the pattern designs to suit different street frontages result in mirroring of the floor plan, referred to as 'similar' (sim.) patterns. Ensure minimum setbacks and car parking guidance is adhered to.

- Small terrace (silver level livability)
- Medium terrace (silver level livability)
- Large terrace (gold level livability)
- Pedestrian entry
- Car space and sight splays

Not to scale





# Location requirements

## Siting and orientation adaptations (non-LMR base pattern)

These plans demonstrate siting and orientation principles for this pattern in the **non-LMR housing areas**, adapting to suit mid-block, corner, and rear-lane lots.

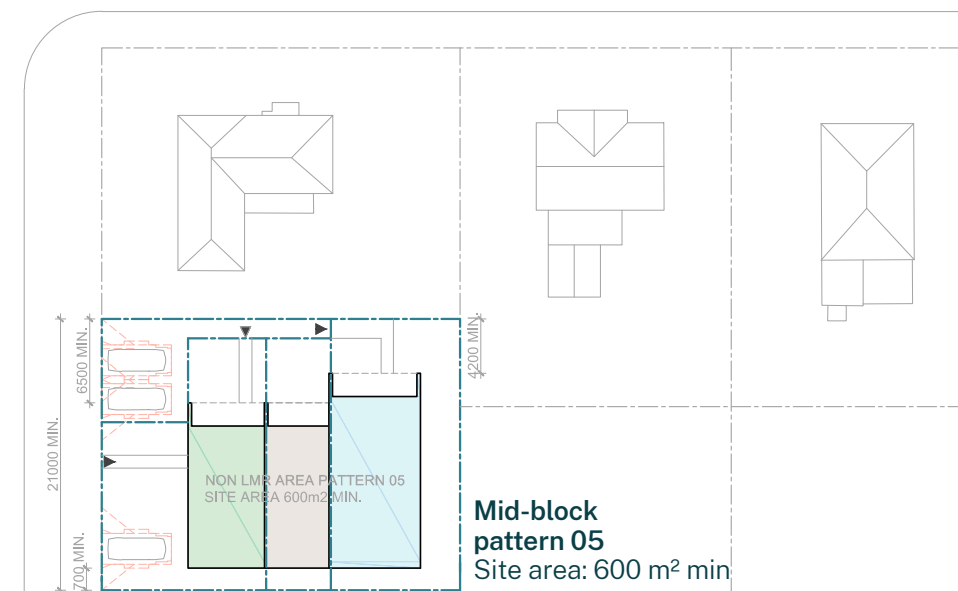
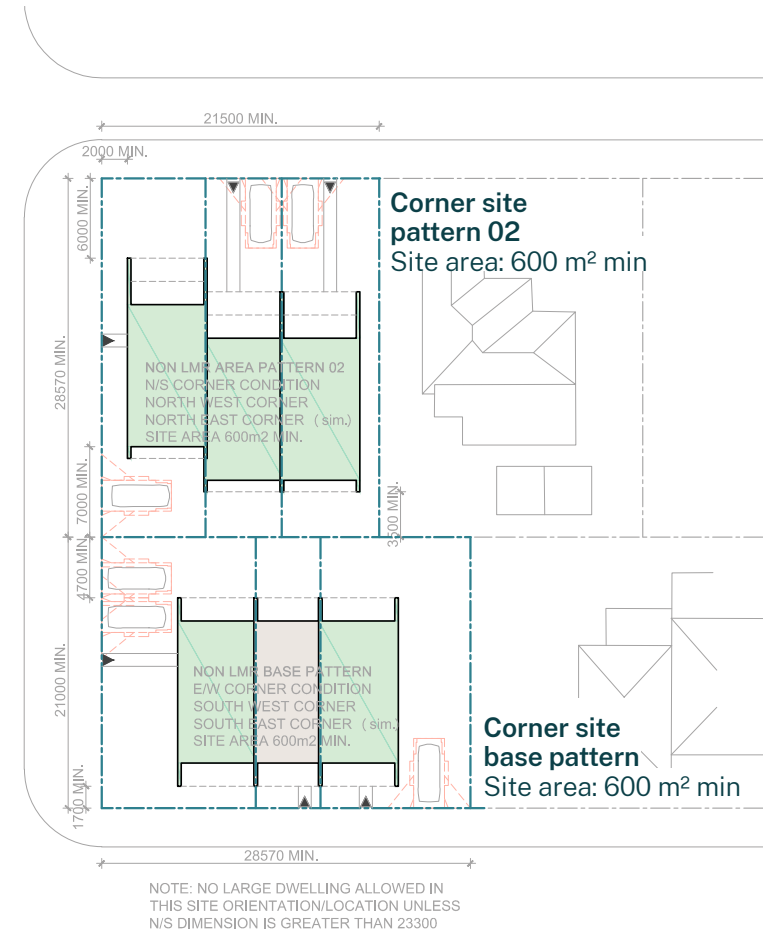
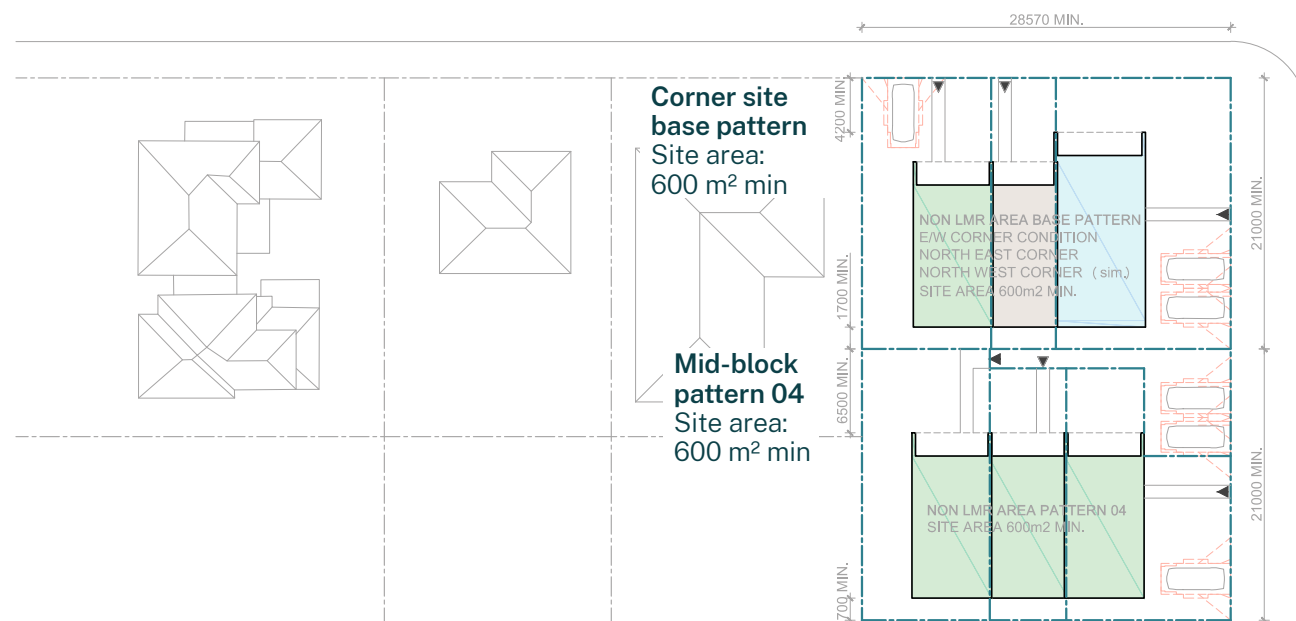
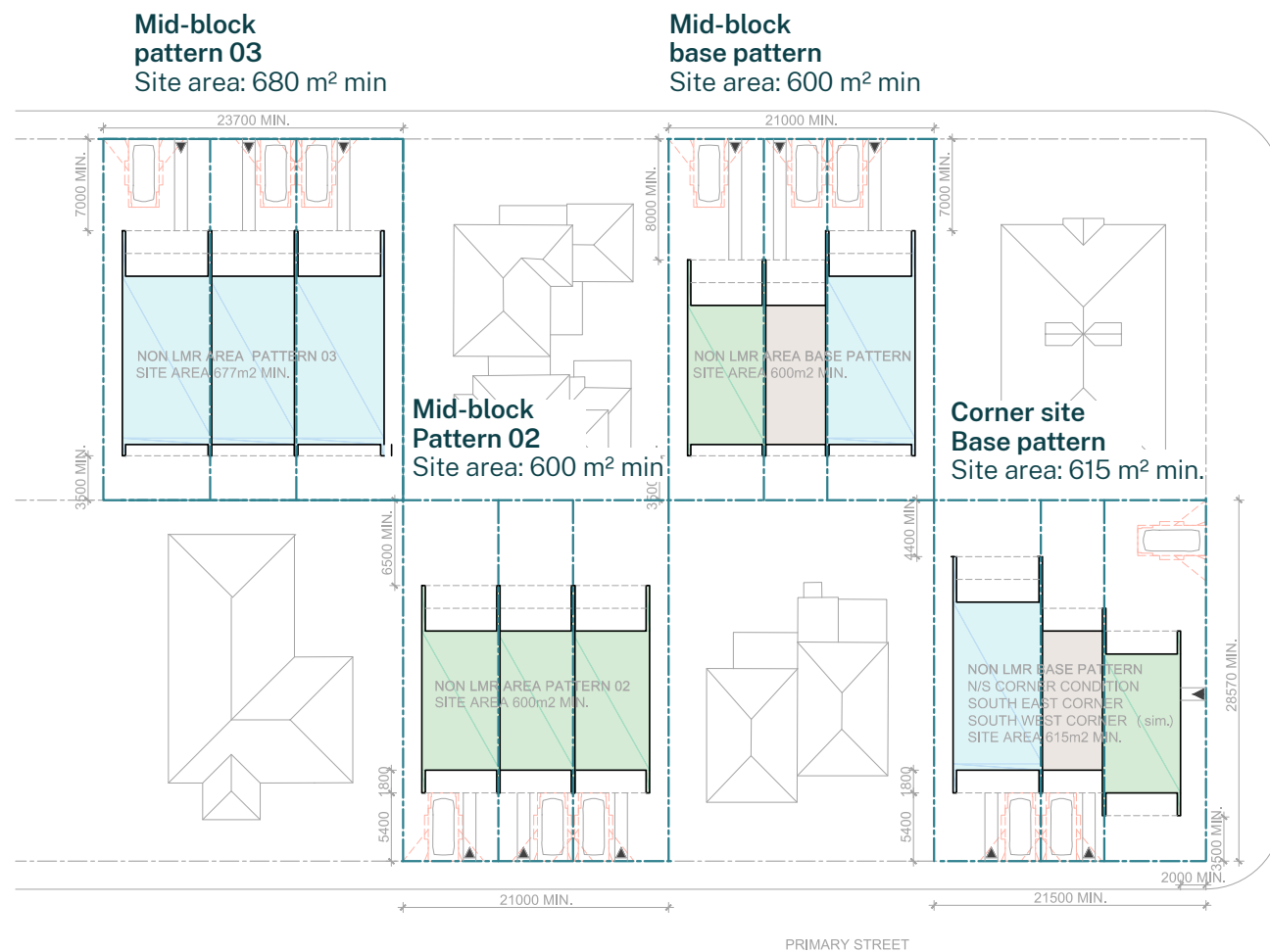
Pattern sites must:

- meet minimum lot width and areas
- meet minimum setbacks and landscape areas. Refer to the planning pages of this document for further detail.
- have driveways located a min 6 m from intersections. Confirm with local authorities if additional rules apply.

The examples also show the siting response to orientation. Analyse the drawing to find the most relevant example for your site, which shows recommended siting, driveway locations and opportunities to adjust for orientation.

Using this guidance, refer to the **non-LMR site plan** to begin adaptation to your site, and to the slope adaptation pages for topography.

**Note:** Some adaptations to the pattern designs to suit different street frontages result in mirroring of the floor plan, referred to as 'similar' (sim). Ensure minimum setbacks and car parking guidance is adhered to.



- Small terrace (silver level livability)
- Medium terrace (silver level livability)
- Large terrace (gold level livability)
- Pedestrian entry
- Car space and sight splays

Not to scale





Materials palette 01



Materials palette 02



Materials palette 03



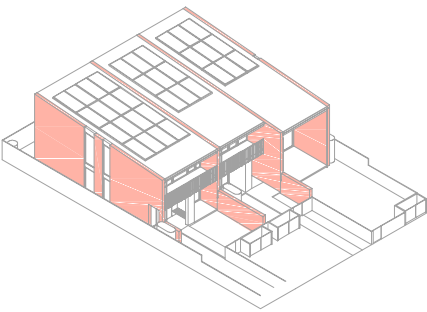
Pattern adaptations

Material selections

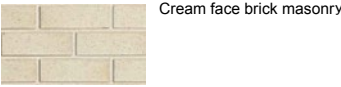
The patterns are available in a variety of material finishes, allowing flexibility to suit both user preferences and the unique character of each location. When selecting a material palette from these options, consider how it complements the existing streetscape.

Refer to the technical documentation for further detail on materials.

Common wall masonry



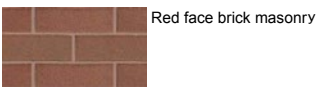
Materials palette 01



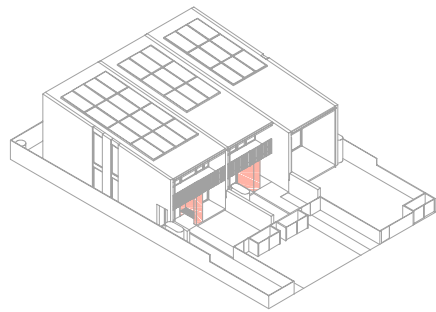
Materials palette 02



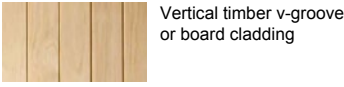
Materials palette 03



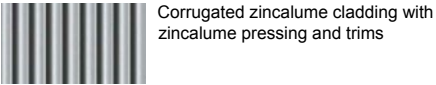
External cladding



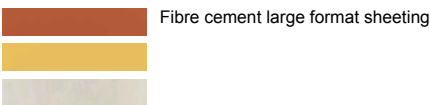
Materials palette 01



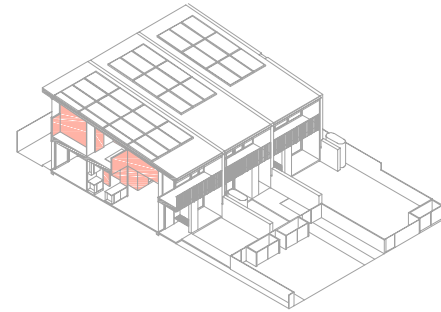
Materials palette 02



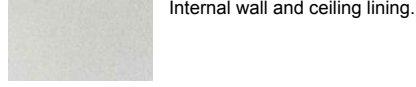
Materials palette 03



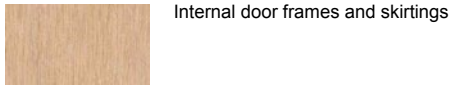
Internal linings



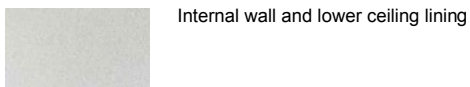
Materials palette 01



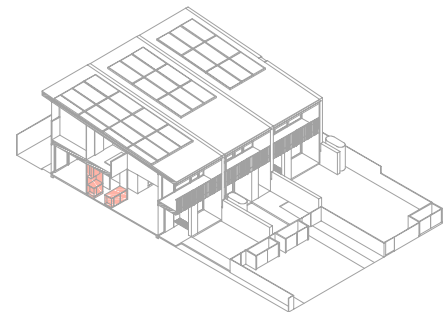
Materials palette 02



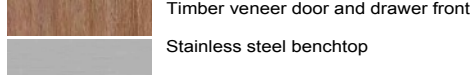
Materials palette 03



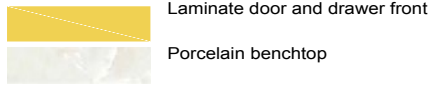
Cabinetry



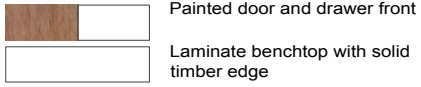
Materials palette 01



Materials palette 02



Materials palette 03





# Pattern selections template

Using this guide, site owners and designers can map how this housing pattern will be adapted to suit the specific site and meet the needs of the future occupants.

### Completing this page will:

- enable you to confirm the site meets the location type, minimum frontage and area requirements of this pattern
- consider the dwelling mix and inclusions of each dwelling
- review the lot features such as orientation and slope to inform which pattern adaptations need to be used
- consider the material palette and character options available
- allow the designer, builder or cost planner to prepare the project-specific drawing set and begin feasibility costings.

Site location	Base pattern	Adapt for size	Adapt for preference	Lot features	Building character
<div>Confirm lot size and lot width meets minimum area for site location</div> <div><div><input type="checkbox"/> LMR housing area site</div><div>500 m<sup>2</sup> (min) lot size</div><div>18 m (min) lot width</div></div> <div><div><input type="checkbox"/> Non-LMR housing area site</div><div>600 m<sup>2</sup> (min) lot size</div><div>21 m (min) lot width</div></div> <div><div>Note:</div><div><div>— LMR housing area base pattern included in this pack depicts a small, small, medium terrace size mix on a 500 m<sup>2</sup> site.</div><div>— Non-LMR housing area base pattern included in this pack depicts a small, medium, large terrace size mix on a 600 m<sup>2</sup> site.</div><div>— Alternate mix and site sizes are described on the pattern adaptations pages.</div></div></div>	<div><div>House 1 (small)</div><div>2 bed</div><div>1.5 bath</div><div>1 living</div><div>1 flexible room</div><div>car space (dependant on site location)</div></div> <div><div>House 2 (small)</div><div>2 bed</div><div>1.5 bath</div><div>1 living</div><div>1 flexible room</div><div>car space (dependant on site location)</div></div> <div><div>House 3 (medium)</div><div>3 bed</div><div>2 bath</div><div>1 living</div><div>1 flexible room</div><div>car space (dependant on site location)</div></div>	<div><div>select one</div><div><div><input type="checkbox"/> size small</div><div><input type="checkbox"/> size medium</div><div><input type="checkbox"/> size large</div></div></div> <div><div>select one</div><div><div><input type="checkbox"/> size small</div><div><input type="checkbox"/> size medium</div><div><input type="checkbox"/> size large</div></div></div> <div><div>select one</div><div><div><input type="checkbox"/> size small</div><div><input type="checkbox"/> size medium</div><div><input type="checkbox"/> size large</div></div></div>	<div><div>select applicable</div><div><div><input type="checkbox"/> single bathroom</div><div><input type="checkbox"/> bathroom and ensuite 01</div><div><input type="checkbox"/> bathroom and ensuite 02</div></div></div> <div><div>select applicable</div><div><div><input type="checkbox"/> additional bed-room over void*</div></div></div> <div><div>select applicable</div><div><div><input type="checkbox"/> single bathroom</div><div><input type="checkbox"/> bathroom and ensuite 01</div><div><input type="checkbox"/> bathroom and ensuite 02</div></div></div> <div><div>select applicable</div><div><div><input type="checkbox"/> additional bed-room over void*</div></div></div> <div><div>select applicable</div><div><div><input type="checkbox"/> single bathroom</div><div><input type="checkbox"/> bathroom and ensuite 01</div><div><input type="checkbox"/> bathroom + ensuite 02</div></div></div> <div><div>select applicable</div><div><div><input type="checkbox"/> additional bed-room over void*</div></div></div>	<div>Refer to site plans and pattern adaptations – location requirements for details</div> <div><div>Lot type select one</div><div><div><input type="checkbox"/> standard mid block</div><div><input type="checkbox"/> corner lot</div></div></div> <div><div>Frontage orientation</div><div><div><input type="checkbox"/> north</div><div><input type="checkbox"/> east</div><div><input type="checkbox"/> south</div><div><input type="checkbox"/> west</div></div></div> <div><div>Site slope select one</div><div><div><input type="checkbox"/> flat site</div><div><input type="checkbox"/> slope up to 1.4m front to back</div><div><input type="checkbox"/> slope up to 1.0m side to side</div></div></div>	<div>Refer to material palette guidance page and illustrative images pages for details</div> <div><div>Material palette select one</div><div><div><input type="checkbox"/> material palette 1</div><div><input type="checkbox"/> material palette 2</div><div><input type="checkbox"/> material palette 3</div><div><input type="checkbox"/> material palette 4</div></div></div> <div><div>Additional features</div><div><div><input type="checkbox"/> window shading device for west / east facing windows</div></div></div>
<div>The site location and available adaptations are described in the pattern adaptations and site plan pages.</div>	<div>The base pattern represents the available pattern design, with description of the adaptations available to suit your preferences. To understand the extent of options available refer to technical drawings section and review the base pattern plans and available adaptations.</div>			<div>Lot features and adaptations to suit lot orientation are described on pattern adaptations – location requirements pages with further guidance on specific orientation and slope features on the larger scale plans, sections and elevations in technical drawings section.</div>	<div>The pattern offers material palette options to suit user choice. Refer to the material palette guidance page, and included illustrative images for for further information.</div> <div>Refer to instructions for designers pages for the next steps, including how to use this page as part of your application.</div>



# Instructions for designers

## Preparing your submission for approvals

The drawings and designs provided in the pattern have been completed to a development application level of resolution to fast-track the preparation of application plans and documents specific to your site. Note that applications for pattern book projects, as complying development via the Pattern Book Development Code 2025, will require development of further documentation, as required for certification as complying development.

Guided by the pattern drawings and information, consider the design features and inclusions, along with the adaptations required to use the pattern on the subject site.

In addition to the information in this pattern package, a licensed package is available for purchase. This includes further technical information in PDF and DWG format. This will enable the designer to adapt the pattern to your site-specific design for the preparation of your planning application.

The table on this page lists typical inclusions for development applications and notes which are included in the pattern package. Proponents and designers will need to confirm all application requirements specific to their site and chosen planning pathway.

Typical architectural drawings	Pattern book drawing reference
Site analysis plan	Site specific
Site plan	Site specific Refer site plans A-301 / A-311 along with pattern adaptations – location requirements pages
Demolition plan (if applicable)	Site specific
Floor plan	Refer LMR base pattern A-300 series / Non-LMR base patterns A-310 series and pattern planning adaptations A-320 series
Sections	Refer to sections and slope guidance A-330 series
Elevations	Refer elevations and elevation guidance A-340 series
Shadow diagrams	Site specific
Schedule of colours, materials and finishes	Refer A-350 series for guidance on character and materials selections
3D views	Refer A-350 series and the pattern package
Services plan	Refer A-401 series for suggested services plan and considerations
Door and window schedule	Refer A-410 series. Note specific requirements for window performance will need to align with the BASIX certificate and thermal assessment
Construction and character details	Refer A-420 series. Indicative details have been provided for the pattern's key character details. Proponents will need to undertake their own due diligence and review

Typical reports and specifications	Pattern book drawing reference
Pattern licence terms and conditions	Required
Design verification statement	Template provided
BASIX certificate	Guidance provided for each pattern; refer separate attachment
Survey plan	
Subdivision plan (if applicable)	Refer site plans A-301 / A-311 for base pattern lots
Landscape plan	Refer to the pattern book landscape guidance for preparation of a site specific landscape plan
Section 138 driveway crossing approval	
Waste management plan	
Excavation and/or fill plan	
Erosion and sediment control plan	
Stormwater management plan	
Building specifications	
Quantity surveyors report	
Other reports*	Subject to the site-specific conditions and approval pathway, a number of reports, studies and/or specifications may be required. Consult with the certifier or consent authority to confirm required forms, reports and authority approvals that may be applicable to your project.

## Units and measurement

The pattern designs have been drafted to standard drawing scales. Site measurements are generally identified as minimum, allowing users to adjust the pattern to the specific site shape and size. Should discrepancies exist, refer to the development standards table. Measurements for sites have been rounded to the nearest 0.1 m, while areas have been rounded up or down to the nearest 5 m².

## NCC compliance

The low-rise pattern designs offered in the NSW Housing Pattern Book are capable of compliance with the National Construction Code (NCC) 2022 subject to final technical specifications and details.

The semi-detached, terrace and multi-dwelling patterns are Class 1a buildings. The manor house is defined as a Class 2 building. Additional compliance measures and reporting are required for Class 2 under the *Design and Building Practitioners Act 2020*. For this type of development the proponent is required to engage a practitioner registered with the NSW Design and Building Practitioners (DBP) scheme.

## Universal design

Low-rise pattern book dwellings must comply with the Australian Building Codes Board (ABCB) Livable Housing Design Standard, which has been adapted from the 'silver' level requirements of the Livable Housing Association (LHA) Livable Housing Design Guidelines. Several of the patterns include options for adapting one or all of the dwellings in the development to achieve the ABCB 'voluntary standard' ('beyond minimum') set out in the ABCB Voluntary Standard for Livable Housing Design: Beyond Minimum. The ABCB voluntary standard has been adapted from the LHA 'gold' level requirements.

For details of differences between Class 1a and 2 requirements, examples and exemptions refer to the [ABCB Livable Housing Design Handbook](#).



## Site slope

The pattern designs can be modified to suit gently sloping sites. The scope for this is documented in the pattern plans and sections.

As patterns are adjusted to meet the specific site conditions, design considerations include:

- maintaining paths of travel to front doors according to the Livable Housing Design Standard
- potential for and locations of retaining walls. Refer to the complying development conditions for permitted excavation and retaining walls
- stormwater management and drainage systems.

## Driveways and driveway crossings

The location of the driveway and driveway crossing is shown on the plans. Proponents must ensure the design meets the requirements of Australian Standard AS 2890.1:2004 *Parking facilities, Part 1: Off-street car parking*.

AS 2890.1 prescribes sight lines for pedestrian safety, to maintain clear visibility for drivers leaving a car space and for pedestrians on a nearby footpath. The design needs to ensure:

- the pedestrian sight line for the driveway fits wholly on the site and can be kept clear of obstructions over 800 mm in height, or
- if not able to sit wholly within the site, the fencing and any landscape constructions are kept below 800 mm height for the zone. In some instances this may require agreement with neighbouring parties.

Driveways should not be affected by existing structures such as street trees, earth mounds, bus shelters, power poles and other physical features. Removal of such features may be permitted subject to council approval.

All driveways should be permeable to reduce stormwater runoff. To meet the requirements of the ABCB Livable Housing Design Standard driveways must be step free.

## Construction systems and materials

The construction system for the pattern designs provides efficient and coordinated planning, aligning load paths, wet areas and service risers where practical. Specific materials have been selected for the external elevations and character as shown on the materials pages.

Generally, the pattern assumes the buildings have slab-on-ground concrete slab at ground level and timber framing for walls, upper floors and roofs. Tolerances are included within the designs presented to allow proponents to adjust the floor, wall and roof systems to suit their own desired methodology. Each pattern user will need to review this in preparing the construction documentation with their designer, builder and cost planner.

Where possible spans across rooms and openings have been strategically considered to allow for standard framing techniques and limit the use of steel, subject to the specific project's structural engineer's design.

Party walls are generally assumed to be masonry, however there is allowance to accommodate a number of available party wall systems. The project team will need to select the party wall system to meet the fire and acoustic requirements of the NCC, as well as their BASIX and thermal certification.

Note that the manor house design is NCC Class 2 construction and has additional fire and compliance requirements that need to be met. Work with your accredited DBP practitioner and certifier to achieve compliance.

## Waste bins

The preferred location for bin storage is shown on the plans allowing 3 x standard 240 L bins for waste, recycling, and FOGO (food organics and garden organics).

In some locations, councils may allow smaller 120 L bins. This needs to be confirmed for the local area.

Space for kerbside waste collection has been considered in the pattern design (based on a NSW-wide review of kerbside waste collection). Applicants need to review whether this is suitable for the specific site conditions.

## Services provision

The pattern designs have had early consideration of services and integrating service spaces into the designs. Below is a description of the service provisions and assumptions of the pattern designs.

### Electrical

All dwellings are to be fully electric.

Allowance has been made for heat pump hot water units.

Provision for meter boards and distribution boards is shown on the servicing page. Side gates should be located so meter panels can be accessed from outside the gate.

All patterns allow for photovoltaic solar panel installation to the roof areas with allowance made for inverter installation near the meter board. This will need to be coordinated with any other toilet vents, pipes or roof access equipment.

A 15 A outlet will be required in the garage for potential electric vehicle (EV) charging.

## NBN

Consideration has been made for National Broadband Network (NBN) connection to the dwellings, subject to service provider availability. Refer to the services diagram for further detail and proposed location of the NBN premises connection device.

## Water and hydraulic services

Rainwater tanks have been incorporated into the designs as shown. At a minimum these are to be used for landscape watering, however they can also be connected to toilets and the cold tap of washing machines. For further detail refer to the BASIX guidance and confirm alignment with the commitments on the BASIX certificate.

Water meters are to be provided for the dwelling in accordance with water authority requirements.

## Civil and stormwater

The design of stormwater systems is site specific, and subject to location, slope and ground conditions. Applicants will need to engage a suitably qualified engineer to confirm the stormwater system design and layout.

The pattern designs include suggested location for on-site detention (OSD) areas, along with details of downpipes, rainwater collection, and drainage for paved or concreted areas.

## Mechanical

The ability to accommodate air-conditioning systems has been reviewed for the patterns. Pattern applicants will need to assess the requirements for integrated or wall-mounted units, along with the BASIX commitments.



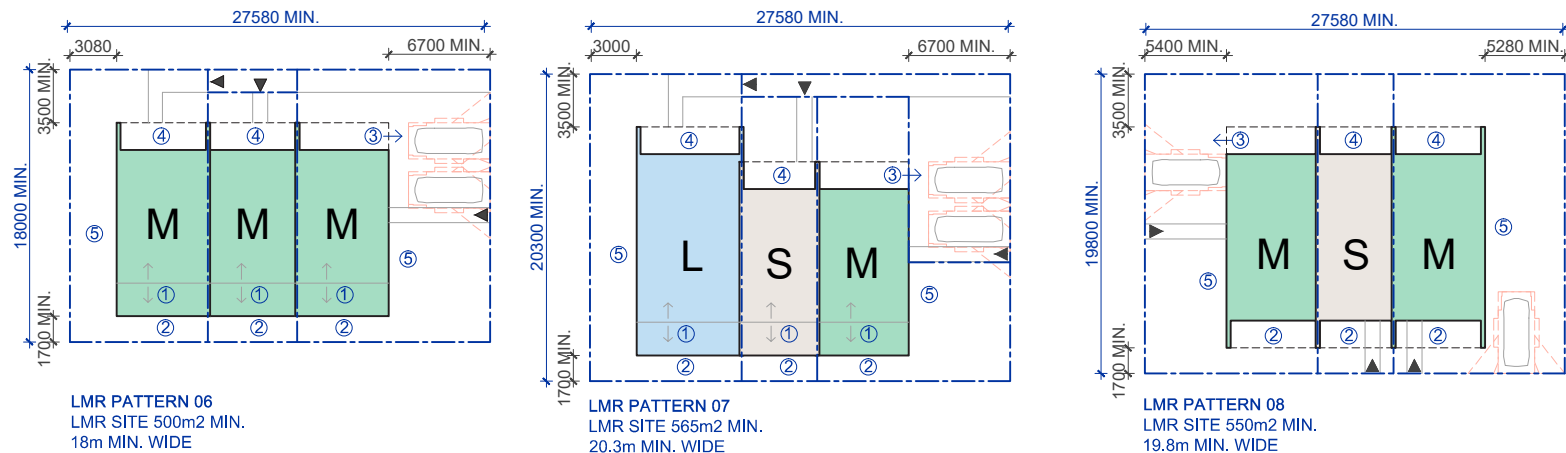
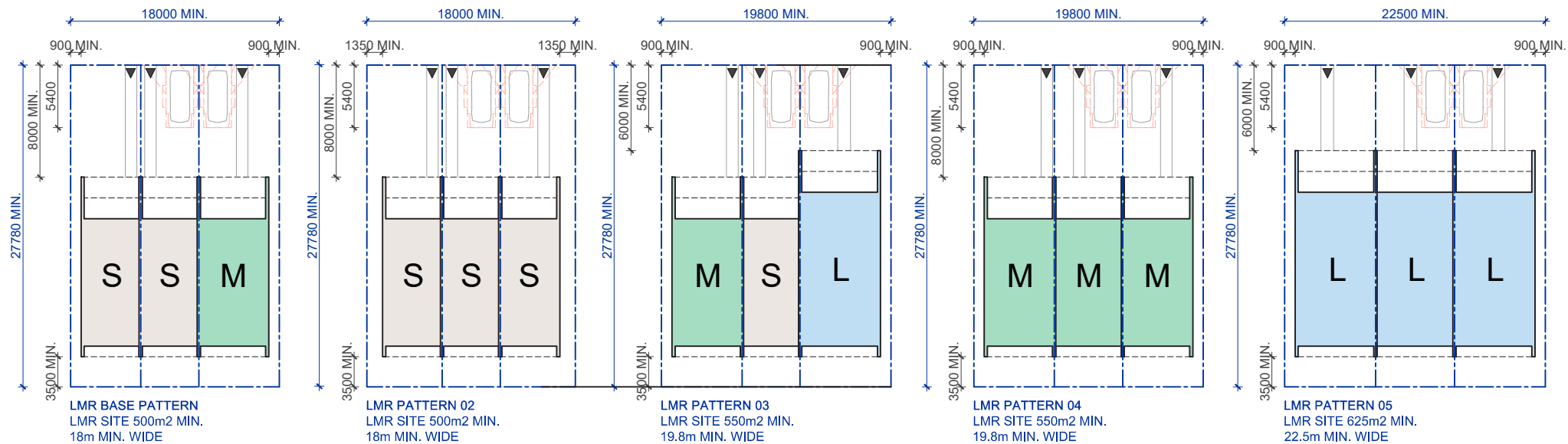
# TERRACES 03

by Officer Woods Architects

Technical  
drawings







**Guidance Notes**

**GENERALLY:**

S = SMALL TYPE (Silver Liveable Housing Standard)  
M = MEDIUM TYPE (Silver Liveable Housing Standard)  
L = LARGE TYPE (Gold Liveable Housing Beyond Standard)

Different dwelling combinations and locations within sites are allowable as long as nominated minimum setbacks are met.

**NORTH SOUTH LMR SITE RULES**

A When street is to south, increase southern setback to 7.2m  
B Refer Planning Adaptations for extent of southern balcony

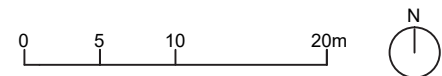
**EAST WEST LMR SITE RULES**

① Required pitched roof except if primary street is to the south  
② No overhang to south except if primary street is to the south  
③ Dwelling closest to street to have balcony facing street  
④ No balconies to other dwellings - 1800 shading devices only  
⑤ Extra openings allowable in East and West walls as long as BASIX and overlooking/privacy compliance are met

**KEY**

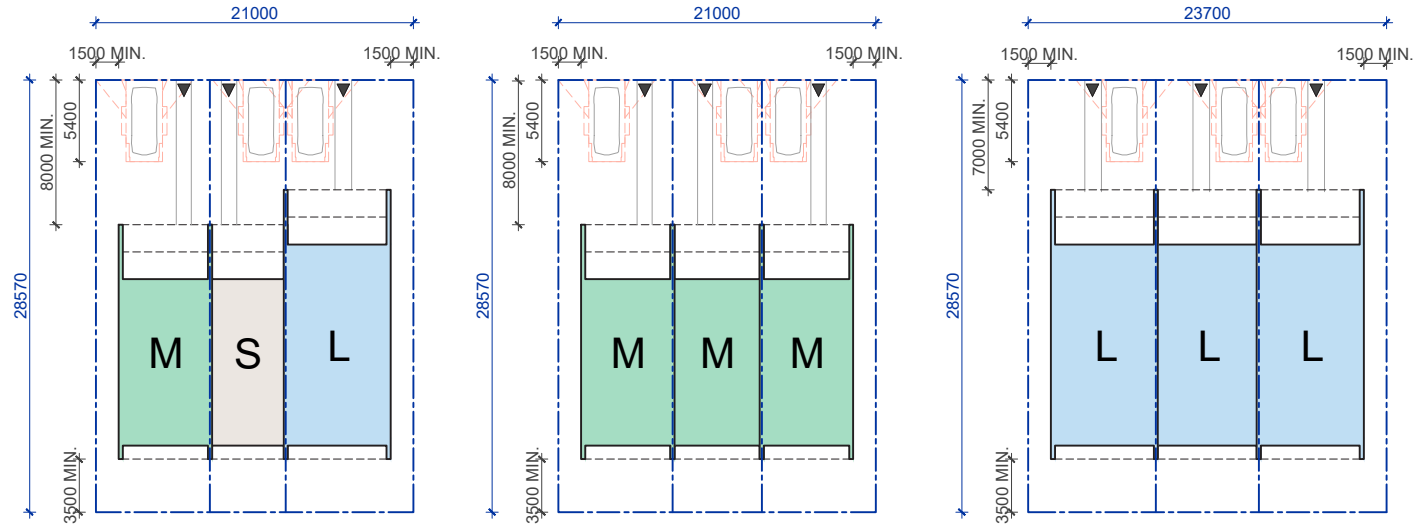
- Boundary
- Building
- Building Line Over
- Car Space and Sight Splays
- Pedestrian Entry
- Landscape and Site Context
- S Small Dwelling Type: Silver Liveable Housing Design Standard
- M Medium Dwelling Type: Silver Liveable Housing Design Standard
- L Large Dwelling Type: Gold Liveable Housing Design Beyond Minimum Standard

## LMR SITE PATTERN ADAPTATIONS



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



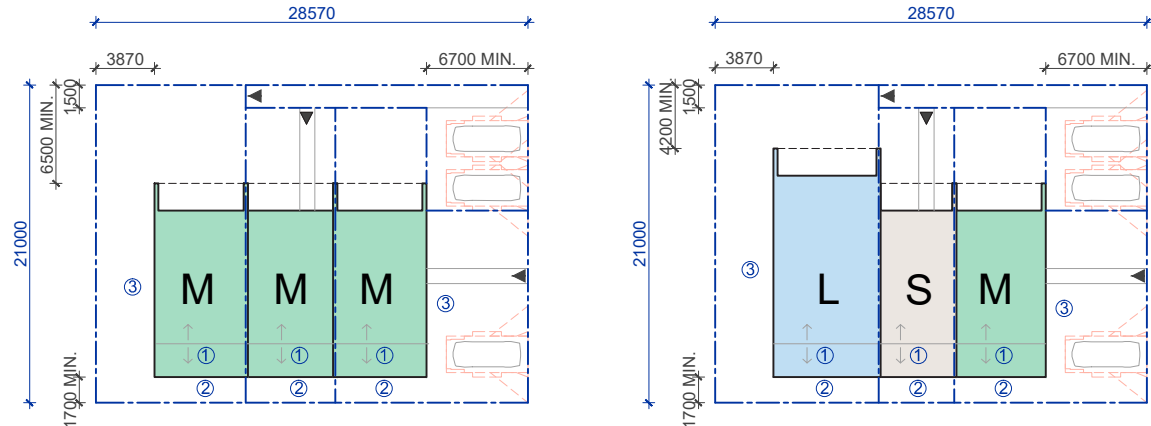


NON LMR AREA BASE PATTERN  
NON LMR SITE 600m2 MIN.  
21m MIN. WIDE

NON LMR AREA PATTERN 02  
NON LMR SITE 600m2 MIN.  
21m MIN. WIDE

NON LMR AREA PATTERN 03  
NON LMR SITE 677m2 MIN.  
23.7m MIN. WIDE

NON LMR SITE PATTERN ADAPTATIONS



NON LMR AREA PATTERN 04  
NON LMR SITE 600m2 MIN.  
21m MIN. WIDE

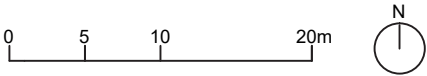
NON LMR AREA PATTERN 05  
NON LMR SITE 600m2 MIN.  
21m MIN. WIDE

NON LMR SITE PATTERN ADAPTATIONS

**Guidance Notes**  
  
GENERALLY:  
  
S = SMALL TYPE ( Silver Liveable Housing Standard )  
M = MEDIUM TYPE ( Silver Liveable Housing Standard )  
L = LARGE TYPE ( Gold Liveable Housing Beyond Standard )  
  
Different dwelling combinations and locations within sites are allowable as long as nominated minimum setbacks are met.

**NORTH SOUTH NON LMR SITE RULES**  
  
A When street is to south, increase southern setback to 7.2m  
B Refer Planning Adaptations for extent of southern balcony  
  
**EAST WEST NON LMR SITE RULES**  
  
① Required pitched roof except if primary street is to the south  
② No overhang to south except if primary street is to the south  
③ Extra openings allowable in East and West walls as long as BASIX and overlooking/privacy compliance are met

**KEY**  
  
--- Boundary  
—— Building  
----- Building Line Over  
- - - - Car Space and Sight Splays  
◀ Pedestrian Entry  
—— Landscape and Site Context  
  
S Small Dwelling Type: Silver Liveable Housing Design Standard  
M Medium Dwelling Type: Silver Liveable Housing Design Standard  
L Large Dwelling Type: Gold Liveable Housing Design Beyond Minimum Standard



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



© State of New South Wales (Department of Planning, Housing and Infrastructure) 2025  
Government Architect NSW for New South Wales Department of Planning, Housing and Infrastructure (GANSW) has approved this pattern for inclusion in the Housing Pattern Book. This Pattern is an indicative design for planning application purposes and is not suitable for construction. GANSW accepts no responsibility or liability in relation to use of this Pattern or any resulting built outcome. It is the sole responsibility of each Pattern user to make their own enquiries and obtain professional advice in relation to approvals, compliance, and construction of this Pattern. Any use of this Pattern must be in accordance with the [Terms and Conditions](#), which may be retracted or amended by GANSW at any time. Any misuse may be prosecuted.

Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

**OW**  
with Jennie Officer,  
The University of  
Western Australia

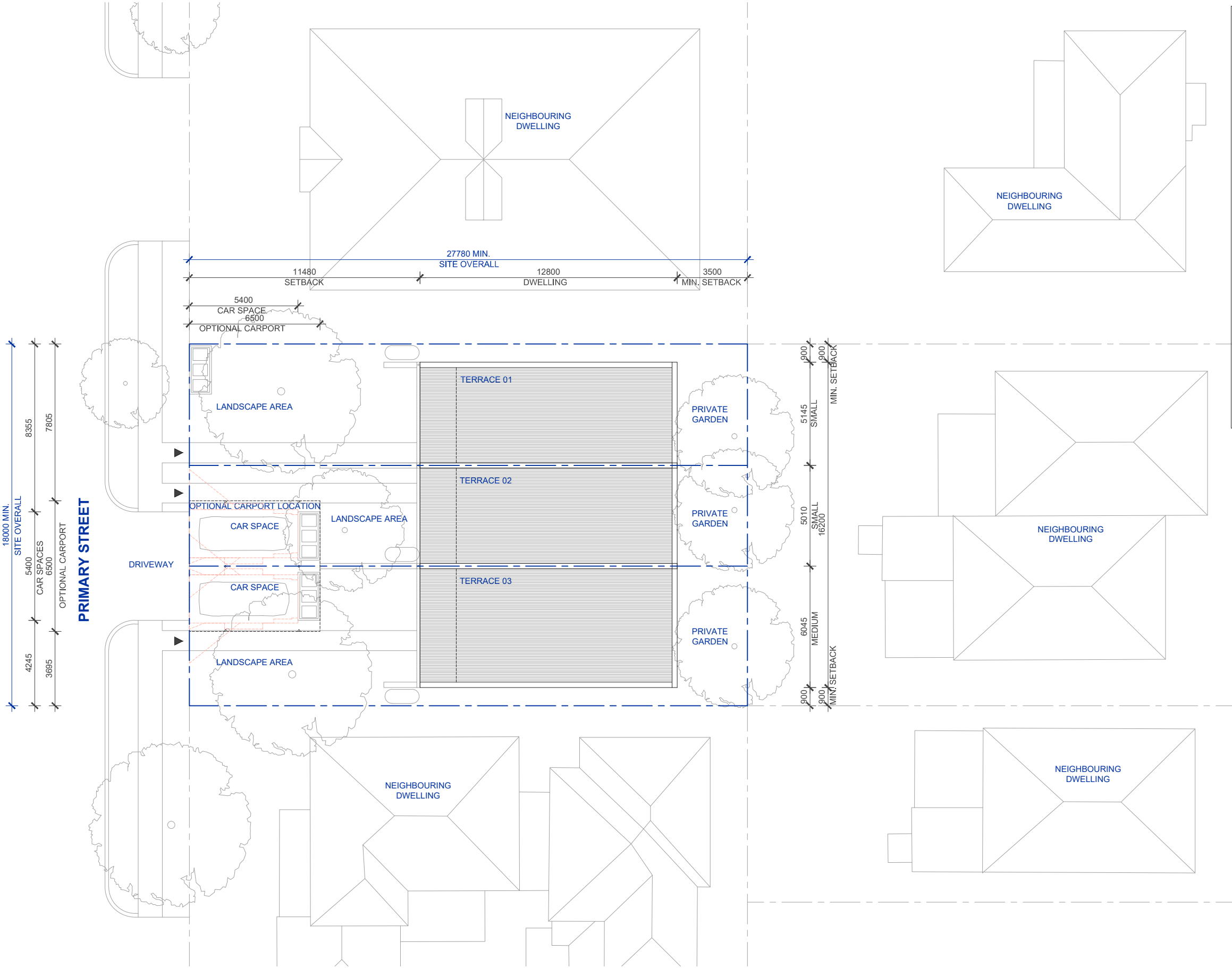
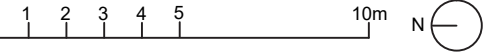
Pattern Code **TH03**  
Name **Terraces 03 by Officer Woods Architects with Jennie Officer UWA**

Drawing No. **A-301**  
Name **LMR Housing Area Site Plan**  
Scale **1:200 @ A3**

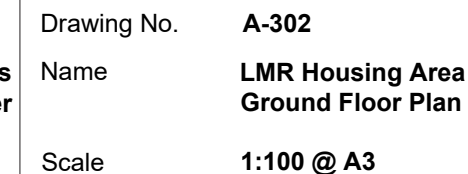
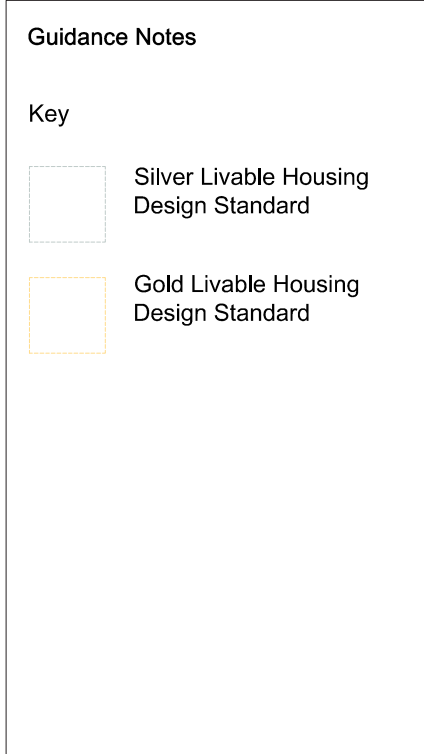
Guidance Notes

The LMR Base Pattern Design shown on this Site Plan stipulates minimum front, side and rear setbacks suitable for this orientation and street frontage. Refer to the following sheets for siting guidance for other site conditions:

A-201 Pattern Adaptations: Dwellings,  
A-202 Pattern Adaptations: Dwellings,  
A-211 Siting LMR Sites,  
A-212 Siting Non-LMR Sites









© State of New South Wales (Department of Planning, Housing and Infrastructure) 2025  
Government Architect NSW for New South Wales Department of Planning, Housing and Infrastructure (GANSW) has approved this pattern for inclusion in the Housing Pattern Book. This Pattern is an indicative design for planning application purposes and is not suitable for construction. GANSW accepts no responsibility or liability in relation to use of this Pattern or any resulting built outcome. It is the sole responsibility of each Pattern user to make their own enquiries and obtain professional advice in relation to approvals, compliance, and construction of this Pattern. Any use of this Pattern must be in accordance with the [Terms and Conditions](#), which may be retracted or amended by GANSW at any time. Any misuse may be prosecuted.

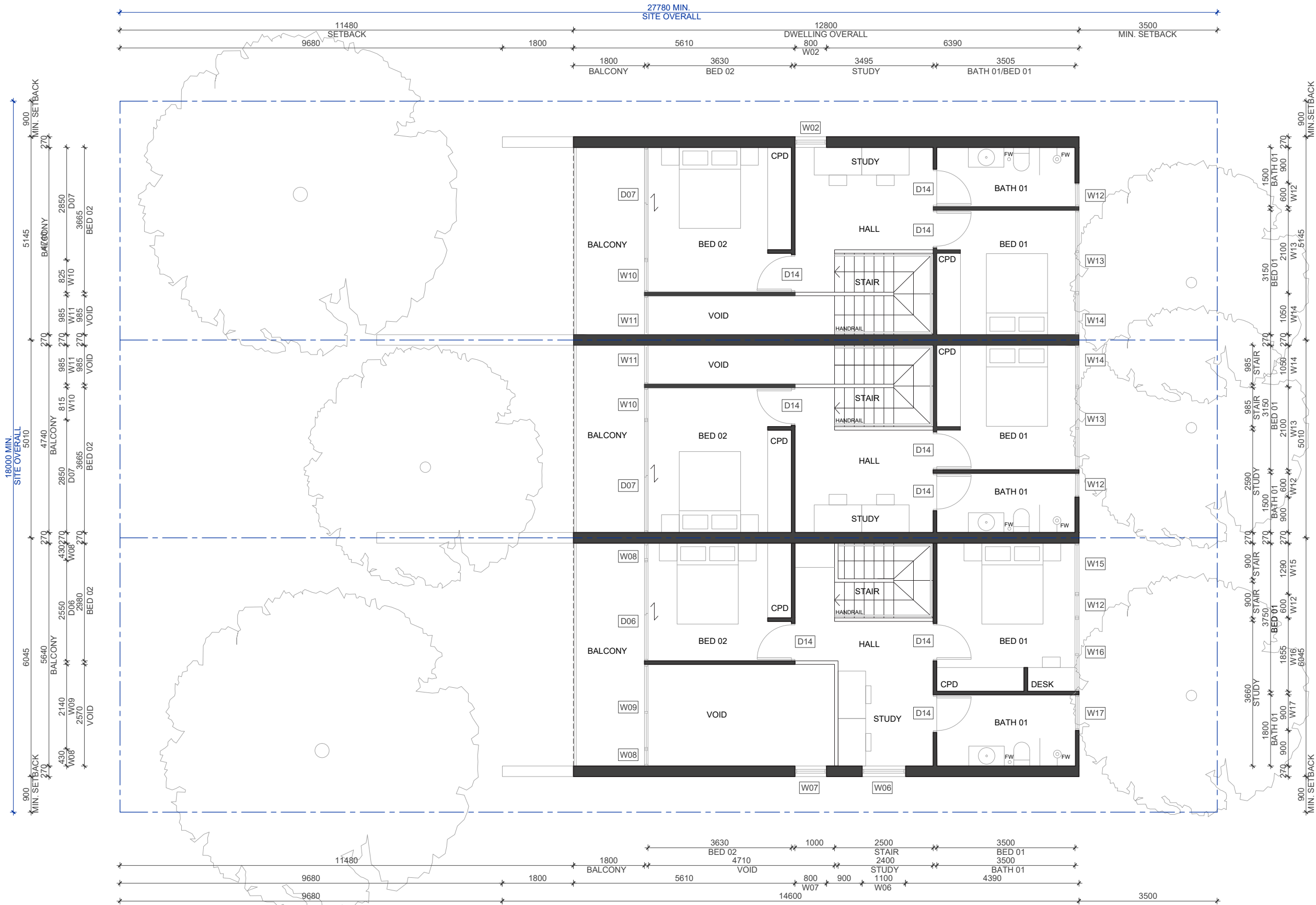
Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



with Jennie Officer,  
The University of  
Western Australia

Pattern Code **TH03**  
Name **Terraces 03 by Officer Woods Architects with Jennie Officer UWA**

Drawing No. **A-303**  
Name **LMR Housing Area First Floor Plan**  
Scale **1:100 @ A3**





© State of New South Wales (Department of Planning, Housing and Infrastructure) 2025  
Government Architect NSW for New South Wales Department of Planning, Housing and Infrastructure (GANSW) has approved this pattern for inclusion in the Housing Pattern Book. This Pattern is an indicative design for planning application purposes and is not suitable for construction. GANSW accepts no responsibility or liability in relation to use of this Pattern or any resulting built outcome. It is the sole responsibility of each Pattern user to make their own enquiries and obtain professional advice in relation to approvals, compliance, and construction of this Pattern. Any use of this Pattern must be in accordance with the [Terms and Conditions](#), which may be retracted or amended by GANSW at any time. Any misuse may be prosecuted.

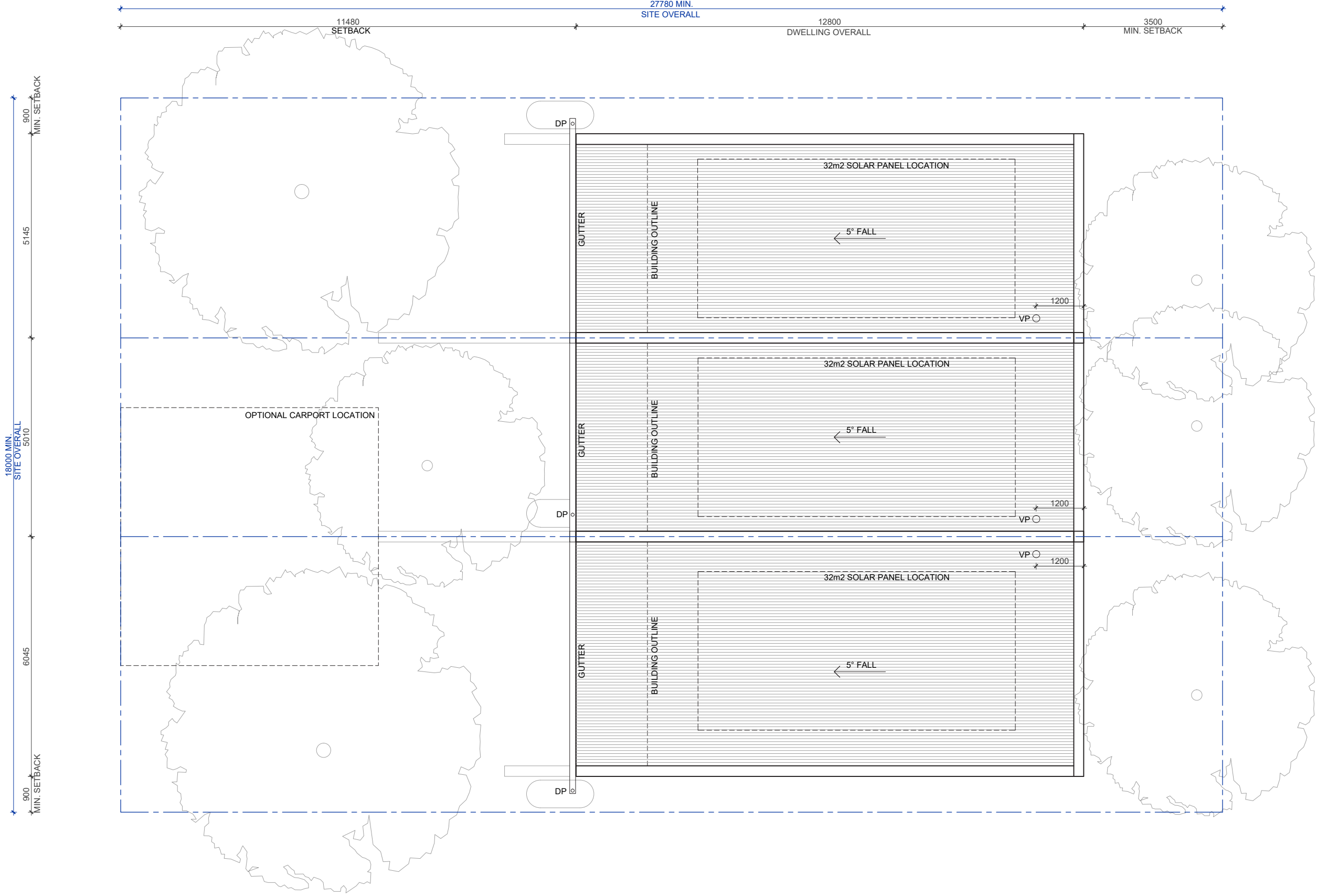
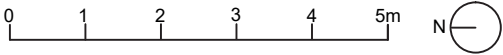
Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



with Jennie Officer,  
The University of  
Western Australia

Pattern Code **TH03**  
Name **Terraces 03 by Officer Woods  
Architects with Jennie Officer  
UWA**

Drawing No. **A-304**  
Name **LMR Housing Area  
Roof Plan**  
Scale **1:100 @ A3**



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



with Jennie Officer,  
The University of  
Western Australia

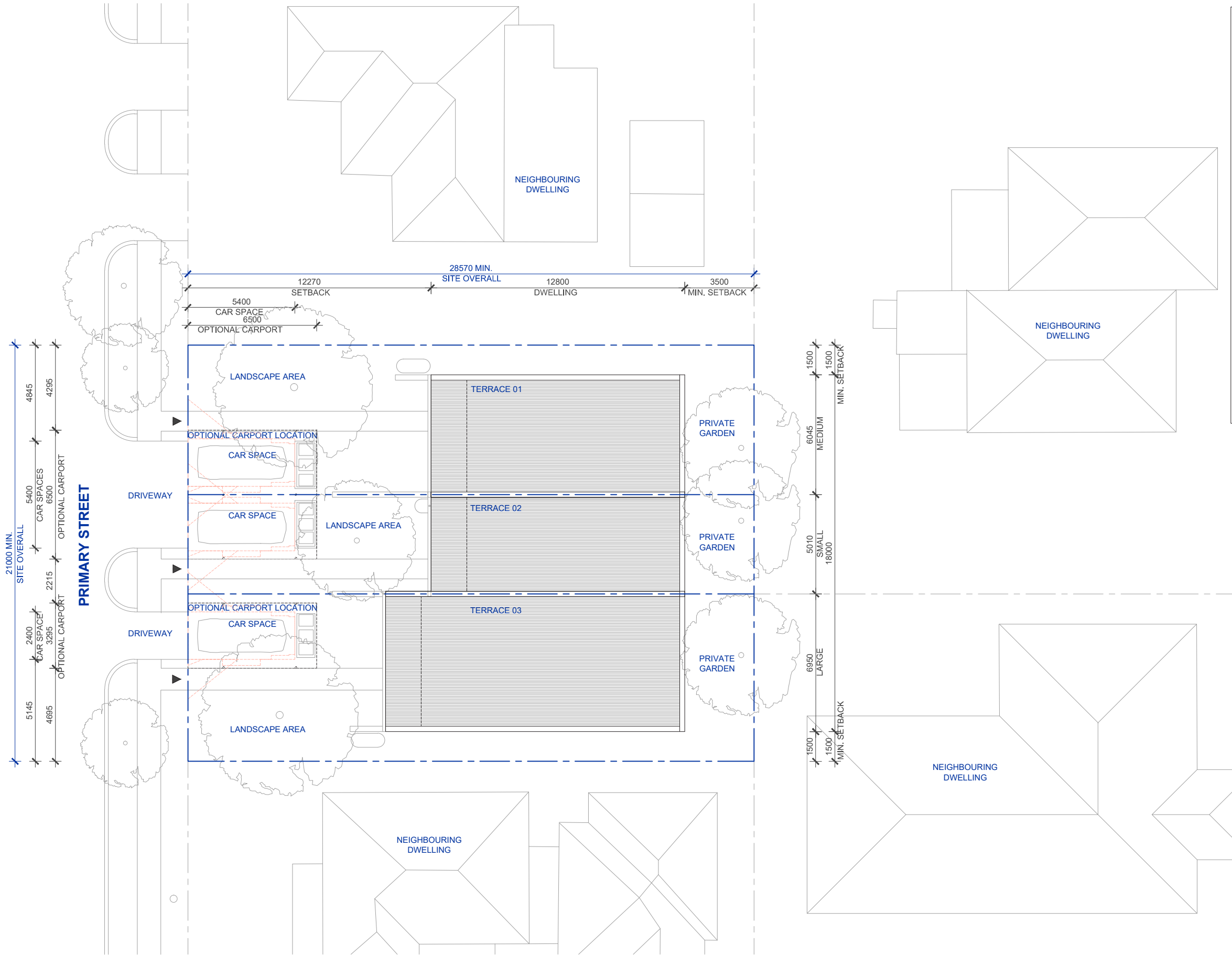
Pattern Code **TH03**  
Name **Terraces 03 by Officer Woods Architects with Jennie Officer UWA**

Drawing No. **A-311**  
Name **Non-LMR Housing Area Site Plan**  
Scale **1:200 @ A3**

Guidance Notes

The LMR Base Pattern Design shown on this Site Plan stipulates minimum front, side and rear setbacks suitable for this orientation and street frontage. Refer to the following sheets for siting guidance for other site conditions:

A-201 Pattern Adaptations: Dwellings,  
A-202 Pattern Adaptations: Dwellings,  
A-211 Siting LMR Sites,  
A-212 Siting Non-LMR Sites





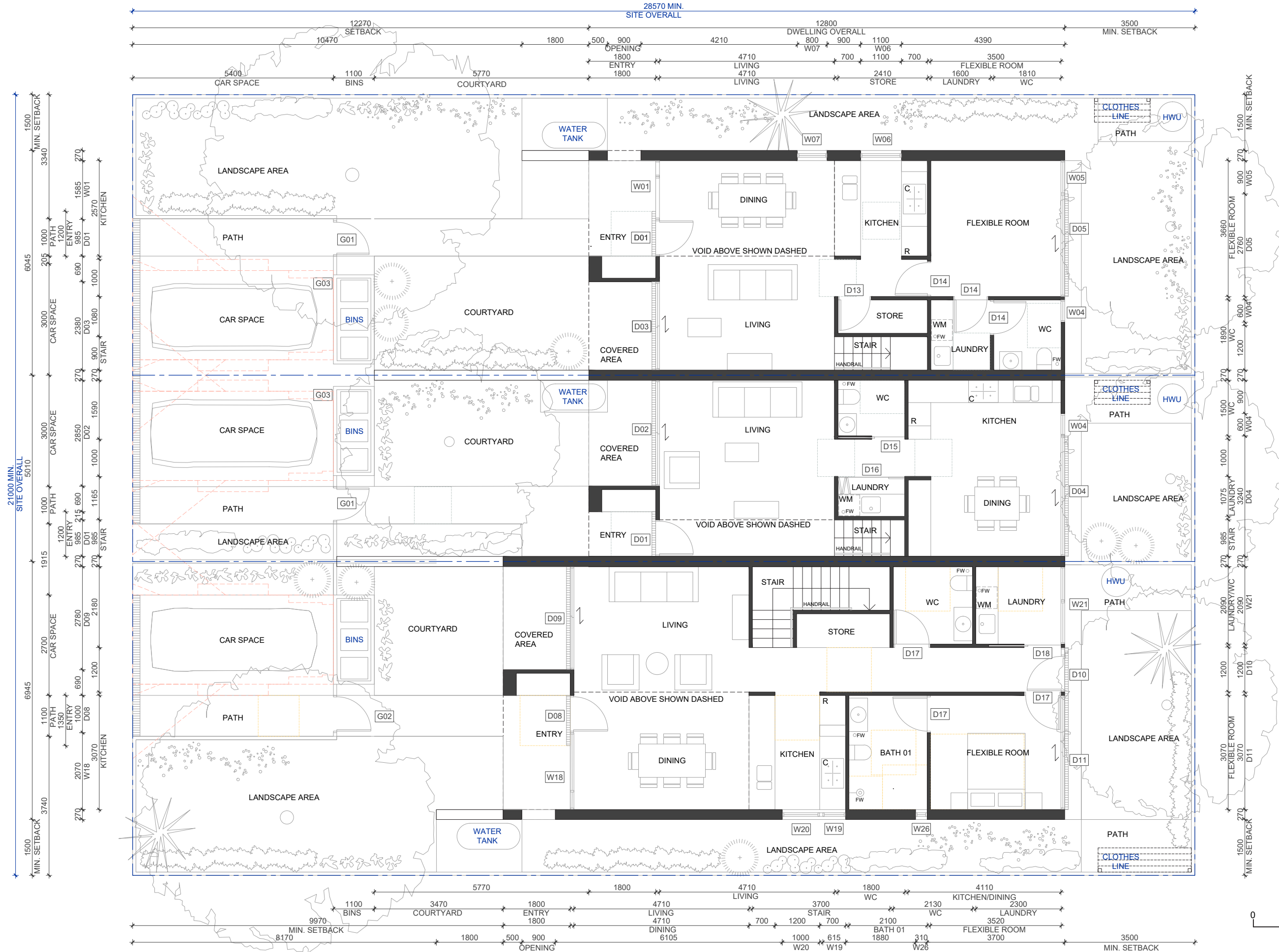
© State of New South Wales (Department of Planning, Housing and Infrastructure) 2025  
Government Architect NSW for New South Wales Department of Planning, Housing and Infrastructure (GANSW) has approved this pattern for inclusion in the Housing Pattern Book. This Pattern is an indicative design for planning application purposes and is not suitable for construction. GANSW accepts no responsibility or liability in relation to use of this Pattern or any resulting built outcome. It is the sole responsibility of each Pattern user to make their own enquiries and obtain professional advice in relation to approvals, compliance, and construction of this Pattern. Any use of this Pattern must be in accordance with the [Terms and Conditions](#), which may be retracted or amended by GANSW at any time. Any misuse may be prosecuted.

Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

**OW**  
with Jennie Officer,  
The University of  
Western Australia

Pattern Code **TH03**  
Name **Terraces 03 by Officer Woods Architects with Jennie Officer UWA**

Drawing No. **A-312**  
Name **Non-LMR Housing Area Ground Floor Plan**  
Scale **1:100 @ A3**



Guidance Notes

Key

- Silver Livable Housing Design Standard
- Gold Livable Housing Design Standard

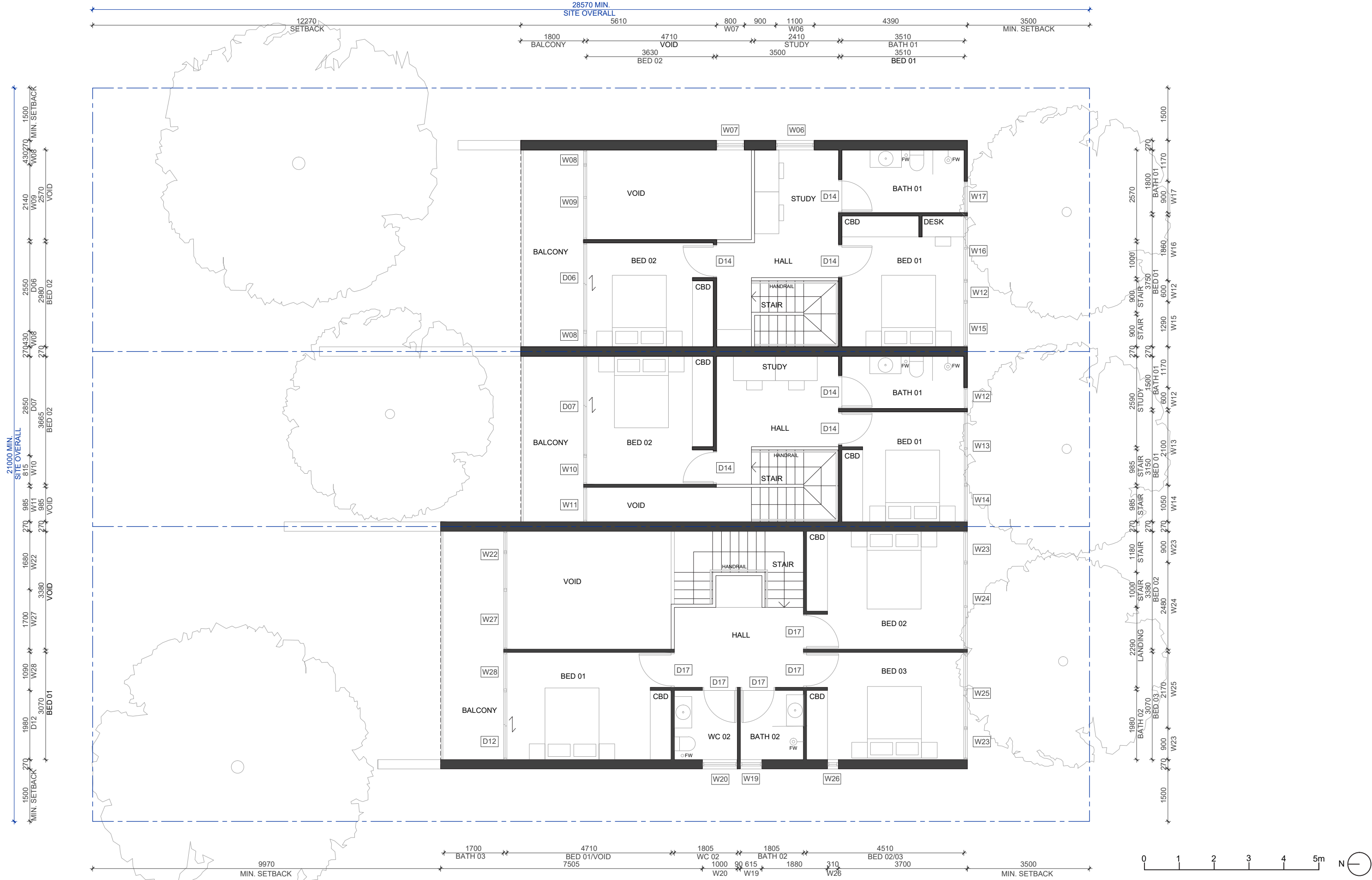
© State of New South Wales (Department of Planning, Housing and Infrastructure) 2025  
Government Architect NSW for New South Wales Department of Planning, Housing and Infrastructure (GANSW) has approved this pattern for inclusion in the Housing Pattern Book. This Pattern is an indicative design for planning application purposes and is not suitable for construction. GANSW accepts no responsibility or liability in relation to use of this Pattern or any resulting built outcome. It is the sole responsibility of each Pattern user to make their own enquiries and obtain professional advice in relation to approvals, compliance, and construction of this Pattern. Any use of this Pattern must be in accordance with the [Terms and Conditions](#), which may be retracted or amended by GANSW at any time. Any misuse may be prosecuted.

Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

**OW**  
with Jennie Officer,  
The University of  
Western Australia

Pattern Code **TH03**  
Name **Terraces 03 by Officer Woods Architects with Jennie Officer UWA**

Drawing No. **A-313**  
Name **Non-LMR Housing Area First Floor Plan**  
Scale **1:100 @ A3**





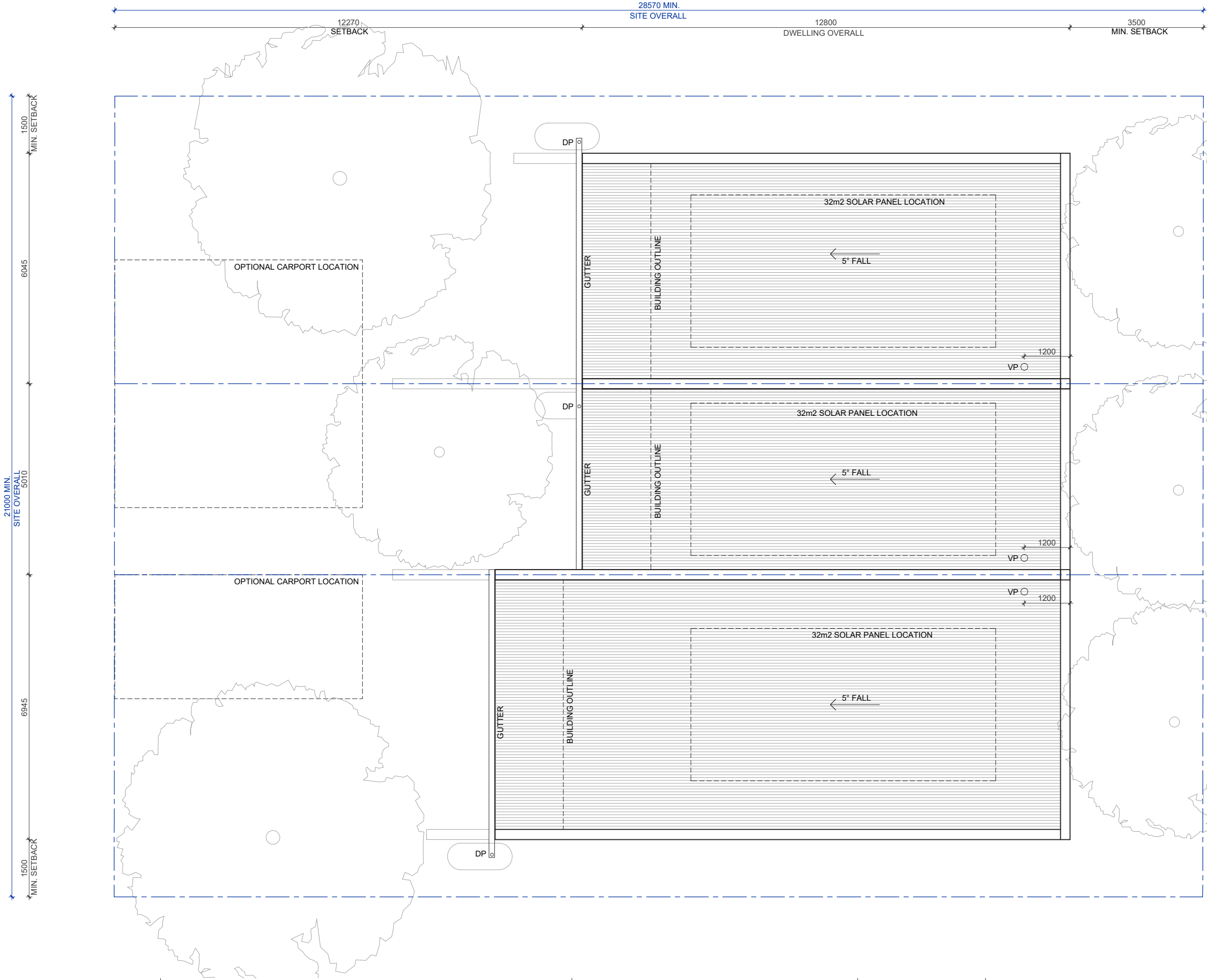
© State of New South Wales (Department of Planning, Housing and Infrastructure) 2025  
Government Architect NSW for New South Wales Department of Planning, Housing and Infrastructure (GANSW) has approved this pattern for inclusion in the Housing Pattern Book. This Pattern is an indicative design for planning application purposes and is not suitable for construction. GANSW accepts no responsibility or liability in relation to use of this Pattern or any resulting built outcome. It is the sole responsibility of each Pattern user to make their own enquiries and obtain professional advice in relation to approvals, compliance, and construction of this Pattern. Any use of this Pattern must be in accordance with the [Terms and Conditions](#), which may be retracted or amended by GANSW at any time. Any misuse may be prosecuted.

Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

**OW**  
with Jennie Officer,  
The University of  
Western Australia

Pattern Code **TH03**  
Name **Terraces 03 by Officer Woods  
Architects with Jennie Officer  
UWA**

Drawing No. **A-314**  
Name **Non-LMR Housing Area  
Roof Plan**  
Scale **1:100 @ A3**





GROUND FLOOR BASE OPTION

- 1-6 Refer Typical Rules
- 7 If adjacent to side setback, always face WC to setback

FIRST FLOOR BASE OPTION

- 8 On corner sites, where entering from side, change width of W to align vertically with entry door below
- Where in 'middle of the row', change W to ventilated skylight

FIRST FLOOR ADAPTATION 1

- 8 As per First Floor Base Option
- 9 Ensuite and additional Bathroom. Where in 'middle of the row', change W to ventilated skylight

ENTRY FROM SOUTH GROUND FLOOR BASE OPTION

- 1-4 Refer Typical Rules
- 7 If adjacent to side setback, always face WC to setback
- 10 Entry and associated porch relocated to south

ENTRY FROM SOUTH FIRST FLOOR BASE OPTION

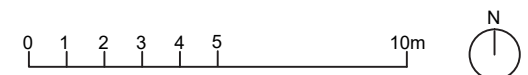
- 11 Provide 1800 balcony to southern bedroom, reconfigure glazing to suit

Guidance Notes

TYPICAL RULES

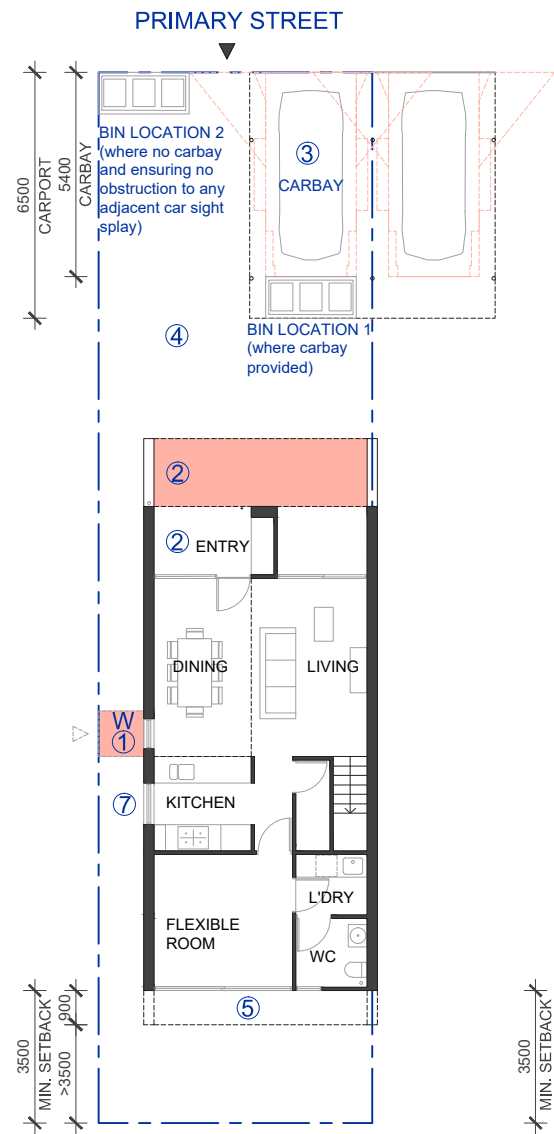
- 1 On corner sites, ensure minimum side setback dimension of 1200, enter from side, change W to entry door and provide 1200x1200 canopy over entry door
- 2 If northern balcony provided, extend roof 1800 only. If balcony not provided, extend roof 3600.
- 3 Carbay position, carport optional, refer Site Guidance for consolidation advice
- 4 Clothes lines and sheds not permitted in front setback
- 5 If southern setback is >3500, provide 900 roof overhang to south
- 6 First floor additional bathroom adaptations can be applied to any terrace in this pattern

PLAN ADAPTATIONS: SMALL

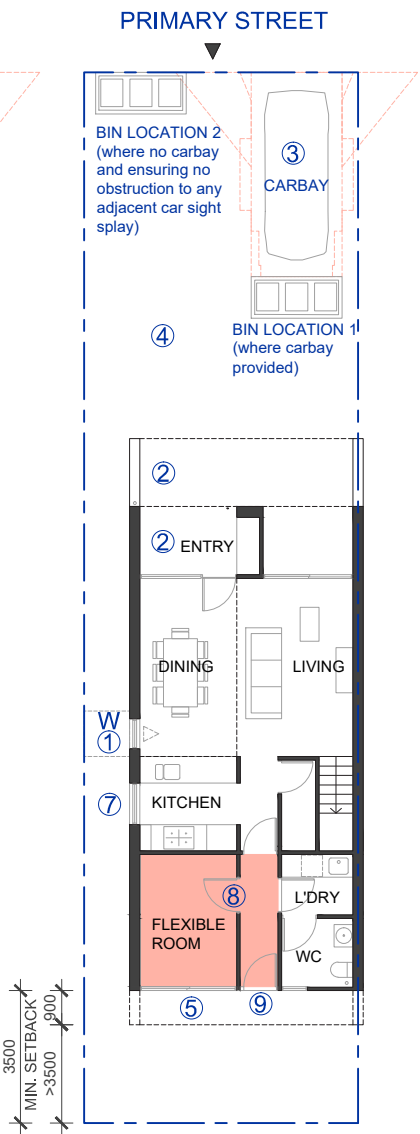


Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

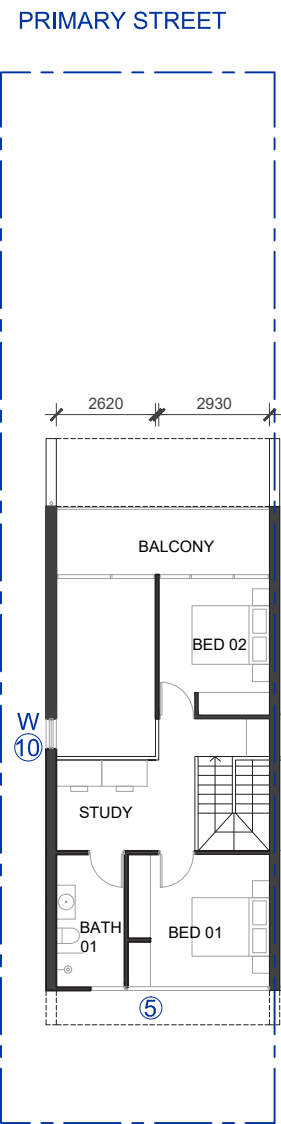




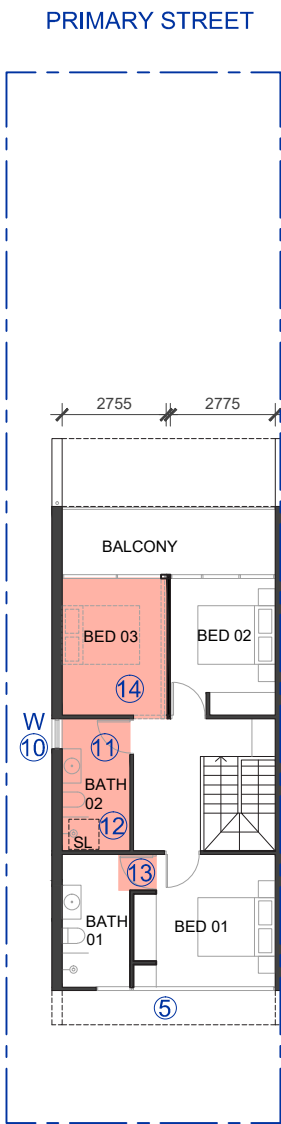
**GROUND FLOOR BASE OPTION**  
 1-6 Refer Typical Rules  
 7 If adjacent to side setback, always face Kitchen to setback



**GROUND FLOOR ADAPTATION 1**  
 8 Wall to separate Flexible Room  
 9 If Flexible Room separated, provide hinged door to hall



**FIRST FLOOR BASE OPTION**  
 10 On corner sites, where entering from side, change width of W to align vertically with entry door below



**FIRST FLOOR ADAPTATION 1**  
 11 Bath 02 added  
 12 Where in 'middle of the row', change W to ventilated skylight  
 13 Convert Bath 01 to ensuite  
 14 Void infilled to create Bed 03. Dividing wall between Beds 02 and 03 centralised

**Guidance Notes**

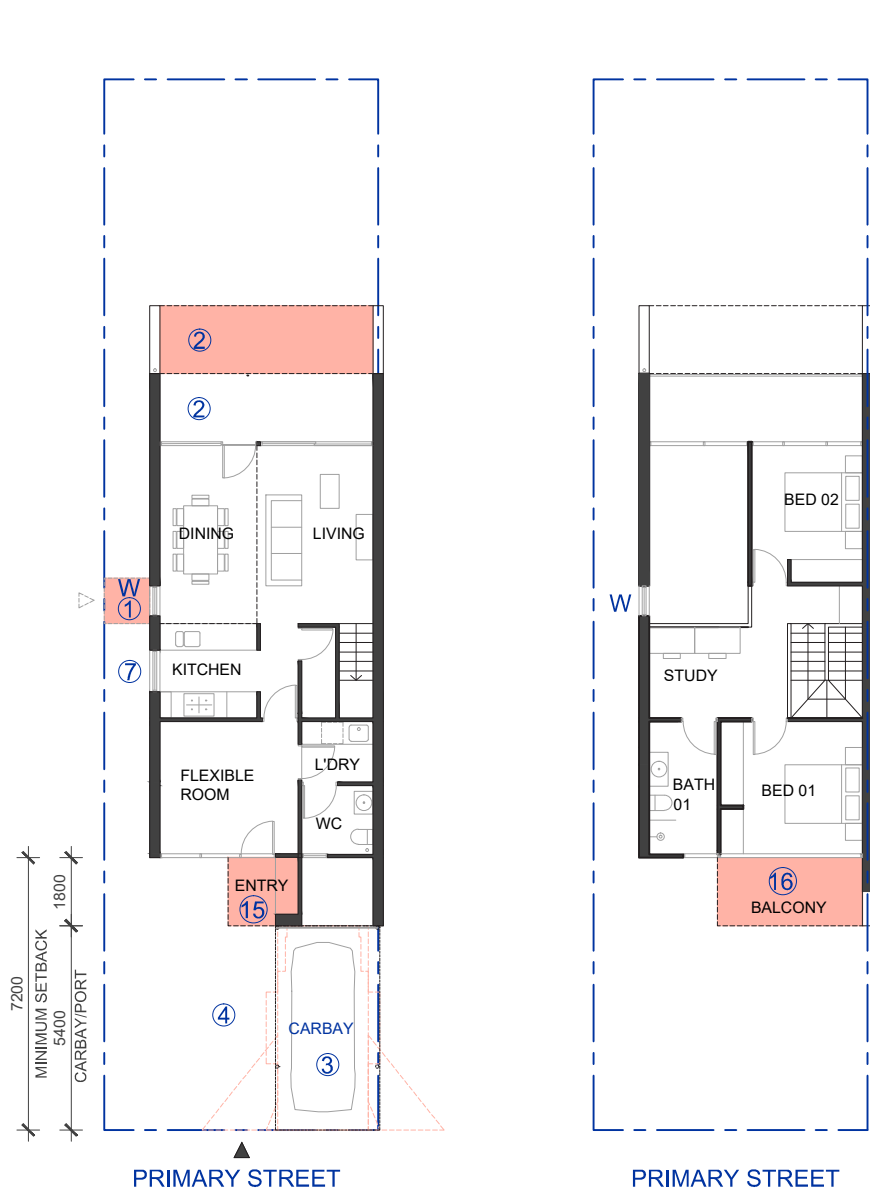
**TYPICAL RULES**

- On corner sites, ensure minimum side setback dimension of 1200, enter from side, change W to entry door and provide 1200x1200 canopy over entry door
- If northern balcony provided, extend roof 1800 only. If balcony not provided, extend roof 3600.
- Carbay position, carport optional, refer Site Guidance for consolidation advice
- Clothes lines and sheds not permitted in front setback
- If southern setback is >3500, provide 900 roof overhang to south
- First floor additional bathroom adaptations can be applied to any terrace in this pattern

**PLAN ADAPTATIONS: MEDIUM**



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



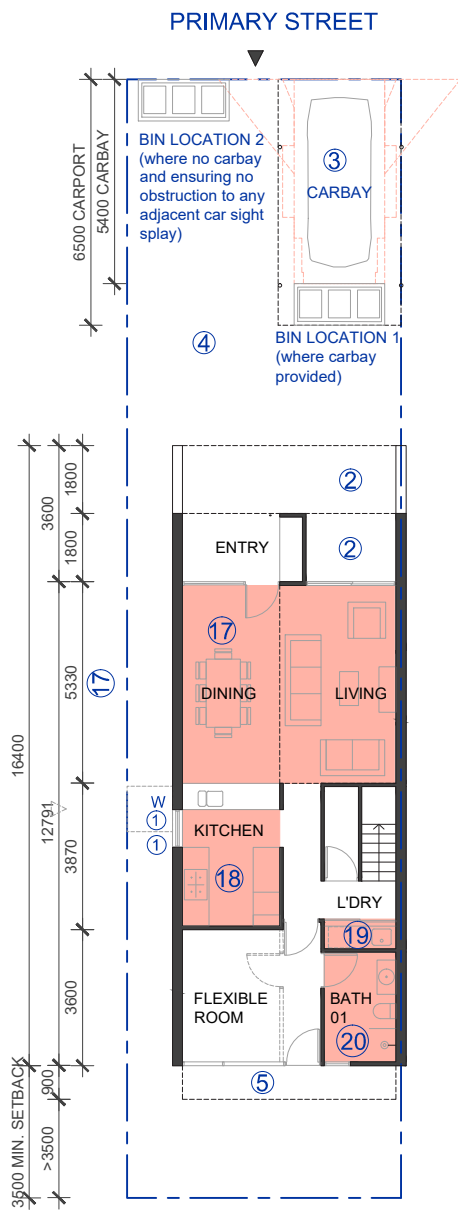
ENTRY FROM SOUTH  
GROUND FLOOR PLAN

- 1-6 Refer typical rules
- 7 If adjacent to side setback, always face Kitchen to setback
- 15 Entry and associated porch relocated to south

ENTRY FROM SOUTH  
FIRST FLOOR PLAN

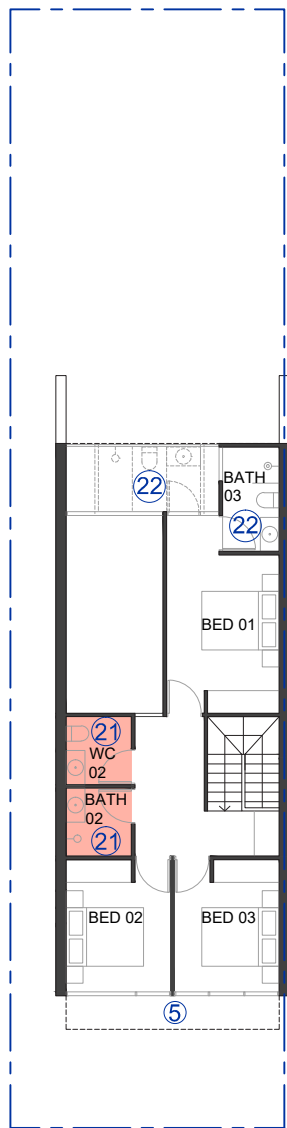
- 16 Provide 1800 balcony to southern bedroom, reconfigure glazing to suit

## PLAN ADAPTATIONS: MEDIUM



GROUND FLOOR ADAPTATION 3  
suitable for N/S oriented 'Non-LMR sites', N/S oriented 'longer than Non-LMR sites' and E/W oriented sites over 22m wide

- 1-6 Refer typical rules
- 17 Increase depth of Living/Dining by 1800
- 18 Reconfigure Kitchen
- 19 Relocate laundry
- 20 Provide three point bathroom



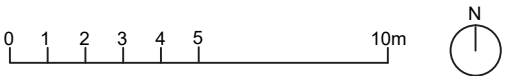
FIRST FLOOR ADAPTATION 3  
suitable for N/S oriented 'Non-LMR sites', N/S oriented 'longer than Non-LMR sites' and E/W oriented sites over 22m wide

- 21 Flexible bathroom
- 22 Possible ensuite locations

### Guidance Notes

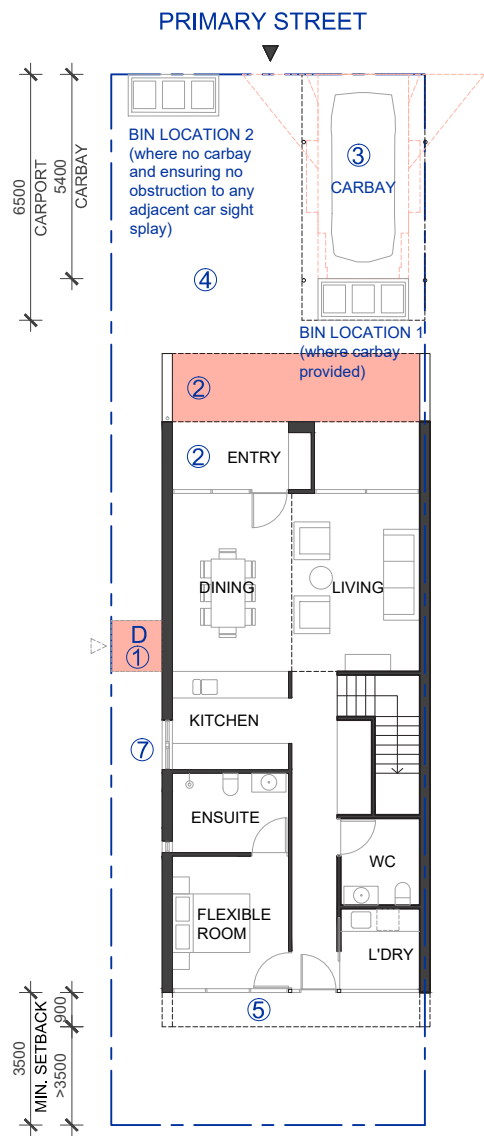
#### TYPICAL RULES

- 1 On corner sites, ensure minimum side setback dimension of 1200, enter from side, change W to entry door and provide 1200x1200 canopy over entry door
- 2 If northern balcony provided, extend roof 1800 only. If balcony not provided, extend roof 3600.
- 3 Carbay position, carport optional, refer Site Guidance for consolidation advice
- 4 Clothes lines and sheds not permitted in front setback
- 5 If southern setback is >3500, provide 900 roof overhang to south
- 6 First floor additional bathroom adaptations can be applied to any terrace in this pattern



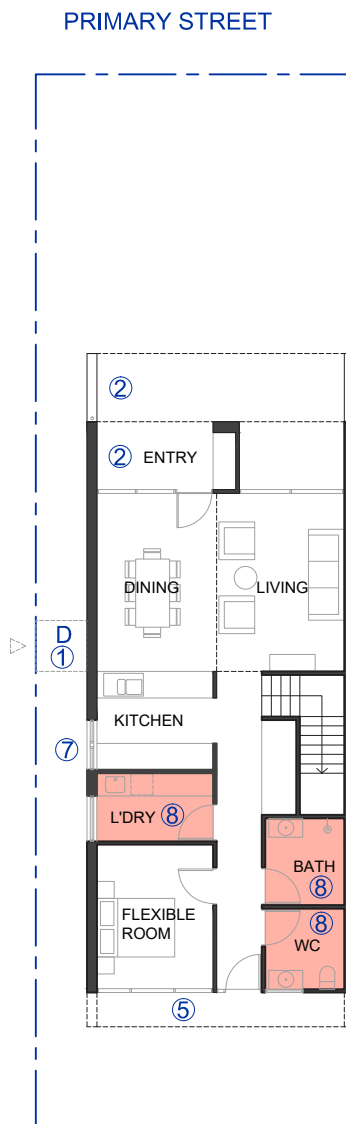
Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue





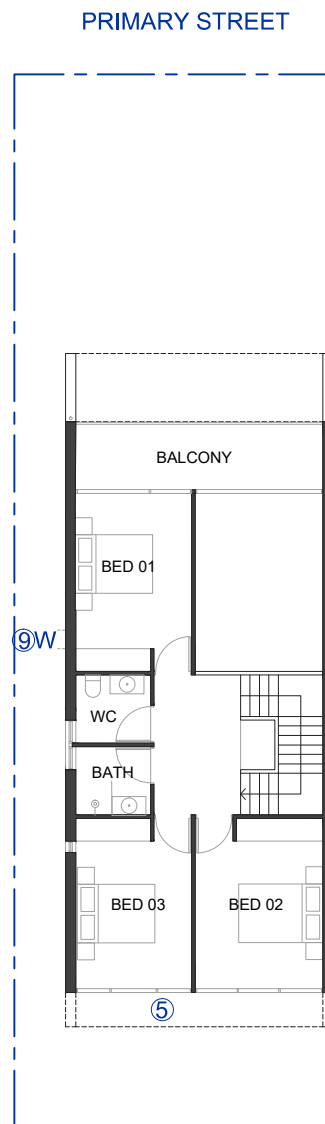
GROUND FLOOR BASE OPTION

- 1-6 Refer typical rules
- 7 If adjacent to side setback, always face Kitchen to setback



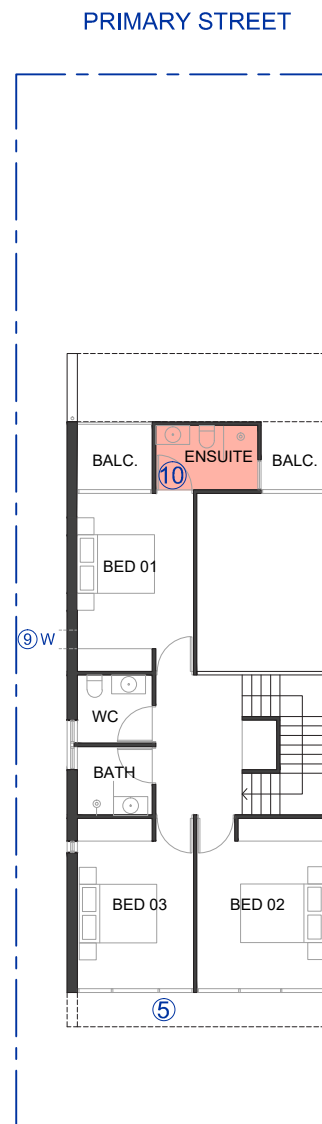
GROUND FLOOR ADAPTATION 1

- 8 Reconfigure wet areas to provide larger laundry, flexible Bath/WC arrangement



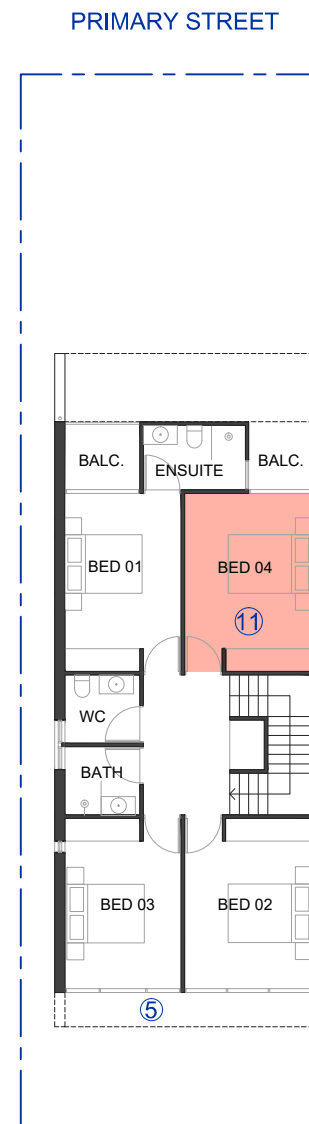
FIRST FLOOR BASE OPTION

- 9 On corner sites, where entering from side, provide W to align vertically with entry door below



FIRST FLOOR ADAPTATION 1

- 10 Ensuite adaptation, reconfigure glazing to suit



FIRST FLOOR ADAPTATION 2

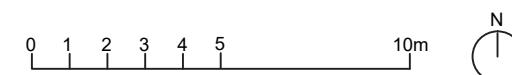
- 11 Infill void to create Bed 04, reconfigure glazing to suit

## Guidance Notes

### TYPICAL RULES

- On corner sites, ensure minimum side setback dimension of 1350, enter from side, provide entry door with 1350x1350 canopy over
- If northern balcony provided, extend roof 1800 only. If balcony not provided, extend roof 3600.
- Carbay position, carport optional, refer Site Guidance for consolidation advice
- Clothes lines and sheds not permitted in front setback
- If southern setback is >3500, provide 900 roof overhang to south
- First floor additional bathroom adaptations can be applied to any terrace in this pattern

## PLAN ADAPTATIONS: LARGE



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



PRIMARY STREET

ENTRY FROM SOUTH  
GROUND FLOOR PLAN

PRIMARY STREET

ENTRY FROM SOUTH  
FIRST FLOOR PLAN

1-4 Refer Typical Rules

- 7 If adjacent to side setback, always face Kitchen to setback
- 12 Entry and associated porch relocated to south

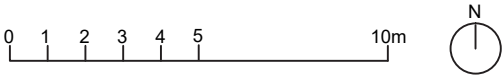
- 13 Provide 1800 balcony to southern bedroom, reconfigure glazing to suit

PLAN ADAPTATIONS: LARGE

Guidance Notes

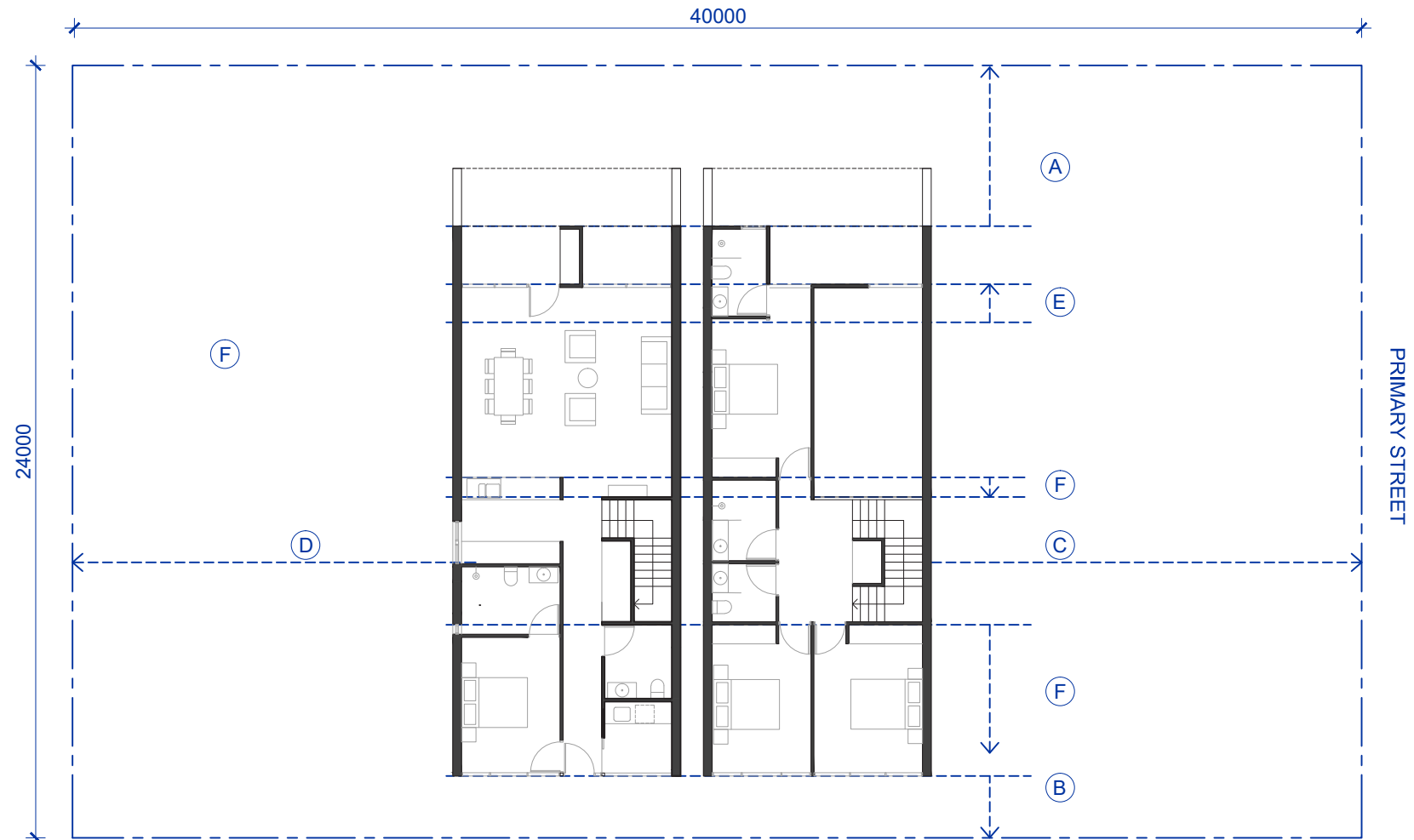
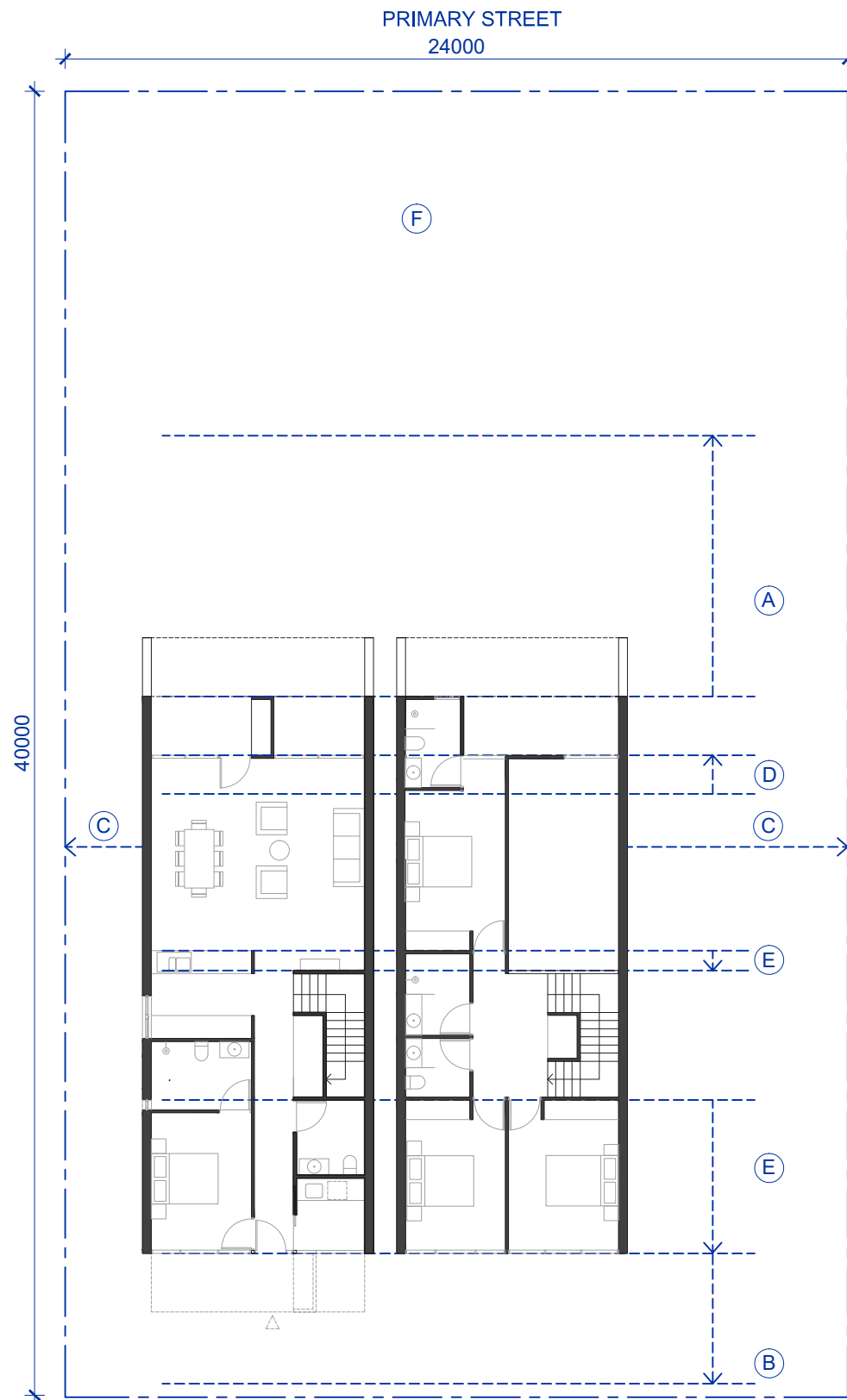
TYPICAL RULES

- 1 On corner sites, ensure minimum side setback dimension of 1350, enter from side, provide entry door with 1350x1350 canopy over
- 2 If northern balcony provided, extend roof 1800 only. If balcony not provided, extend roof 3600.
- 3 Carbay position, carport optional, refer Site Guidance for consolidation advice
- 4 Clothes lines and sheds not permitted in front setback
- 5 If southern setback is >3500, provide 900 roof overhang to south
- 6 First floor additional bathroom adaptations can be applied to any terrace in this pattern



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue





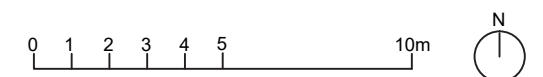
LARGER SITES - ORDER OF OPERATIONS  
NORTH / SOUTH ORIENTATION

- A Ensure north facing yard depth is minimum 8m to carport/carbay or boundary
- B Back yard depth minimum 4m
- C Minimum side setbacks 1500mm
- D Increase Living/Dining depth to 6m
- E Increase 'rear' bedroom depth, shift stair to align
- F Allow sheds in rear and/or side yards, parking for longer vehicles providing there is no overshadowing effect to house on 21st June
- G Possible configurations ( if carparking is compliant) :  
LLL, LLM, LMM,  
MMM, MMS, MSS,  
SSS, SSMM, SSSM, SSSS

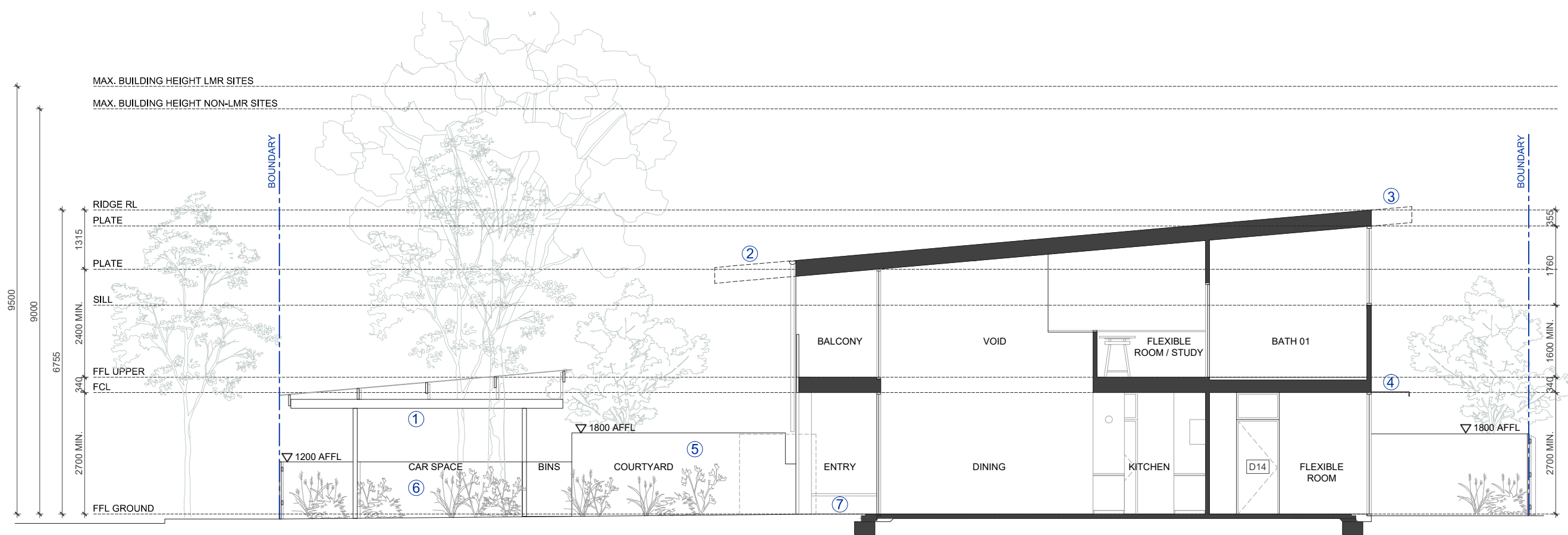
LARGER SITES - ORDER OF OPERATIONS  
EAST / WEST ORIENTATION

- A Ensure north facing yard depth is minimum 5m to boundary
- B Minimum side setback 2m
- C Minimum street setback 7.2m
- D Minimum rear setback 3m
- E Increase Living/Dining depth to 6m
- F Increase 'rear' bedroom depth, shift stair to align
- G Allow sheds in rear and/or side yards, parking for longer vehicles providing there is no overshadowing effect to house on 21st June
- H Possible configurations ( if carparking is compliant)  
LLLL, LLLM, LLMM, LMMM,  
MMMM, MMMMS, MMMSS, MMSSS, MSSSS  
SSSSS

PLAN ADAPTATIONS: BIGGER SITES



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



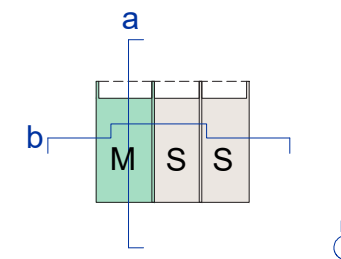
LMR SITE: SECTION aa



LMR SITE: SECTION bb

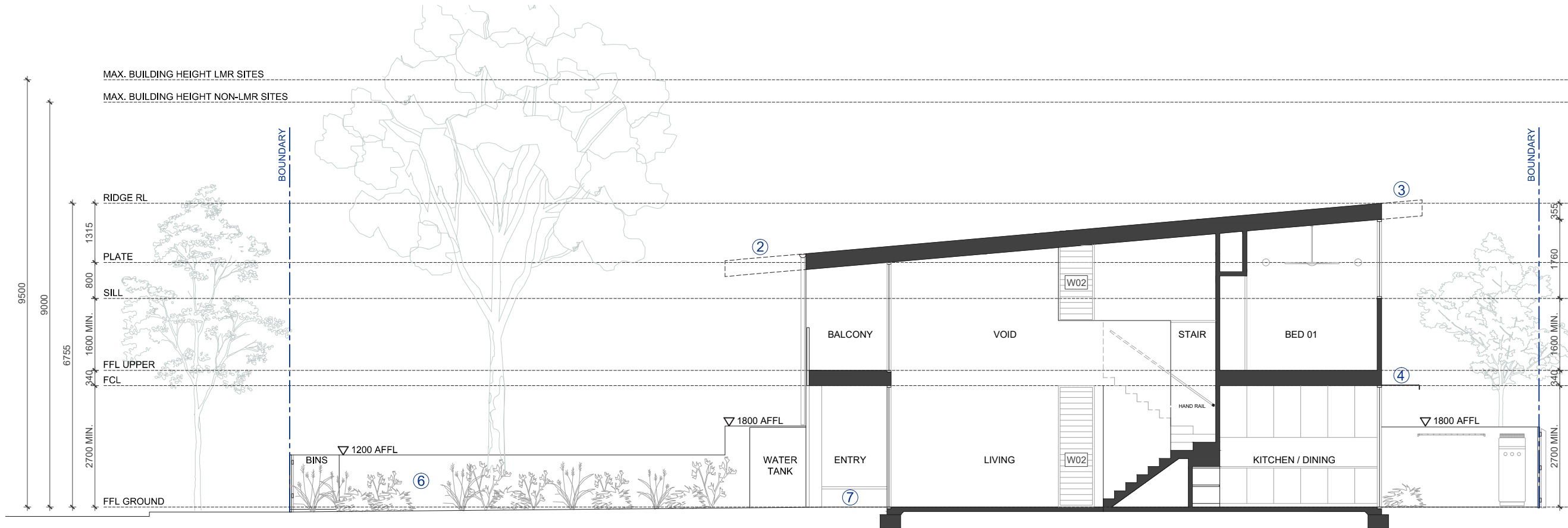
#### Guidance Notes

- ① Optional open carport, steel and timber, max height 3200 AGL
- ② If northern balcony not provided, extend roof max.1800
- ③ Roofline can extend if rear setback > 3500
- ④ Optional 900 awning over openings
- ⑤ Masonry wall between courtyards typically
- ⑥ Timber fence between yards and to boundaries typically
- ⑦ Ensure entry landing and threshold meets requirements for Livable Standard and NCC



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

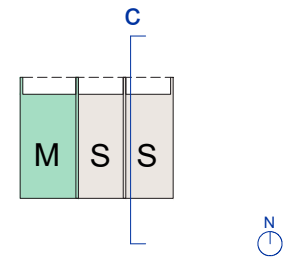




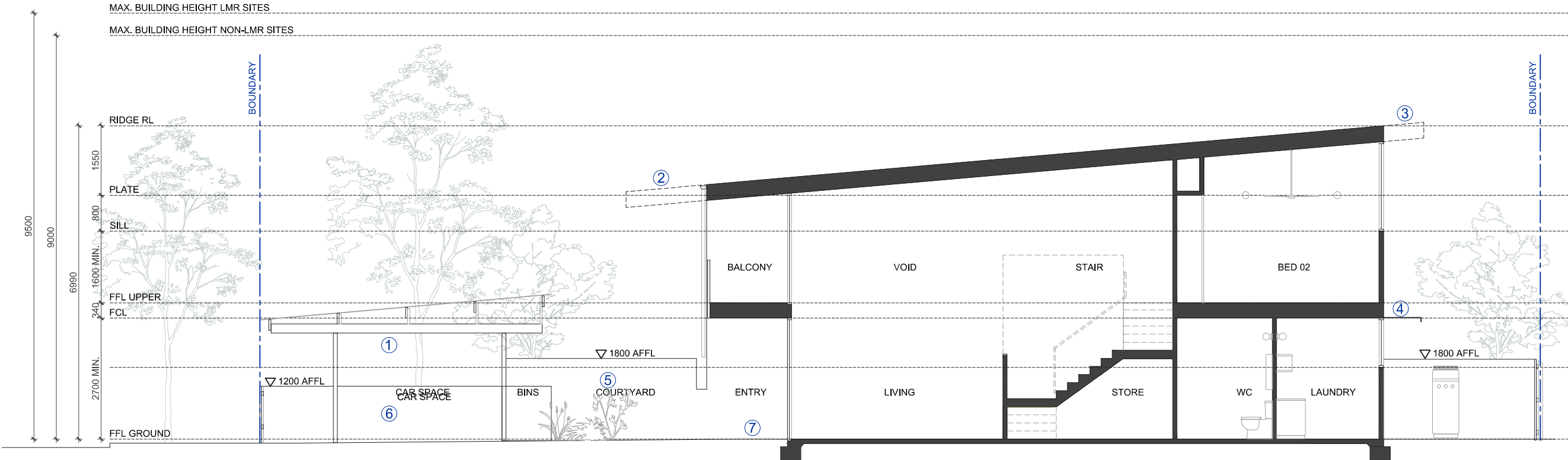
LMR SITE: SECTION cc

Guidance Notes

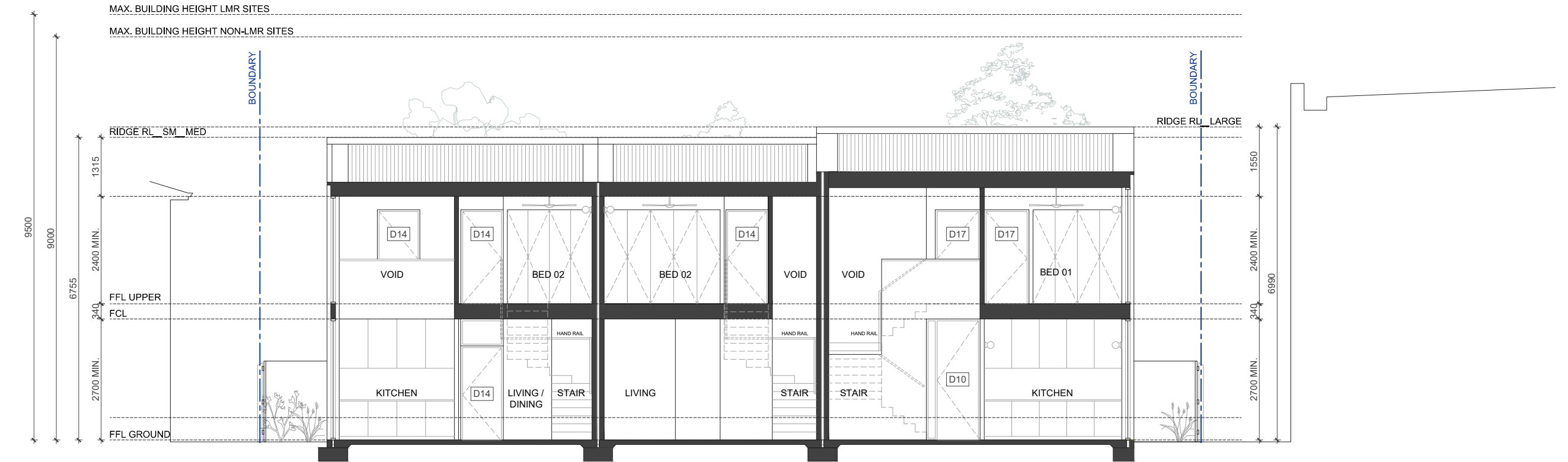
- ② If northern balcony not provided, extend roof max.1800
- ③ Roofline can extend if rear setback > 3500
- ④ Optional 900 awning over openings
- ⑥ Timber fence between yards and to boundaries typically
- ⑦ Ensure entry landing and threshold meets requirements for Livable Standard and NCC



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



NON LMR SITE: SECTION aa



NON LMR SITE: SECTION bb

**Guidance Notes**

- ① Optional open carport, steel and timber, max height 3200 AGL
- ② If northern balcony not provided, extend roof max.1800
- ③ Roofline can extend if rear setback > 3500
- ④ Optional 900 awning over openings
- ⑤ Masonry wall between courtyards typically
- ⑥ Timber fence between yards and to boundaries typically
- ⑦ Ensure entry landing and threshold meets requirements for Livable Standard and NCC

a

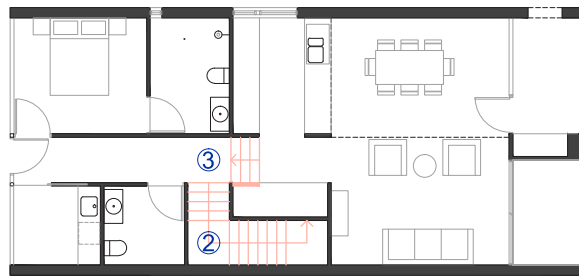
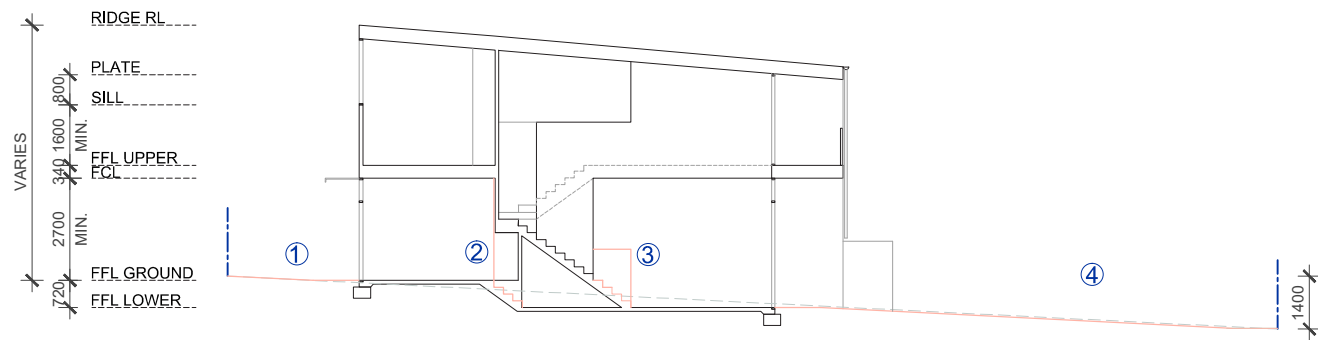
b

N

Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

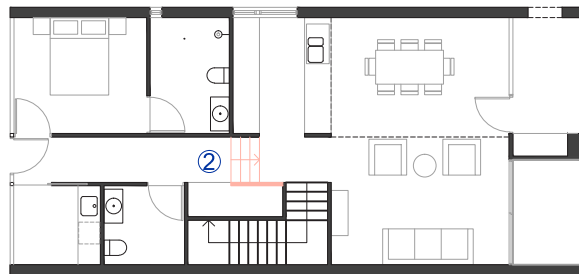
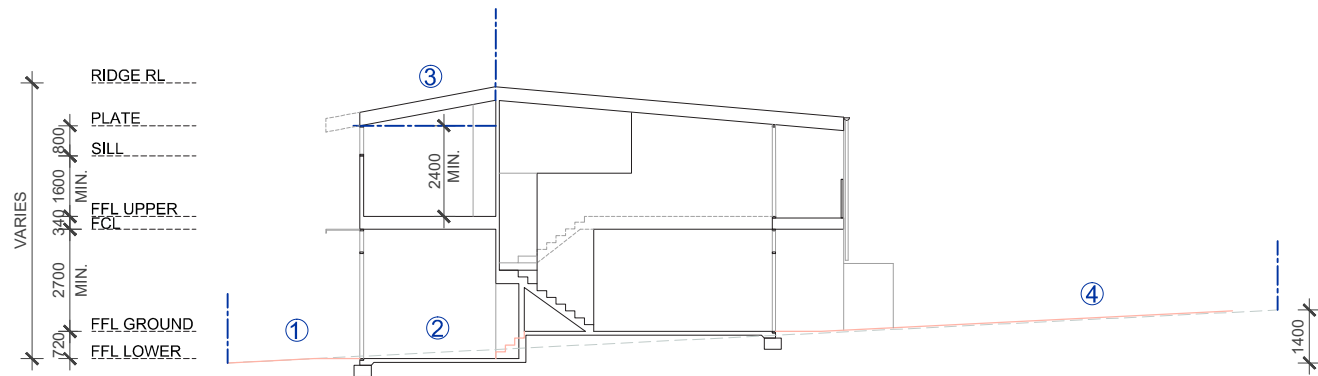






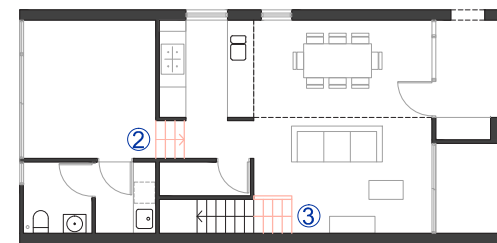
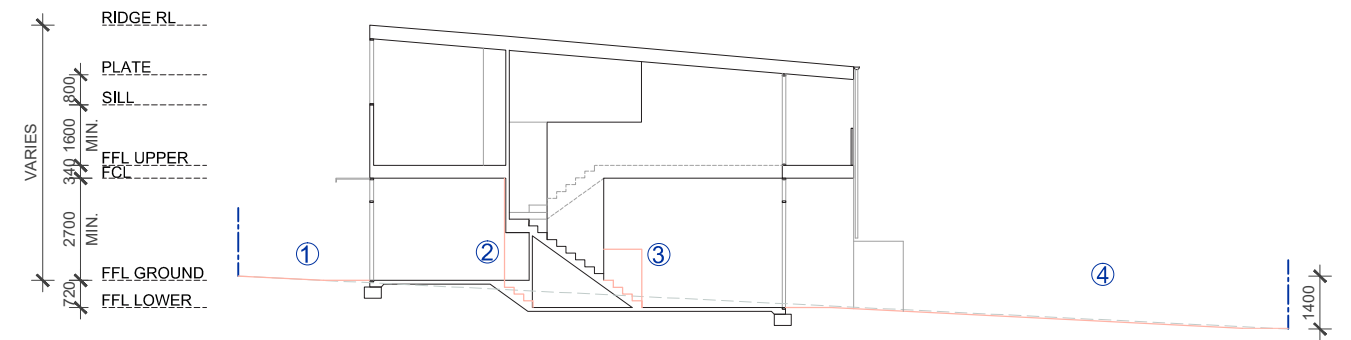
#### LARGE SOUTH TO NORTH SLOPE

- ① Rear yard can achieve a fall of 1:20 and maintain 1350 landing at threshold
- ② Primary stair reversed to commence up slope.
- ③ New stair of four risers added after kitchen
- ④ Front yard can achieve a fall of 1:14 and maintain 1350 landing at thresholds



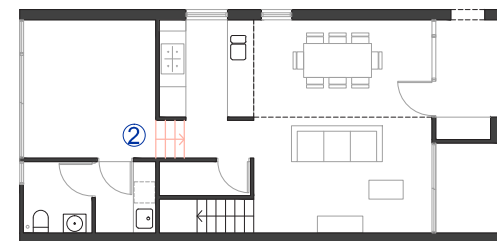
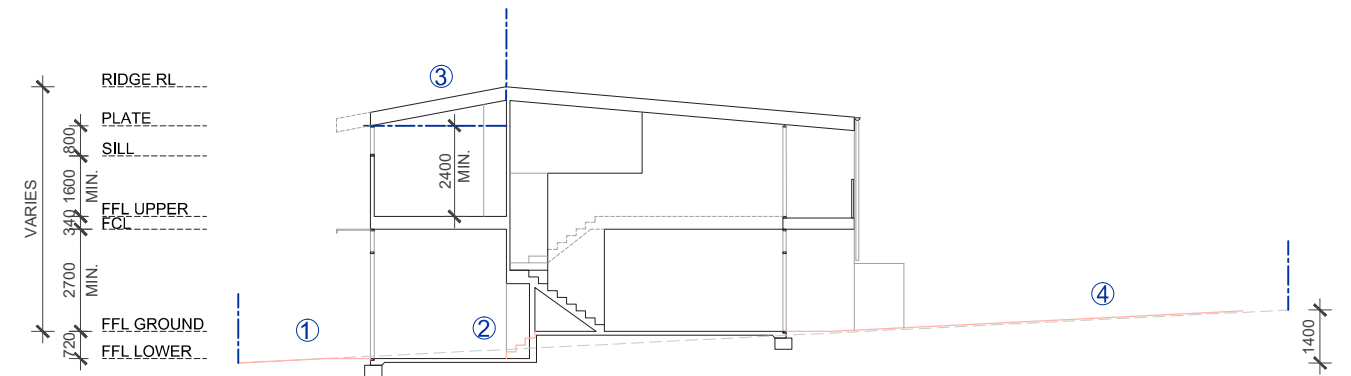
#### LARGE NORTH TO SOUTH SLOPE

- ① Rear yard can achieve a slope of 1:14 and maintain 1350 landing at threshold
- ② New stair of four risers added after kitchen
- ③ Pitch roof from internal wall line of first floor bedroom to rear maintaining a minimum of 2400 at the window head
- ④ Front yard can achieve a fall of 1:14 and maintain 1350 landing at thresholds



#### MEDIUM SOUTH TO NORTH SLOPE

- ① Rear yard can achieve a fall of 1:20 and maintain 1200 landing at threshold
- ② New stair of four risers added after kitchen
- ③ Primary stair extended by 4 risers with balustrade
- ④ Front yard can achieve a fall of 1:20 and maintain 1200 landing at thresholds

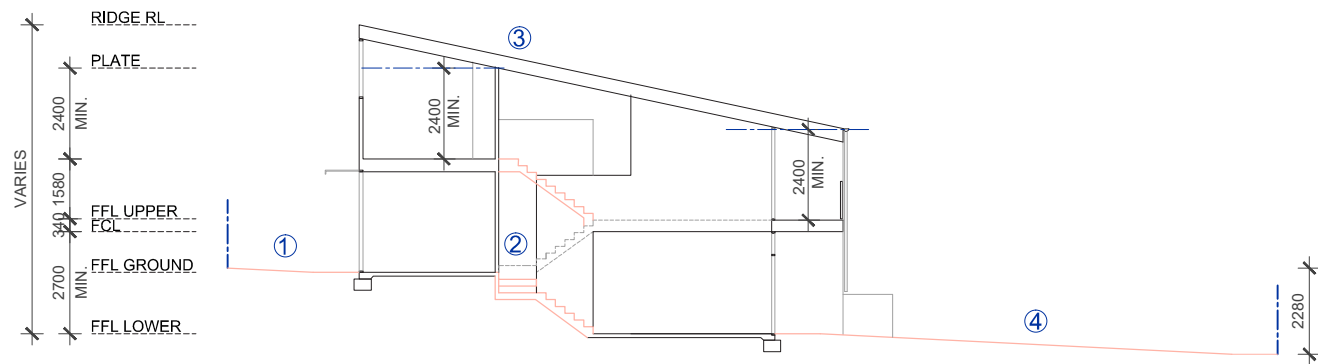


#### MEDIUM NORTH TO SOUTH SLOPE

- ① Rear yard can achieve a fall of 1:20 and maintain 1200 landing at threshold
- ② Stair, four risers added after kitchen
- ③ Pitch roof from internal wall line of first floor bedroom to rear maintaining a minimum of 2400 at the window head
- ④ Front yard can achieve a fall of 1:20 and maintain 1200 landing at thresholds

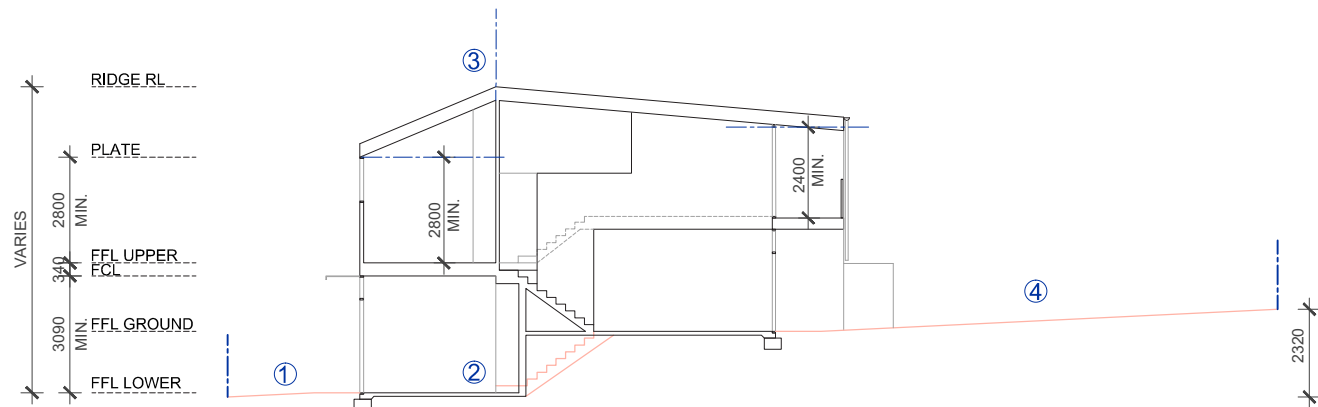


Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



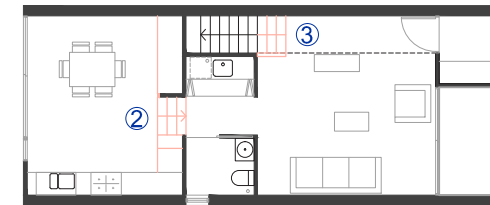
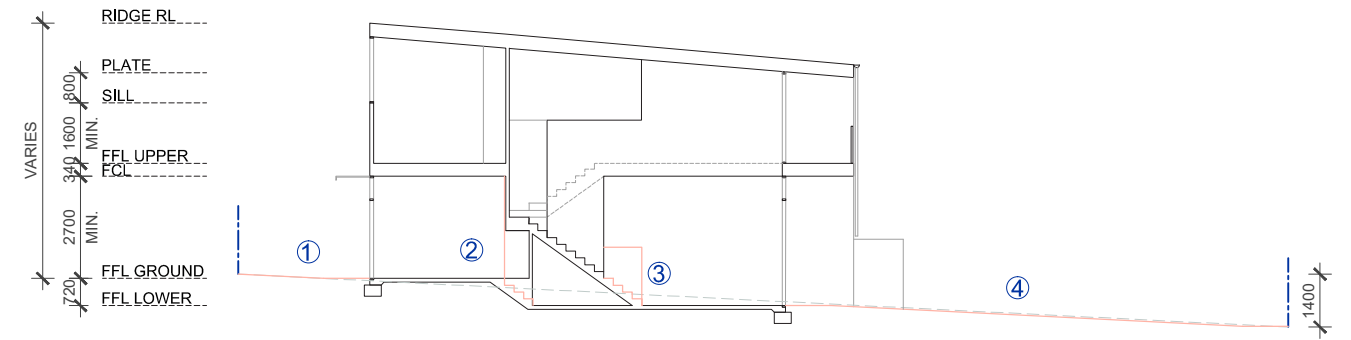
#### MEDIUM SOUTH TO NORTH SLOPE

- ① Rear yard can achieve a fall of 1:20 and maintain 1200 landing at threshold
- ② New stair of nine risers added to switchback. Balustrade added between kitchen and stair
- ③ Roof pitches from min2400 at north to min. 2400 at rear bedroom top plate
- ④ Front yard can achieve a fall of 1:20 and maintain 1200 landing at thresholds



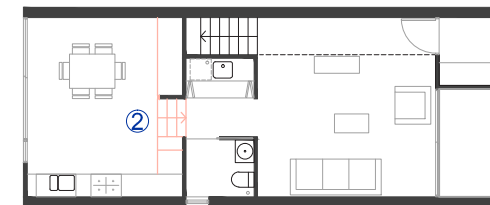
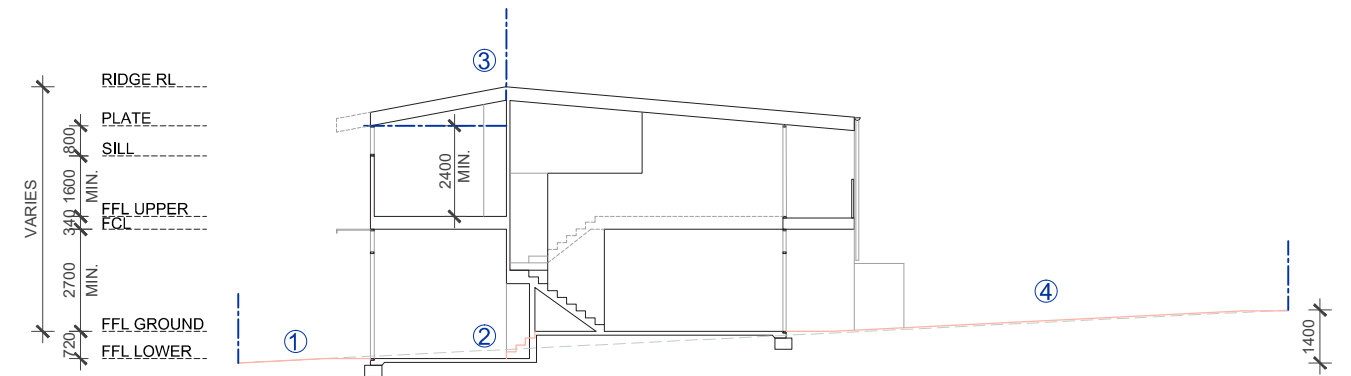
#### MEDIUM NORTH TO SOUTH SLOPE

- ① Rear yard can achieve a slope of 1:20 and maintain 1200 landing at threshold
- ② Stair, nine risers added below switchback and balustrade added at kitchen
- ③ Pitch roof from internal wall line of first floor bedroom to rear maintaining a minimum of 2800 at the window head
- ④ Front yard can achieve a fall of 1:20 and maintain 1200 landing at thresholds



#### SMALL SOUTH TO NORTH SLOPE

- ① Rear yard can achieve a fall of 1:20 and maintain 1200 landing at threshold
- ② New stair of four risers added after kitchen
- ③ Primary stair extended by 4 risers with balustrade
- ④ Front yard can achieve a fall of 1:20 and maintain 1200 landing at thresholds



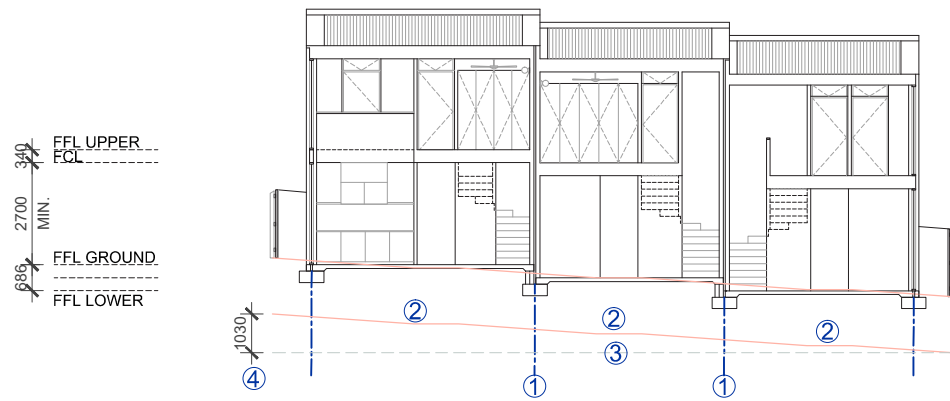
#### SMALL NORTH TO SOUTH SLOPE

- ① Rear yard can achieve a fall of 1:20 and maintain 1200 landing at threshold
- ② Stair, four risers added after kitchen
- ③ Pitch roof from internal wall line of first floor bedroom to rear maintaining a minimum of 2400 at the window head
- ④ Front yard can achieve a fall of 1:20 and maintain 1200 landing at thresholds



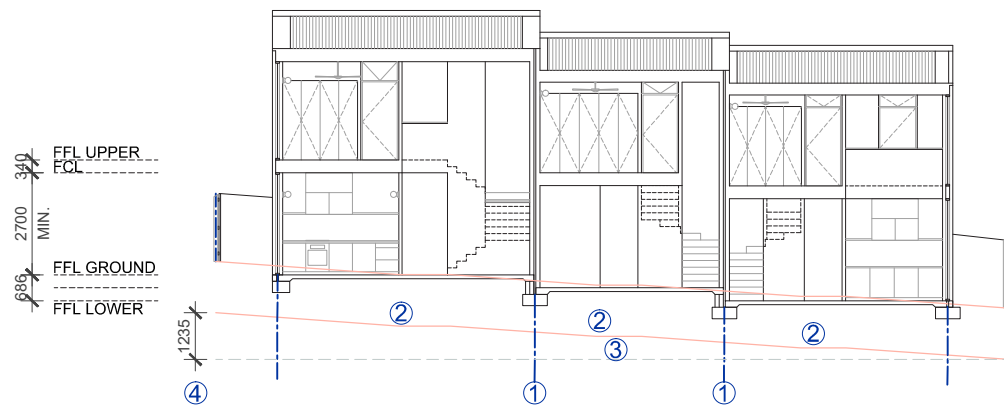
Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue





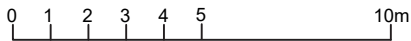
LMR CROSS FALL ( EAST WEST)

- ① Step nom. 343 or 4 course brick work between dwellings
- ② Maintain 1200 level thresholds to each dwelling
- ③ Path between dwelling max slope 1:14 paths are no greater than 9m in length
- ④ Achieves a max site cross fall of 1030 without boundary retaining



NON-LMR CROSS FALL ( EAST WEST)

- ① Step nom. 343 or 4 course brick work between dwellings
- ② Maintain 1350 (Large) and 1200 level thresholds to other dwellings
- ③ Path between dwelling max slope 1:14 path are no greater than 9m in length
- ④ Achieves a max site cross fall of 1235 without boundary retaining

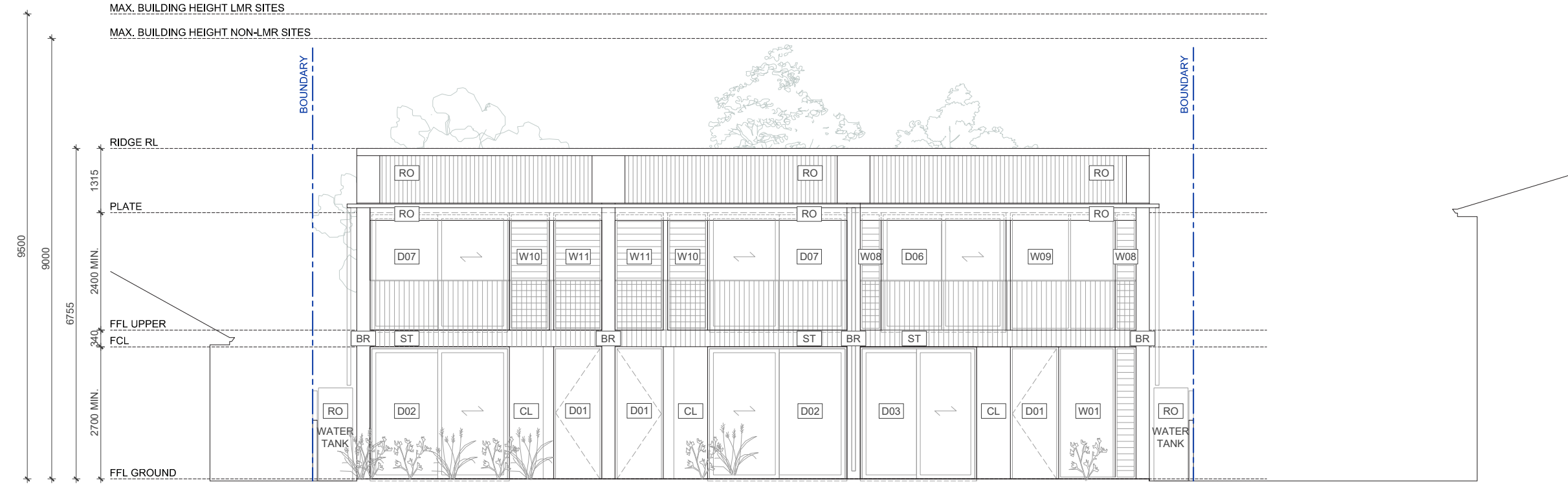


Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

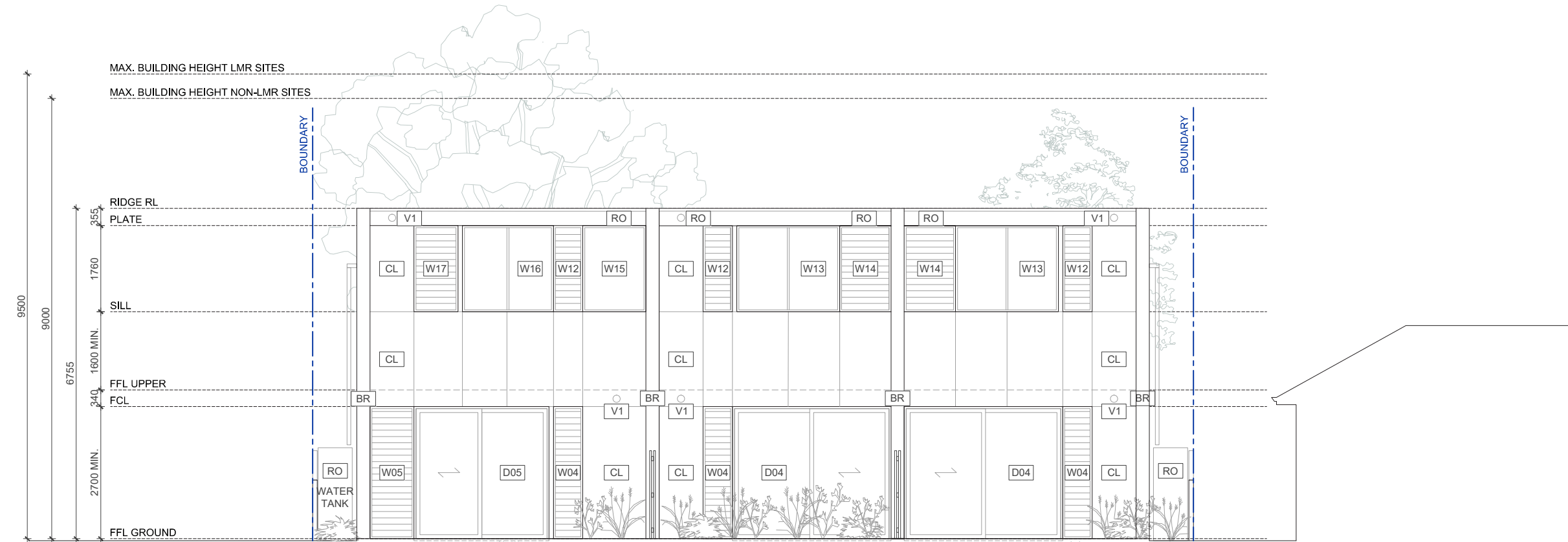


Pattern Code	TH03
Name	Terraces 03 by Officer Woods Architects with Jennie Officer UWA

Drawing No.	A-336
Name	Slope Adaptations: LMR and Non-LMR Cross Falls
Scale	1:200 @ A3



LMR SITE: NORTH ELEVATION



LMR SITE: SOUTH ELEVATION

Guidance Notes

MATERIAL KEY

- RO Roof and metal cladding
- FC Fibre cement sheet
- ST Hot dip galvanised steel
- BR Face masonry
- CL Cladding
- V1 Vent
- FE1 Timber fence, slat and cap
- FE2 Timber fence, lap and cap
- AL1 Aluminium plate

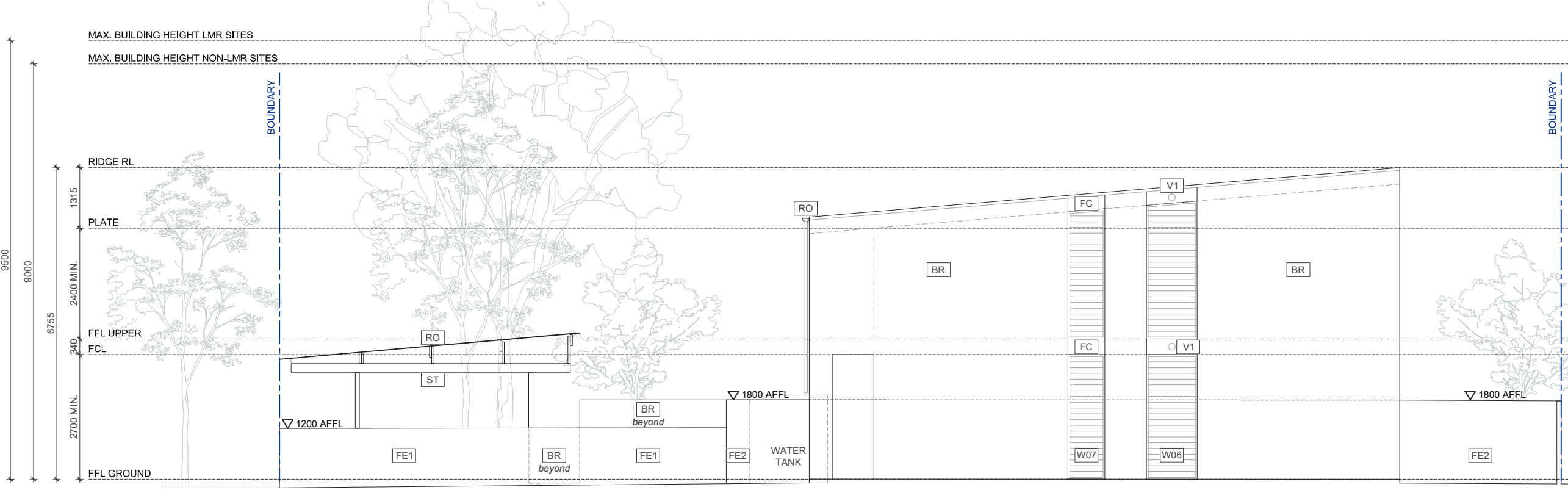
Louvre windows

Where height of louvre bank cannot be divided equally, the fixed portion should always be at the head.



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue





**Guidance Notes**

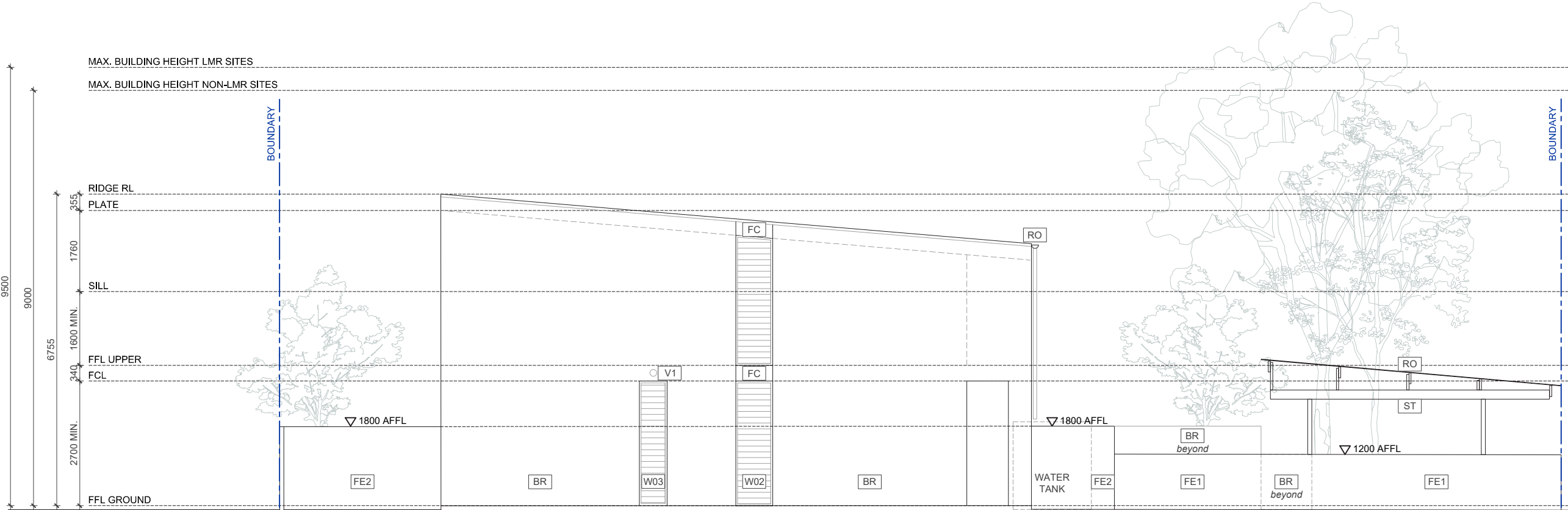
**MATERIAL KEY**

- RO Roof and metal cladding
- FC Fibre cement sheet
- ST Hot dip galvanised steel
- BR Face masonry
- CL Cladding
- V1 Vent
- FE1 Timber fence, slat and cap
- FE2 Timber fence, lap and cap
- AL1 Aluminium plate

**Louvre windows**

Where height of louvre bank cannot be divided equally, the fixed portion should always be at the head.

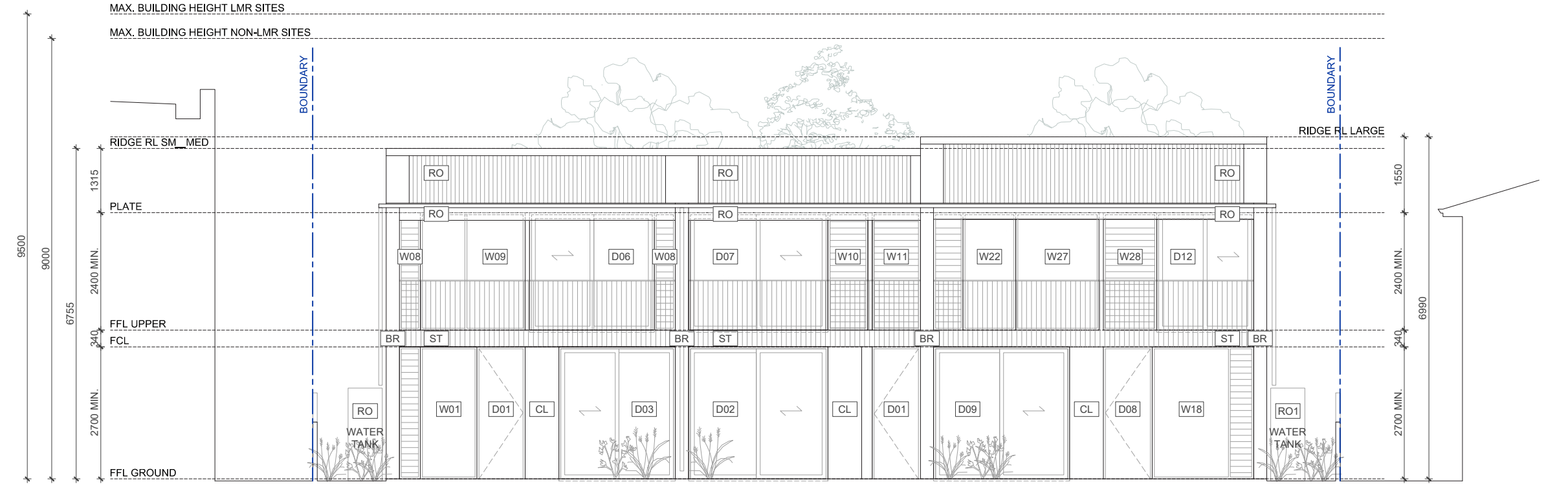
LMR SITE: WEST ELEVATION



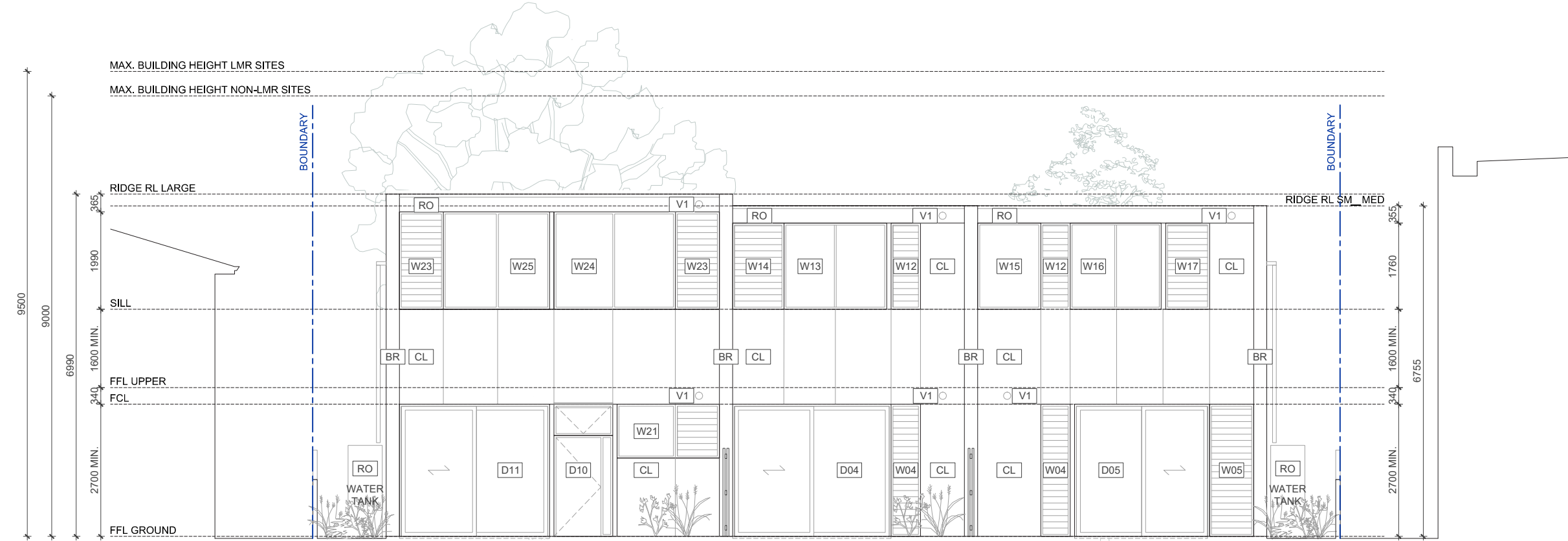
LMR SITE: EAST ELEVATION



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



NON-LMR SITE: NORTH ELEVATION



NON-LMR SITE: SOUTH ELEVATION

Guidance Notes

MATERIAL KEY

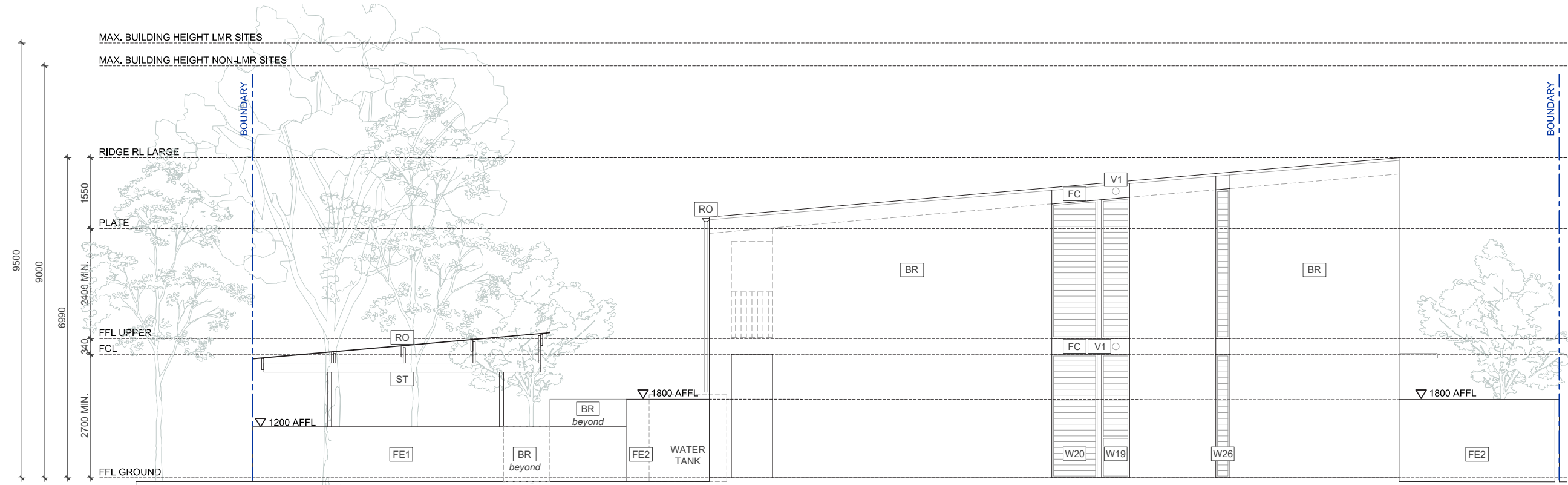
- RO Roof and metal cladding
- FC Fibre cement sheet
- ST Hot dip galvanised steel
- BR Face masonry
- CL Cladding
- V1 Vent
- FE1 Timber fence, slat and cap
- FE2 Timber fence, lap and cap
- AL1 Aluminium plate

Louvre windows

Where height of louvre bank cannot be divided equally, the fixed portion should always be at the head.







Guidance Notes

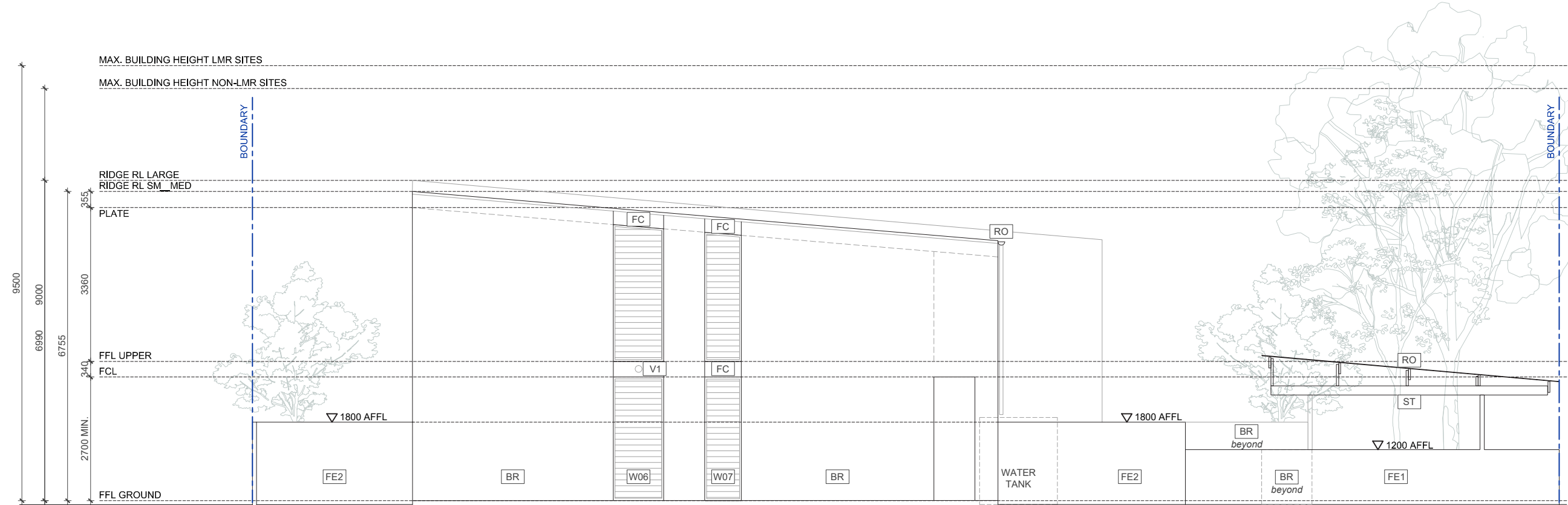
MATERIAL KEY

- RO Roof and metal cladding
- FC Fibre cement sheet
- ST Hot dip galvanised steel
- BR Face masonry
- CL Cladding
- V1 Vent
- FE1 Timber fence, slat and cap
- FE2 Timber fence, lap and cap
- AL1 Aluminium plate

Louvre windows

Where height of louvre bank cannot be divided equally, the fixed portion should always be at the head.

NON-LMR SITE: WEST ELEVATION



NON-LMR SITE: EAST ELEVATION



NSW HOUSING  
PATTERN BOOK

GOVERNMENT  
ARCHITECT  
NEW SOUTH WALES



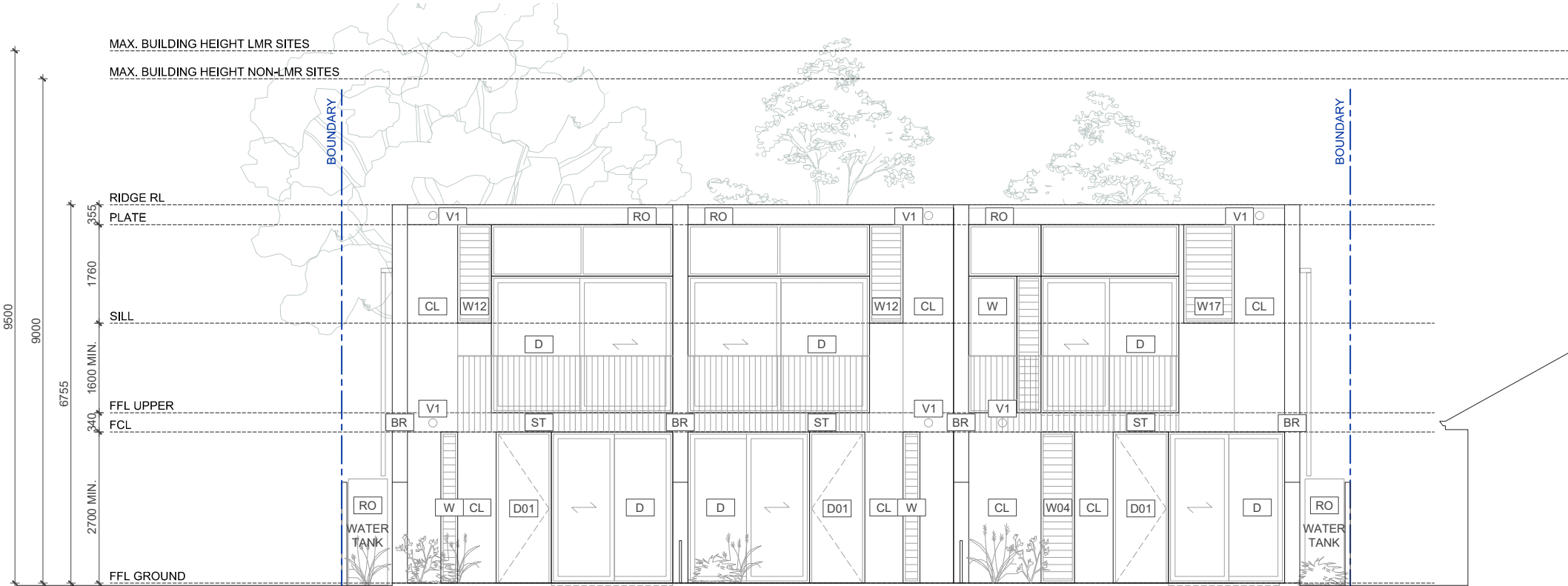
© State of New South Wales (Department of Planning, Housing and Infrastructure) 2025  
Government Architect NSW for New South Wales Department of Planning, Housing and Infrastructure (GANSW) has approved this pattern for inclusion in the Housing Pattern Book. This Pattern is an indicative design for planning application purposes and is not suitable for construction. GANSW accepts no responsibility or liability in relation to use of this Pattern or any resulting built outcome. It is the sole responsibility of each Pattern user to make their own enquiries and obtain professional advice in relation to approvals, compliance, and construction of this Pattern. Any use of this Pattern must be in accordance with the [Terms and Conditions](#), which may be retracted or amended by GANSW at any time. Any misuse may be prosecuted.

Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

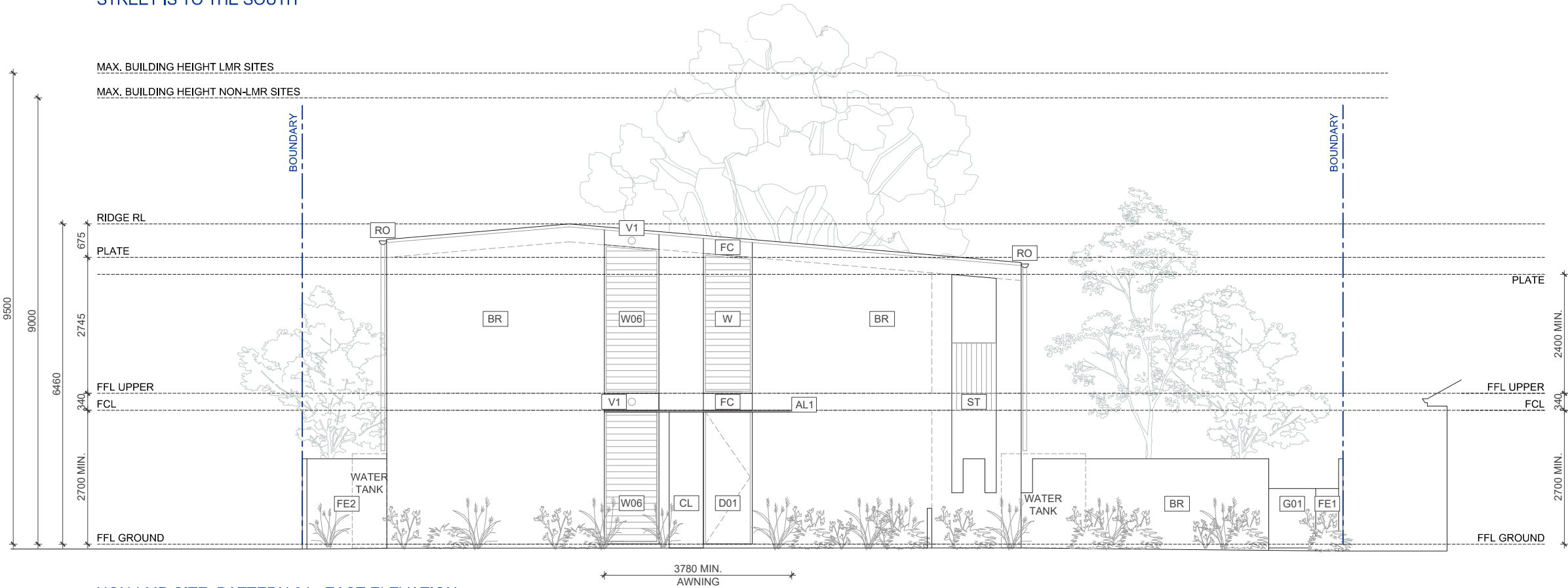
**OW**  
with Jennie Officer,  
The University of  
Western Australia

Pattern Code **TH03**  
Name **Terraces 03 by Officer Woods Architects with Jennie Officer UWA**

Drawing No. **A-344**  
Name **Non-LMR Site Elevations East and West**  
Scale **1:100 @ A3**



LMR SITE: SOUTH ELEVATION WHEN PRIMARY STREET IS TO THE SOUTH



NON-LMR SITE: PATTERN 04 - EAST ELEVATION

Guidance Notes

MATERIAL KEY

- RO Roof and metal cladding
- FC Fibre cement sheet
- ST Hot dip galvanised steel
- BR Face masonry
- CL Cladding
- V1 Vent
- FE1 Timber fence, slat and cap
- FE2 Timber fence, lap and cap
- AL1 Aluminium plate

Louvre windows

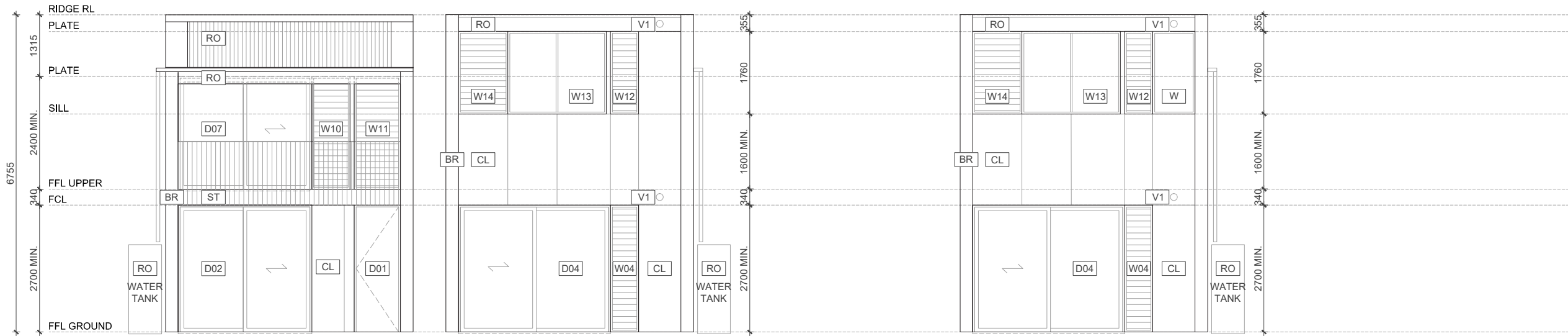
Where height of louvre bank cannot be divided equally, the fixed portion should always be at the head.

D and W

Doors and windows not on Door and Window Schedule are tagged D and W, and should be constructed to size and operation indicated, with frame and glazing type to match all other openings.



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



BASE OPTION  
NORTH ELEVATION

BASE OPTION  
SOUTH ELEVATION

ADAPTATION 1  
SOUTH ELEVATION

Guidance Notes

MATERIAL KEY

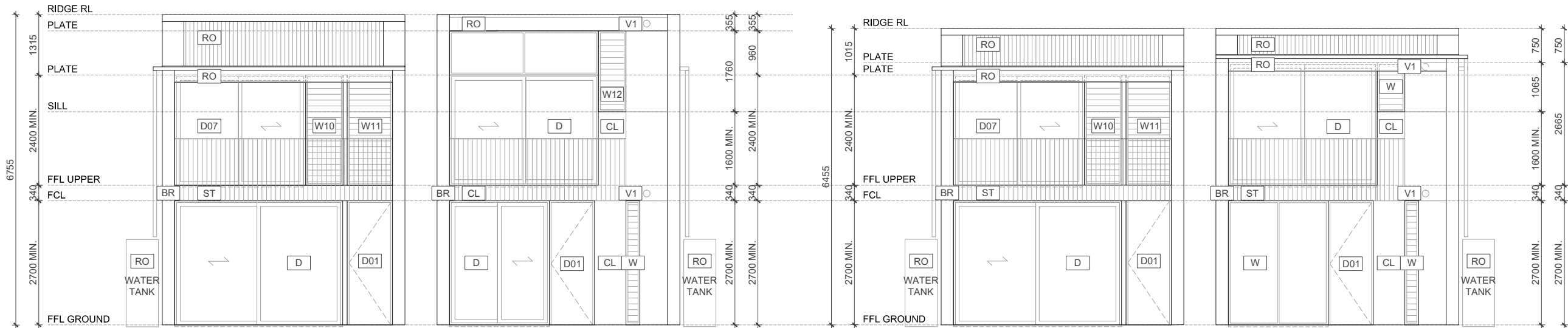
- RO Roof and metal cladding
- FC Fibre cement sheet
- ST Hot dip galvanised steel
- BR Face masonry
- CL Cladding
- V1 Vent
- FE1 Timber fence, slat and cap
- FE2 Timber fence, lap and cap
- AL1 Aluminium plate

Louvre windows

Where height of louvre bank cannot be divided equally, the fixed portion should always be at the head.

D and W

Doors and windows not on Door and Window Schedule are tagged D and W, and should be constructed to size and operation indicated, with frame and glazing type to match all other openings.



ENTRY FROM SOUTH - SKILLION ROOF  
NORTH ELEVATION

ENTRY FROM SOUTH - SKILLION ROOF  
SOUTH ELEVATION

ENTRY FROM SOUTH - PITCHED ROOF  
NORTH ELEVATION

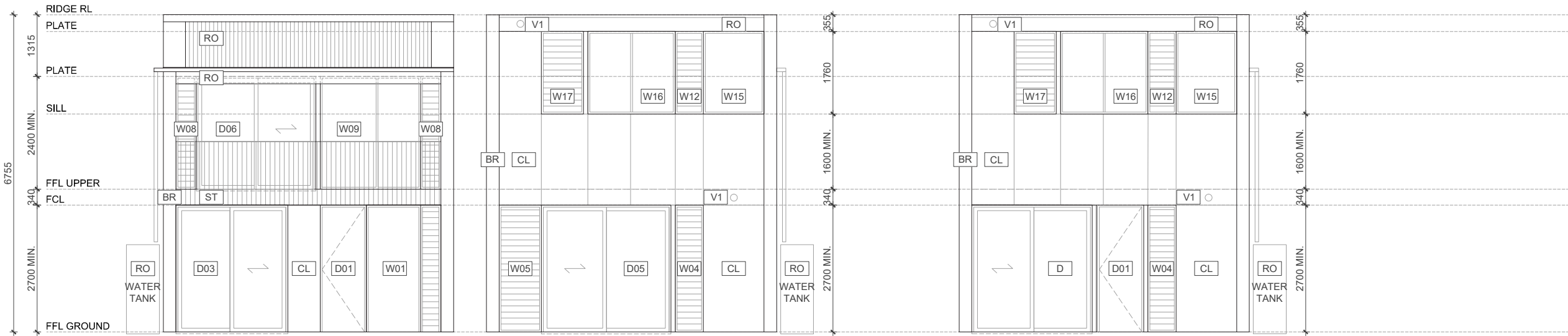
ENTRY FROM SOUTH - PITCHED ROOF  
SOUTH ELEVATION

ELEVATION ADAPTATIONS: SMALL



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

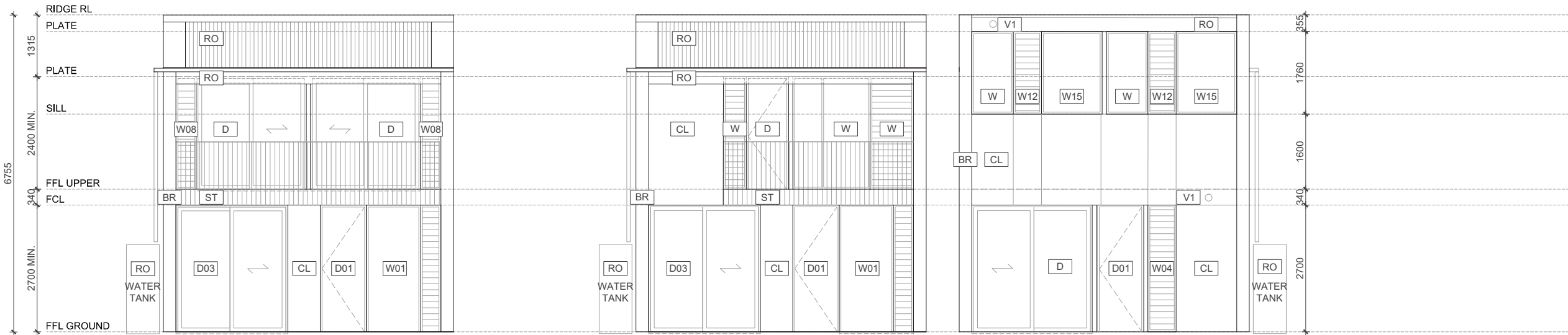




BASE OPTION  
NORTH ELEVATION

BASE OPTION  
SOUTH ELEVATION

GROUND FLOOR ADAPTATION 1  
SOUTH ELEVATION



FIRST FLOOR ADAPTATION 1  
NORTH ELEVATION

FIRST FLOOR ADAPTATION 3  
NORTH ELEVATION

FIRST FLOOR ADAPTATION 3  
SOUTH ELEVATION

ELEVATION ADAPTATIONS: MEDIUM

Guidance Notes

MATERIAL KEY

- RO Roof and metal cladding
- FC Fibre cement sheet
- ST Hot dip galvanised steel
- BR Face masonry
- CL Cladding
- V1 Vent
- FE1 Timber fence, slat and cap
- FE2 Timber fence, lap and cap
- AL1 Aluminium plate

Louvre windows

Where height of louvre bank cannot be divided equally, the fixed portion should always be at the head.

D and W

Doors and windows not on Door and Window Schedule are tagged D and W, and should be constructed to size and operation indicated, with frame and glazing type to match all other openings.



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



ENTRY FROM SOUTH - SKILLION ROOF  
NORTH ELEVATION

ENTRY FROM SOUTH - SKILLION ROOF  
SOUTH ELEVATION



ENTRY FROM SOUTH - PITCHED ROOF  
NORTH ELEVATION

ENTRY FROM SOUTH - PITCHED ROOF  
SOUTH ELEVATION

ELEVATION ADAPTATIONS: MEDIUM

Guidance Notes

MATERIAL KEY

- RO Roof and metal cladding
- FC Fibre cement sheet
- ST Hot dip galvanised steel
- BR Face masonry
- CL Cladding
- V1 Vent
- FE1 Timber fence, slat and cap
- FE2 Timber fence, lap and cap
- AL1 Aluminium plate

Louvre windows

Where height of louvre bank cannot be divided equally, the fixed portion should always be at the head.

D and W

Doors and windows not on Door and Window Schedule are tagged D and W, and should be constructed to size and operation indicated, with frame and glazing type to match all other openings.



Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



Guidance Notes

**MATERIAL KEY**

RO Roof and metal cladding  
FC Fibre cement sheet  
ST Hot dip galvanised steel  
BR Face masonry  
CL Cladding  
V1 Vent  
FE1 Timber fence, slat and cap  
FE2 Timber fence, lap and cap  
AL1 Aluminium plate

**Louvre windows**

Where height of louvre bank cannot be divided equally, the fixed portion should always be at the head.

**D and W**

Doors and windows not on Door and Window Schedule are tagged D and W, and should be constructed to size and operation indicated, with frame and glazing type to match all other openings.





PALETTE 1

**Common Wall Masonry - BR1**  
**Description** Cream face brick masonry.  
**Finish** No render, no paint, no applied finish.



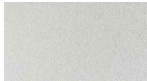
**Solid Timber Cladding - CL1**  
**Description** Vertical timber v-groove or board cladding.  
**Finish** Clear sealed typically, no polyurethane.



**Solid Timber Lining - TL1**  
**Description** Upper and lower soffit lining.  
**Finish** Clear sealed typically, no polyurethane.



**Plasterboard Lining - PB1**  
**Description** Internal wall and ceiling lining.  
**Finish** Paint finish.



**Timber solid - T02**  
**Description** Internal door frames and skirtings.  
**Finish** Paint finish.



**Cabinetry - CA1**  
**Description** Kitchen and Laundry cabinetry.  
**Finish** See below.



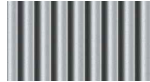
PALETTE 1

PALETTE 2

**Common Wall Masonry - BR2**  
**Description** Rendered brick masonry.  
**Finish** 2 coat sand render externally, painted hardwall plaster internally.



**Zincalume Cladding - CL2**  
**Description** Corrugated zincalume cladding with zincalume pressing and trims.  
**Finish** To comply with BASIX requirements.



**Timber Lining - TL2**  
**Description** Solid timber vertical v-groove or board lining to soffit, ceiling & internal wall lining.  
**Finish** Paint finish.



**Timber Solid - T01**  
**Description** Internal door frames and skirtings.  
**Finish** Clear sealed typically, no polyurethane.



**Cabinetry - CA2**  
**Description** Kitchen and Laundry cabinetry.  
**Finish** See below.



PALETTE 2

PALETTE 3

**Common Wall Masonry - BR3**  
**Description** Red face brick masonry.  
**Finish** No render, no paint, no applied finish.



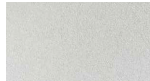
**Fibre Cement Sheet Cladding - CL3**  
**Description** Fibre cement large format sheeting.  
**Finish** Prefinished.



**Timber Lining - TL2**  
**Description** Solid timber vertical v-groove or board lining to upper soffit and upper ceiling lining.  
**Finish** Paint finish.



**Plasterboard Lining - PB1**  
**Description** Internal wall and lower ceiling lining.  
**Finish** Paint finish.



**Timber solid - T02**  
**Description** Internal door frames and skirtings.  
**Finish** Paint finish.



**Cabinetry - CA3**  
**Description** Kitchen and Laundry cabinetry.  
**Finish** See below.



PALETTE 3

COMMON PALETTE

**Zincalume Steel - RO1, V1**  
**Description** Zincalume or Colorbond steel. Colorbond shall have solar absorption value of less than or equal to 0.4. Ensure selection is compatible with coastal environment, as applicable. To comply with BASIX requirements.  
**Finish** Custom orb roofing, rainwater tank.

**Fibre Cement Sheet - FC1**  
**Description** Fibre cement sheeting to in-fill cladding to lightweight walls.  
**Finish** Prefinished, natural finish.

**Concrete Floor - FL1**  
**Description** Ground floor concrete.  
**Finish** Honed, natural finish, no polyurethane.

**Cork Floor - FL2**  
**Description** Upper floor natural cork.  
**Finish** Hardwax clear finish.

**Solid Timber Floor - FL3**  
**Description** Upper floor and to Balconies.  
**Finish** Hardwax clear finish.

**External Window and Door Frames - WF1**  
**Description** Timber or Aluminium window and door frames to comply with BASIX requirements. See below.

**Finish** Natural timber, clear sealed

**Finish** Aluminium, anodised

**Steel - ST1**  
**Description** Steel balustrade, carport and balcony structure.  
**Finish** Hot dip galvanised.

**Aluminium - AL1**  
**Description** Aluminium plate awning.  
**Finish** Mill.

**Paver - P01, P02**  
**Description** Path and car space pavers.  
**Finish** Prefinished.  
**Finish** Soft grey, sand or cream colour, large format rectangular paver, stretcher bond  
**Finish** Permeable paver

**Fence - FE1, FE2**  
**Description** Solid timber fence.  
**Finish** Clear sealed typically.  
**Finish** Slat and cap

Material Guidance Notes

Except for front doors and gates, when a material palette is selected, external materials should be consistent across all three dwellings in the development.

Masonry walls can be replaced with framed walls (refer key details). If so, internal lining for framed walls is interchangeable between TL1, TL2 and PB1. External cladding for framed walls is interchangeable between CL1, CL2 and CL3 (but must be consistent across the development).

Internal materials PB1, TL1 and TL2 are interchangeable between palettes and and within different dwellings in the development.

CA1, CA2 and CA3 are interchangeable between palettes and within different dwellings in the development.

Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue





Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



Pattern Code	TH03
Name	Terraces 03 by Officer Woods Architects with Jennie Officer UWA

Drawing No.	A-352
Name	LMR - North Loaded Exterior Street View
Scale	NTS @ A3





NSW HOUSING  
PATTERN BOOK

GOVERNMENT  
ARCHITECT  
NEW SOUTH WALES



© State of New South Wales (Department of Planning, Housing and Infrastructure) 2025  
Government Architect NSW for New South Wales Department of Planning, Housing and Infrastructure (GANSW) has approved this pattern for inclusion in the Housing Pattern Book. This Pattern is an indicative design for planning application purposes and is not suitable for construction. GANSW accepts no responsibility or liability in relation to use of this Pattern or any resulting built outcome. It is the sole responsibility of each Pattern user to make their own enquiries and obtain professional advice in relation to approvals, compliance, and construction of this Pattern. Any use of this Pattern must be in accordance with the [Terms and Conditions](#), which may be retracted or amended by GANSW at any time. Any misuse may be prosecuted.

Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



with Jennie Officer,  
The University of  
Western Australia

Pattern Code **TH03**  
Name **Terraces 03 by Officer Woods  
Architects with Jennie Officer  
UWA**

Drawing No. **A-353**  
Name **LMR - North Loaded  
Exterior Street View  
with Carport  
NTS @ A3**  
Scale





Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



Pattern Code	TH03
Name	Terraces 03 by Officer Woods Architects with Jennie Officer UWA

Drawing No.	A-354
Name	LMR - South Loaded Exterior Street View
Scale	NTS @ A3





Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue





Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



Pattern Code	TH03
Name	Terraces 03 by Officer Woods Architects with Jennie Officer UWA

Drawing No.	A-356
Name	Non-LMR - North Loaded Exterior Street View FF Adaptation 1 NTS @ A3
Scale	





Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



Pattern Code	TH03
Name	Terraces 03 by Officer Woods Architects with Jennie Officer UWA

Drawing No.	A-357
Name	Non-LMR - North Loaded Exterior Street View FF Adaptation 1 with Carport NTS @ A3
Scale	





Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	TH03
Name	Terraces 03 by Officer Woods Architects with Jennie Officer UWA

Drawing No.	A-358
Name	Non-LMR - East Loaded Exterior Street View
Scale	NTS @ A3





Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue





Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	TH03
Name	Terraces 03 by Officer Woods Architects with Jennie Officer UWA

Drawing No.	A-360
Name	Non-LMR - East Loaded Exterior Street View Alternative Material Palette NTS @ A3
Scale	





Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



Pattern Code	TH03
Name	Terraces 03 by Officer Woods Architects with Jennie Officer UWA

Drawing No.	A-361
Name	LMR Adaptations Exterior Street View (No Balcony to Western Dwelling) NTS @ A3
Scale	





Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



Pattern Code	TH03
Name	Terraces 03 by Officer Woods Architects with Jennie Officer UWA

Drawing No.	A-362
Name	LMR Adaptations Exterior Street View (No Balcony) with Carport NTS @ A3
Scale	





LMR SITE: SOUTH ELEVATION WHEN PRIMARY STREET IS TO THE SOUTH  
SKILLION ROOF



LMR SITE: SOUTH ELEVATION WHEN PRIMARY STREET IS TO THE SOUTH  
PITCHED ROOF

Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue

Pattern Code	TH03
Name	Terraces 03 by Officer Woods Architects with Jennie Officer UWA

Drawing No.	A-363
Name	LMR Adaptations Roof to South Loaded Exterior Street View NTS @ A3
Scale	





BR1 COMMON WALL  
Face masonry cream



PB1 INTERNAL WALL AND CEILING  
Plasterboard painted



CL1 ENTRY  
Timber cladding clear sealed



TL1 SOFFIT  
Timber lining clear sealed



CA1 CABINETRY  
Timber veneer cabinets with stainless  
steel benchtop



FL2 FIRST FLOOR  
Cork



FL1 GROUND FLOOR  
Concrete honed



T01 DOOR FRAMES, SKIRTING & SUNDRIES  
Solid timber clear sealed



T02 DOOR FRAMES, SKIRTING AND  
SUNDRIES  
Solid timber

# NSW HOUSING PATTERN BOOK

GOVERNMENT  
ARCHITECT  
NEW SOUTH WALES



© State of New South Wales (Department of Planning, Housing and Infrastructure) 2025  
Government Architect NSW for New South Wales Department of Planning, Housing and Infrastructure (GANSW) has approved this pattern for inclusion in the Housing Pattern Book. This Pattern is an indicative design for planning application purposes and is not suitable for construction. GANSW accepts no responsibility or liability in relation to use of this Pattern or any resulting built outcome. It is the sole responsibility of each Pattern user to make their own enquiries and obtain professional advice in relation to approvals, compliance, and construction of this Pattern. Any use of this Pattern must be in accordance with the [Terms and Conditions](#), which may be retracted or amended by GANSW at any time. Any misuse may be prosecuted.

Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue



with Jennie Officer,  
The University of  
Western Australia

Pattern Code **TH03**

Name **Terraces 03 by Officer Woods  
Architects with Jennie Officer  
UWA**

Drawing No.

Name

Scale


**A-364**

**Character and Interior  
Palette 01**


**NTS @ A3**









**BR2** COMMON AND INTERNAL WALL  
Rendered / plastered masonry




**TL1** INTERNAL WALL  
Timber lining painted




**CL2** ENTRY  
Corrugated zincalume cladding




**TL1** SOFFIT AND CEILING  
Timber lining painted




**CA2** CABINETRY  
Laminate cabinets with porcelain benchtop



**FL2** FIRST FLOOR  
Cork



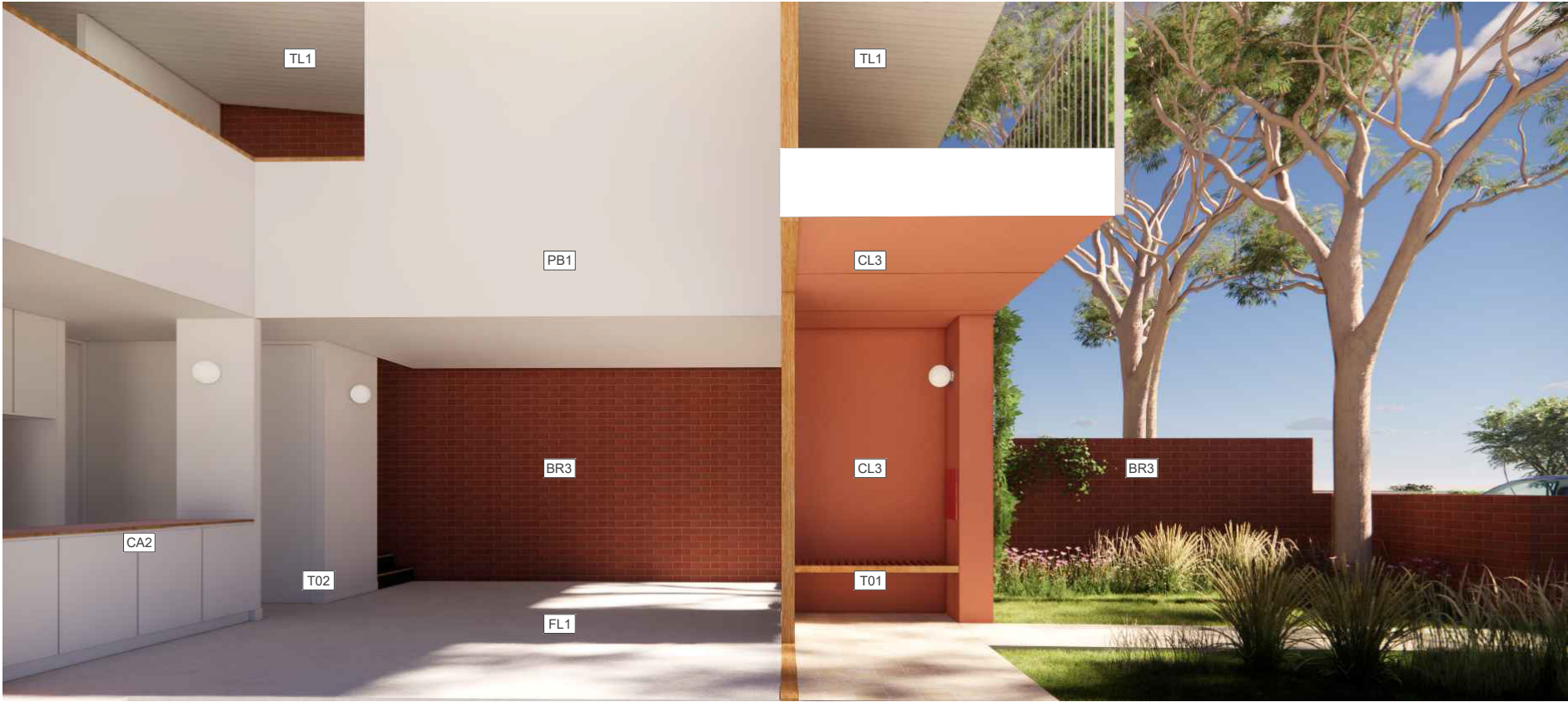
**FL1** GROUND FLOOR  
Concrete honed












**T01** DOOR FRAMES, SKIRTING & SUNDRIES  
Solid timber clear sealed

Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue





 [BR3] COMMON WALL Face masonry red	 [PB1] INTERNAL WALL AND CEILING Plasterboard painted	 [CL3] ENTRY Fibre cement sheet cladding, including lower soffit
 [TL1] UPPER SOFFIT AND CEILING Timber lining painted	 [CA3] CABINETRY Painted cabinets with laminate benchtop and solid timber edge	 [FL2] FIRST FLOOR Cork
 [FL1] GROUND FLOOR Concrete honed	 [T01] DOOR FRAMES, SKIRTING & SUNDRIES Solid timber clear sealed	 [T02] DOOR FRAMES, SKIRTING AND SUNDRIES Solid timber

Rev	Date	Description
Rev1.01	July 2025	Patternbook Issue