



NSW Housing Pattern Book

SMALL LOT APARTMENTS 01

by Collins and Turner

A timeless, compact design that integrates Art Deco sensibilities with the conveniences of modern living

November 2025



GOVERNMENT
ARCHITECT
NEW SOUTH WALES

About this document

This document explains the specific requirements for the pattern called **Small Lot Apartments 01 by Collins and Turner**. This pattern is part of the NSW Housing Pattern Book as referred to in the State Environmental Planning Policy (Housing) Amendment (Mid-rise housing patterns) 2025.

The document provides an overview of what this pattern offers. It explains where housing based on this pattern can be located and how the design can be adjusted to suit user preferences and site requirements within the development standards defined for this pattern.

The technical drawings describe the pattern design in detail. Once you have selected a suitable pattern and paid the administrative fee, you can download the digital drawing package in DWG format for use by your architect or registered designer to prepare your development application.

Using the pattern book

- 1

You are here:
Explore patterns and engage a designer

Explore the patterns available on the NSW Housing Pattern Book website and identify which ones might be suitable to your site and requirements. If you decide to proceed, engage an architect or building designer who will be able to support you through the pattern book development process.
- 2

Select a pattern and adapt it to your site and preferences
- 3

Prepare drawings and information for a planning application
- 4

Understand the streamlined development application pathway
- 5

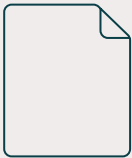
Lodge your application through the streamlined development application process

Related documents and supporting information

NSW Housing
Pattern Book website

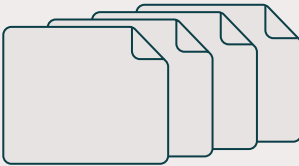


Website

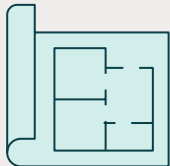


Legislation

Mid-rise pattern packs



Mid-rise pattern packs



Mid-rise pattern
DWG drawings

Supporting documents



Design
verification
statement



NSW Housing
Pattern Book Landscape
design guide



Terms and
conditions



Mid-rise pattern
technical guide

Highlighted content is available after purchase

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				Renders and materials		Solar studies	
				Material palettes	A-380 series	Typical joinery and wet areas	
				Render illustrations	A-390 series	Typical wall types	

Note: When you pay the fee you will receive technical drawings in PDF and DWG formats, technical guidance, an editable design verification statement and your unique identification number.

**Drawing will be available in DWG format.*

SMALL LOT APARTMENTS 01

by Collins and Turner

- The architects designed:**
- A contemporary take on the classic Art Deco walk-up, distinguished by its elegant brick facade
- An efficient floor plate to maximise the number of apartments within the building on a compact site
- Mix of studio, 1-bedroom, 2-bedroom, 3-bedroom and 4-bedroom homes, many with flexible multipurpose rooms
- Private balconies and courtyards, communal rooftop and rear garden that provide opportunities for social interaction
- Integrated sustainability features including solar access, cross-ventilation, rainwater tanks and solar panels
- Homes that reflect and respond to the NSW Apartment Design Guide for the benefit of future residents

About this pattern

- Site suitability** – Suits a compact mid-block site
- Optimal orientation** – Designed to adapt to a range of orientations
- Development type** – Residential flat building
- Permissibility** – Transport oriented development areas and in low and mid-rise housing areas
- Ownership** – Suitable for strata, company title or build to rent
- No. of storeys** – 3 or 4
- No. of dwellings** – 7 to 13
- Mix of dwelling types** – Studio up to 4-bedroom dwellings
- Site width** – Minimum lot width between 13–16.6 m
- Site length** – Suits a minimum site length of 40–54.5 m
- Site area** – Suits a lot area between 520–904 m²



Front view of the design from the street

- Studio
- One bedroom
- Two bedroom



View from the balcony to the apartment interior

Easy to live in

With 3 to 4 dwellings per floor, this compact apartment building will create a sense of community amongst neighbours. The pattern provides a mix of studios, 1-bedroom and 2-bedroom dwellings to suit a variety of households:

Base pattern mix	Studio	1-bed	2-bed	3-bed	4-bed
Number of dwellings	3	4	4	5	1
Bedrooms per dwelling	0	1	2	3	4
Bathrooms per dwelling	1	1.5	1.5	2-2.5	2.5
Floor area per dwelling	39m ²	69m ²	90m ²	116-120m ²	125m ²

Singles and couples—compact studios and 1-bedroom apartments, many of which include a flexible room which can be used as a study to work from home

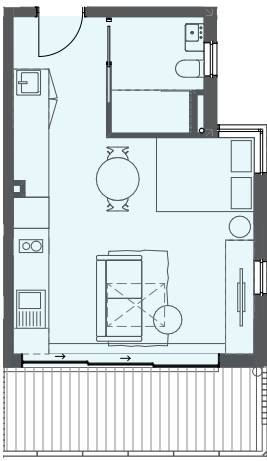
Co-living or share houses—good internal separation between bedrooms and quality common areas that can be used for socialising and retreat

Families—well-planned 2-bedroom, 3-bedroom and 4-bedroom apartments with spacious balconies and flexible rooms

Downsizers—several apartments are designed to allow for future adaptation to allow good mobility and access to support aging in place

► Refer to A-370 series for full range of apartment types

Example studio apartment



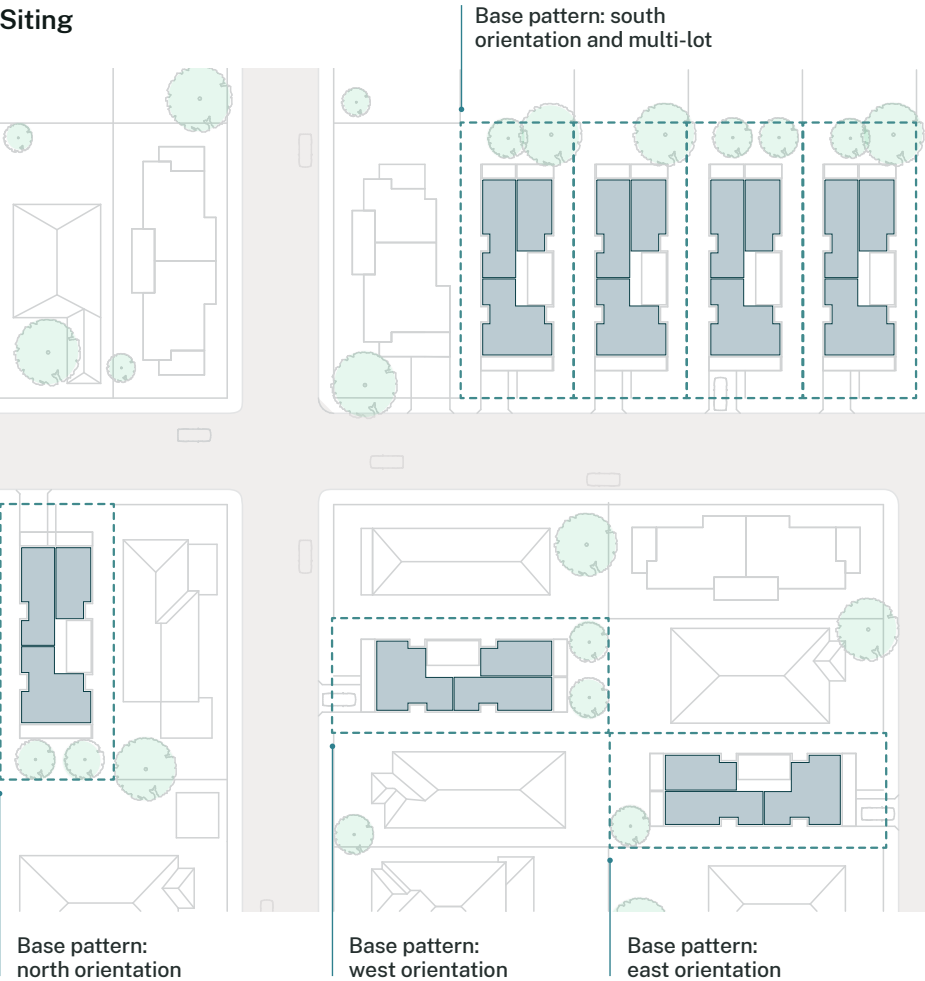
Example 2-bed apartment



Not to scale

For everyone and every place

Siting



Designed for compact lots in infill or greenfield locations, with one primary street frontage

An adaptation with a 0m side setback is provided for 13-16m wide sites to be used as appropriate

This pattern is suitable for any solar orientation

Three material palette options can fit any local character to include blonde, light brown and dark bricks with compact fibre cement cladding

Metal balustrades, screens, awnings and window frames should be finished with similar tones to the primary materials

Blonde brick, coastal areas



Light brown brick, new build areas (top); dark brown brick, heritage areas (bottom)



Sustainable and energy efficient

- Designed for a compact site, this pattern fits into existing sites

Passive solar design ensures comfortable living spaces and lower energy bills

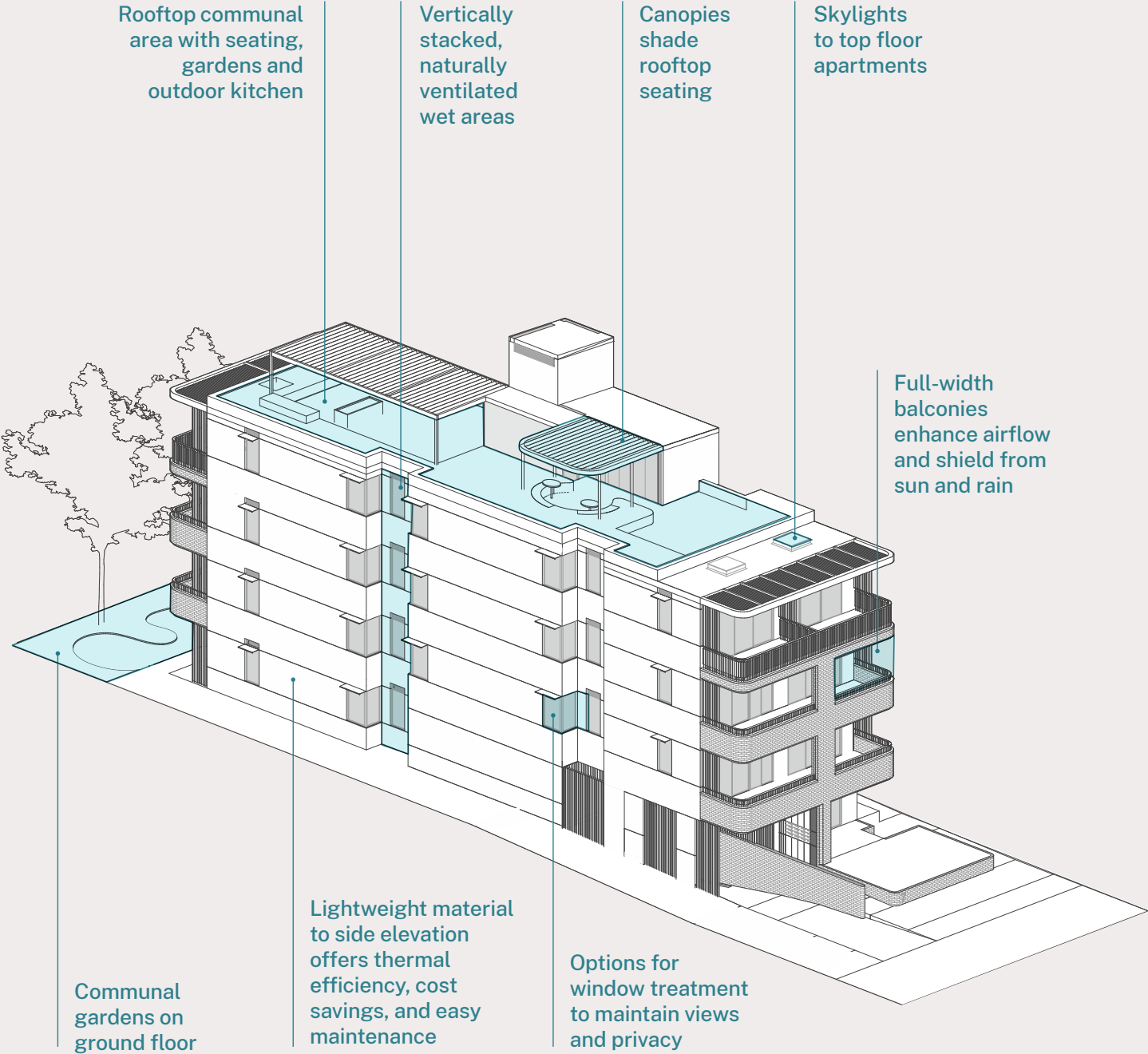
Daylight and cross-ventilation create healthy homes

The large roof area provides ample space for solar panels
- External materials have longevity for an enduring and low-maintenance home

Rainwater tanks capture roof water for reuse in the building

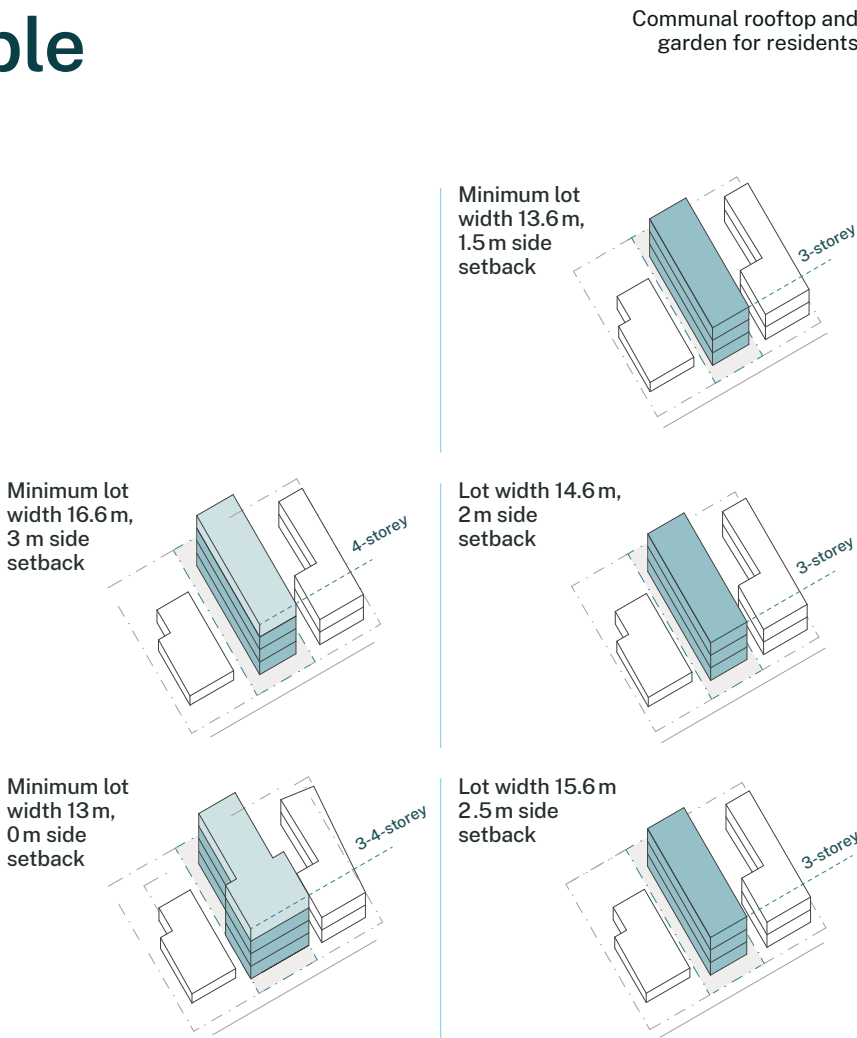
Ceiling fans improve comfort and energy efficiency

All-electric dwellings provide healthier indoor environments, lower energy bills, and reduced carbon footprint



Smart and flexible

- Choose from a rectilinear or curved front facade, with a variety of balustrade details and 3 brick colour options
- This pattern can be built as a 3-storey building on minimum 13.6m wide lot with 1.5m setback
- This pattern can also be built as a 4-storey building on a minimum 16.6m wide lot with a 3m setback
- A variant with a side-setback of 0m is available for suitable sites between 13–16m wide
- Flexible parking options include basement or on-grade parking to suit user preference
- Basement and ground floor layouts can adjust to site slopes of up to 1m
- Selected apartments can be adapted to meet *Australian Standard 4299-1995 – Adaptable housing*



SMALL LOT APARTMENTS 01

by Collins and Turner

Requirements
and
adaptations



Planning overview

Planning pathways for pattern book developments

Developments using the mid-rise housing patterns must be submitted under Chapter 7 Pattern book development in State Environmental Planning Policy (Housing) 2021 (the Housing SEPP). This chapter includes provisions for mid-rise housing pattern development to be eligible for a reduced assessment period for development application (DA).

Excluded land

The proposed SEPP does not apply to land affected by certain hazards and constraints that have been identified by the Department as unsuitable for the policy. This land includes: bushfire-prone and certain flood-prone land in high risk locations, State heritage items, local heritage items and heritage conservation areas. To understand the full list of exclusions refer to Chapter 7 Pattern book development in the Housing SEPP.

Design verification statement

Pattern book development applications must include a written statement known as the NSW Housing Pattern Book design verification statement mid-rise (DVS mid-rise) completed by a qualified designer (i.e. an architect) in accordance with *Environmental Planning and Assessment Regulation 2021*. A template of this statement can be found on the NSW Housing Pattern Book website and is included in the download package when purchasing a pattern.

The DVS mid-rise must confirm the proposed development will comply with the development standards, location requirements, technical drawing set and technical information specific to the proposed pattern. The architect must confirm that all fixed and adaptable design features required by the pattern are evident in the submitted development application.

The statement will help the consent authority to determine whether a proposed development complies with the original pattern design and is eligible to be considered pattern book development.

Qualified designer

The design verification statement (mid-rise housing patterns) must be completed by a qualified designer which is defined as an architect registered by the NSW Architects Registration Board under the *Architects Act 2003*. They must include their professional registration details in the statement.

Note to assessors

To be considered pattern book development, a development application using a mid-rise housing pattern must meet the required planning obligations. This includes complying with development standards, location requirements, and technical drawing set and technical information included in the pattern, as verified in the design verification statement (mid-rise housing patterns).

Design integrity

The design integrity of the pattern must be reflected in the submitted design. The submitted design should not be modified beyond the defined adaptations and parameters of the pattern.

Apartment Design Guide

This pattern design has been developed with reference to the Apartment Design Guide (ADG) and having undergone rigorous review has been endorsed as having considered the ADG. The development standards and pattern requirements in this document ensure that developments using this pattern can achieve the 9 design quality principles identified in Schedule 9 of the housing SEPP. Further assessment against Schedule 9 or the ADG is therefore not required for pattern developments.

Landscape and significant trees

As well as meeting landscape-related development standards set out below, pattern book developments must show how they have considered the NSW Housing Pattern Book *Landscape design guide* which provides advice on creating a landscape plan for the patterns and includes suggested planting lists. This includes consideration of tree canopy requirements.

Sites requiring change or removal or pruning of significant trees or vegetation must seek any necessary approvals from the relevant council in accordance with their requirements.

The NSW Housing Pattern Book Landscape design guide can be downloaded from the NSW Housing Pattern Book website for additional information.

Privacy

Privacy has been addressed within the pattern designs with solutions provided including fixed and optional screening and required setbacks to accommodate appropriate building separation.

Cross-ventilation

All apartments achieve cross-ventilation in accordance with guidance in the ADG.

Sustainability

Consistent with all residential developments in NSW, pattern book developments must demonstrate how they meet Building Sustainability Index (BASIX) and Nationwide House Energy Ratings Scheme (NatHERs) targets and compliance. Each pattern includes guidance on how to achieve these requirements, along with optional sustainability features such as solar panels and upgraded performance features.

► [Refer to the Mid-rise pattern book technical guide for details.](#)

Height and density bonuses under environmental planning instruments

Any application of height or density bonuses under an environmental planning instrument, such as the Affordable Housing Bonus (State Environmental Planning Policy (Housing) 2021), must be accommodated within the maximum height variation of this pattern.

Development standards and planning information for Small Lot Apartments 01 by Collins and Turner

Planning requirements

Developments applying this design from the pattern book must adhere to the planning requirements specified below to be eligible to be assessed as mid-rise housing pattern development under Chapter 7 Pattern Book development in the Housing SEPP. The development standards and location requirements for this pattern prevail in the case of any inconsistency with equivalent development standards in other relevant environmental planning instruments (i.e. a State Environmental Planning Policy [SEPP] or Local Environmental Plan [LEP]) or equivalent requirements in a Development Control Plan (DCP).

Development type

Residential flat building

Applicability

Permitted in low and mid-rise (LMR) housing areas under section 163 of the housing SEPP and transport-oriented development (TOD) housing areas under Chapter 5 of the Housing SEPP where this type of development is permissible with consent.

Development standards

The following development standards are specific to Small Lot Apartments 01 by Collins and Turner. They apply where this pattern is proposed as pattern book development under Chapter 7 Pattern Book Development in the Housing SEPP.

Location requirements (site response)

Solar access

All pattern book developments need to demonstrate that adequate solar access to 70% of residential apartments (2 hours of direct sunlight to living spaces between 8am to 4pm) can be achieved in response to site conditions. This pattern can achieve at least 70% solar access between 8am to 4pm and has been tested under a common set of conditions which are explained in siting and technical information sections of this document.

Overshadowing

All pattern book developments need to minimise overshadowing impacts to neighbouring sites. Neighbouring sites should receive a minimum 3 hours of sunlight to at least 50% of private open space areas between 9am and 3pm on 21 June. Overshadowing impacts must be evidenced in the DA submission through sun shadow diagrams.

Setbacks may need to be increased to maximise solar access and to minimise overshadowing from adjoining buildings.

Site type

This pattern can only be used in a mid-block site and is not adaptable to corner lots.

Development standards

Maximum no of storeys	4		
Maximum no of dwellings	13 no more than 75% of which to be a single type		
Maximum building height (m) from ground level (existing)	17.5m See exclusions in notes (to right) Pattern development must also comply with maximum building height requirements of the relevant EPI See exclusions in notes (to right)		
	3 storeys minimum pattern	3 storeys	4 storeys base pattern
Minimum lot size	520m ²	664m ²	904m ²
Minimum lot width	13m	13.6m	16.6m
Minimum side setbacks	0m	1.5m Includes encroachments – see ‘side setbacks’ notes	3.0m
Minimum front setback (primary street frontage)	4.0m	4.0m	4.0m
Minimum rear setback	6.0m	6.0m	6.0m
Minimum floor to ceiling height in dwellings	2.7m (habitable areas) 2.4m (non-habitable)		
Minimum deep soil area	7% = <650m ² site area 10% = 650 – 1,500m ² site area 15% = >1,500m ² site area		
Waste collection (minimum requirement)	Mode: kerbside Frequency: weekly		

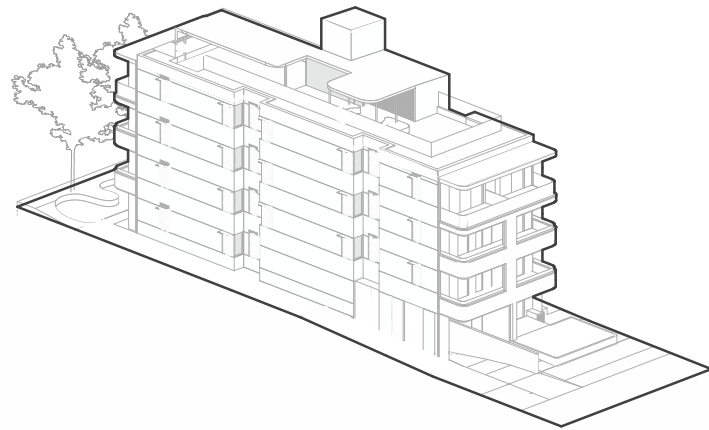
Notes on development standards for this pattern

These notes are intended to be read in conjunction with the pattern adaptations and technical drawings for this pattern.

Storeys	The maximum number of storeys for this pattern refers to habitable storeys and does not include rooftop facilities.
Height	For the purposes of this pattern the maximum building height does not apply to lift overruns, plant and services equipment, shade structures, or common floor area and communal open space. The exclusions from maximum height of building (lift overrun etc) will require additional 1.45m of height. These are designed to have no overlooking or overshadowing impact on neighbouring amenity. The maximum building height for the pattern development standards includes allowance for adaptation to slope on the subject site.
Lot requirements and adaptations	The pattern adaptations in the technical drawings section provide guidance on adapting the base plan for different site sizes, positions (mid-block, laneway), orientations and inclusions.
Irregular lot adaptations	Patterns can be adapted to irregular shaped sites, excluding battle-axe lots, subject to meeting the minimum setback requirements.
Minimum lot width	The minimum lot width is measured at the front of the building line.
Side setbacks	The adaptations of this pattern include two side setback conditions. The pattern can adapt to a variable side setback of 0m and 3m on lots from 13m wide: – a minimum 0m setback where blank wall faces the boundary for part of the side of building, and a 3m setback is required where there are windows facing the side boundary. In areas where a 0m setback is not permissible, the pattern can adapt to a continuous side setback requiring the following minimums: – 1.5m for 3-storeys on lots from 13.6m wide – 3m for 4-storeys on lots from 16.6m wide. Allowable encroachments within the setback include: – window hoods.
Waste	The pattern requires weekly kerbside collection with wheel-out wheel-in by building management to collection area as shown in the technical drawings section. The base pattern accommodates bin and bulky waste room areas in accordance with the calculation rates provided in this document.

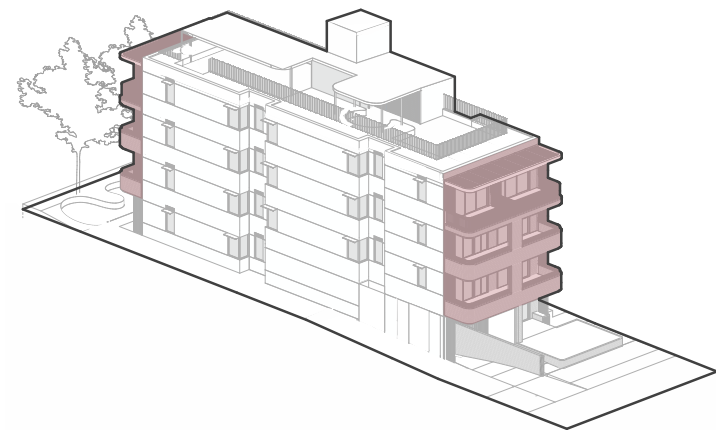
Concept design

This page provides an overview of the design concepts that underpin this pattern. It includes key features of the structure and form, provision of communal space, approach to adaptation and any other matters highlighted by the architects.



Fit for context

The compact apartment design features flexible features to adapt to different settings in NSW. Curved or rectilinear facades can be interchanged, along with material palettes to adapt to coastal, regional and urban settings, including heritage and new-build areas.



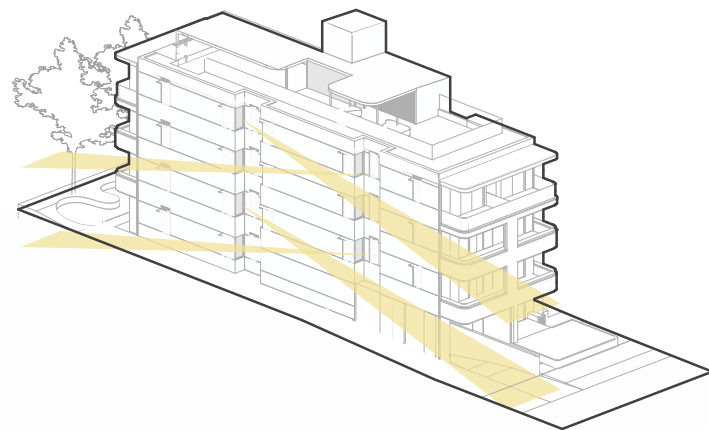
Generous balconies

Communal spaces are balanced with private spaces. Generous full-width balconies extend directly from living spaces, creating a seamless connection between indoors and outdoors. They enhance livability and give each dwelling a sense of openness, while providing privacy and optimal shading.



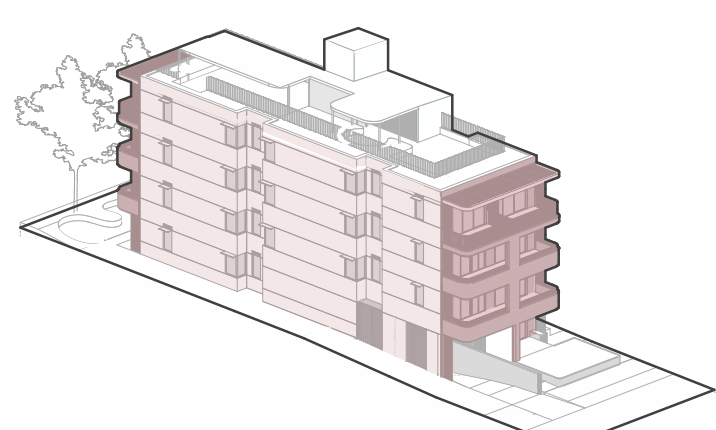
Diverse communal open spaces

Communal spaces are designed to be flexible, accessible and green, fostering community connection and wellbeing. The ground floor courtyard offers places for rest and gathering, while the rooftop space combines active and passive amenities, including shaded seating, a vegetable garden, and an outdoor kitchen.



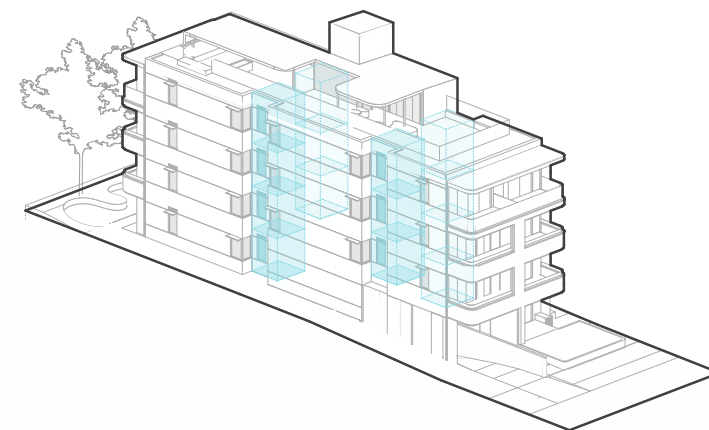
Privacy

Oblique views between neighbours, maintains openness without overlooking. Windows facing boundaries use reeded or translucent glazing, windows perpendicular to boundaries are clear and sash-less to allow light and ventilation while preserving privacy and comfort within each dwelling.



Cost balanced facades

Expenditure on the facade is concentrated where it will have the most impact. Brick facades define the street and communal garden edges, reinforcing character and durability. Lightweight facades at side boundaries provide a complementary contrast while ensuring thermal efficiency, cost-effectiveness, and ease of maintenance.



Stacked and standardised wet areas

Bathrooms and kitchens are positioned adjacent to the central cores and have windows, ensuring light and ventilation and acoustic privacy between apartments. The standardised wet areas are stacked vertically to simplify construction and services reticulation.

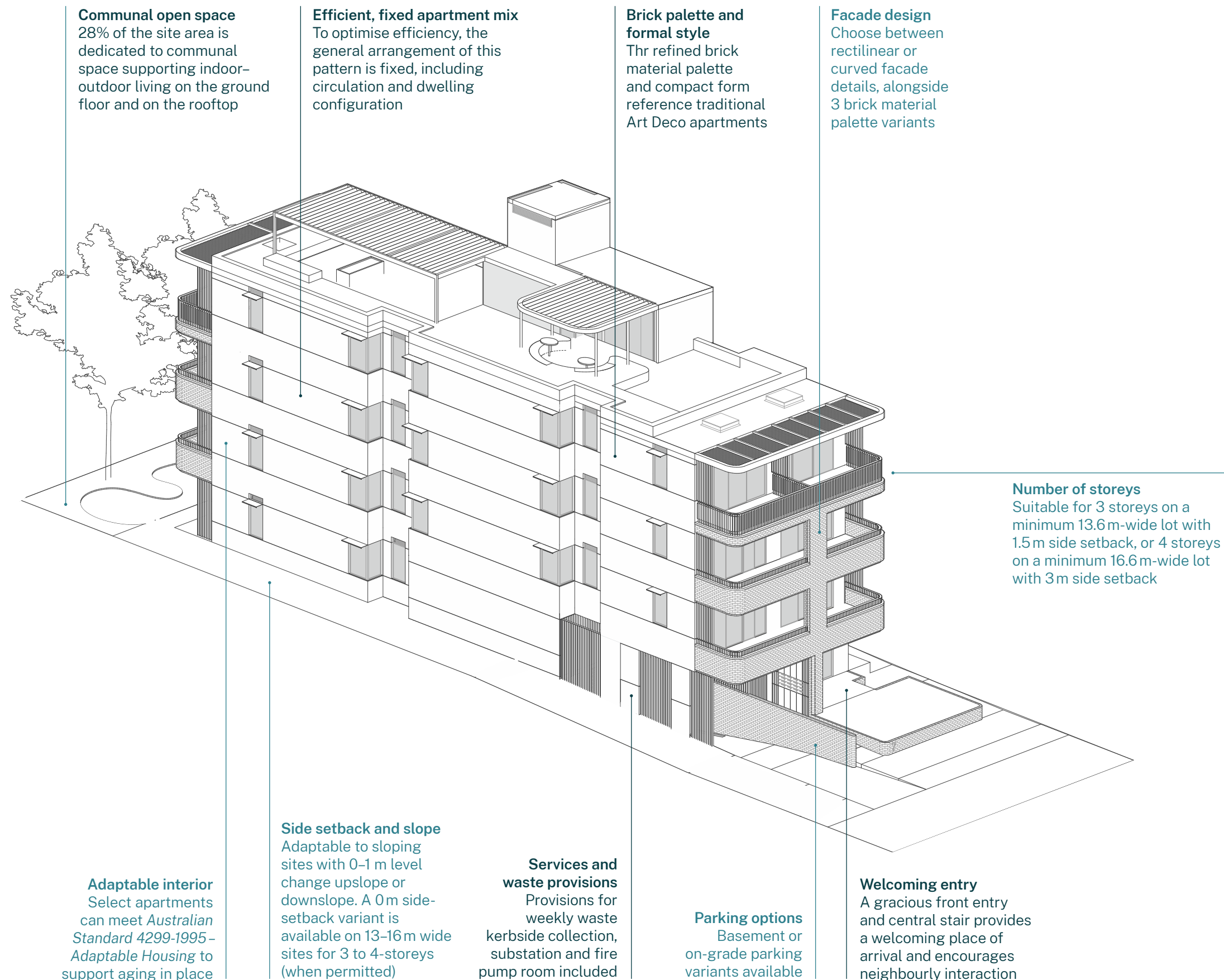
Design features

This page shows key features of the pattern including form and structure, services, communal space, sustainable features and any other matters highlighted by the architects.

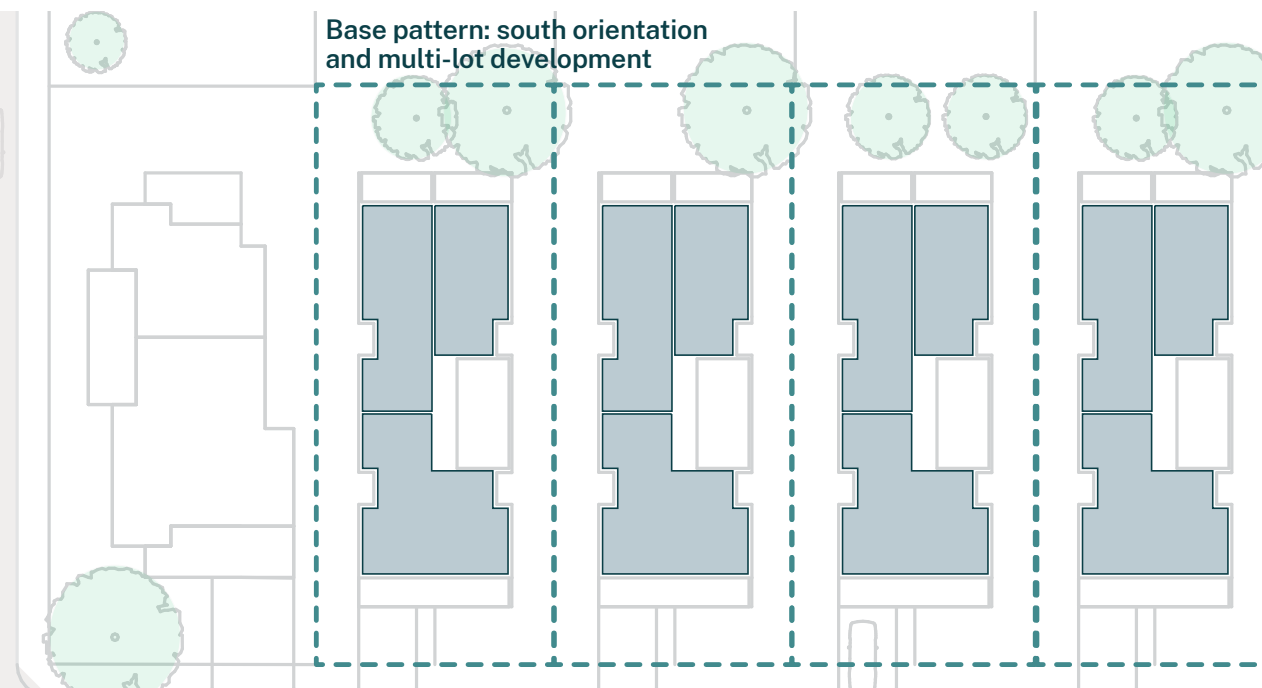
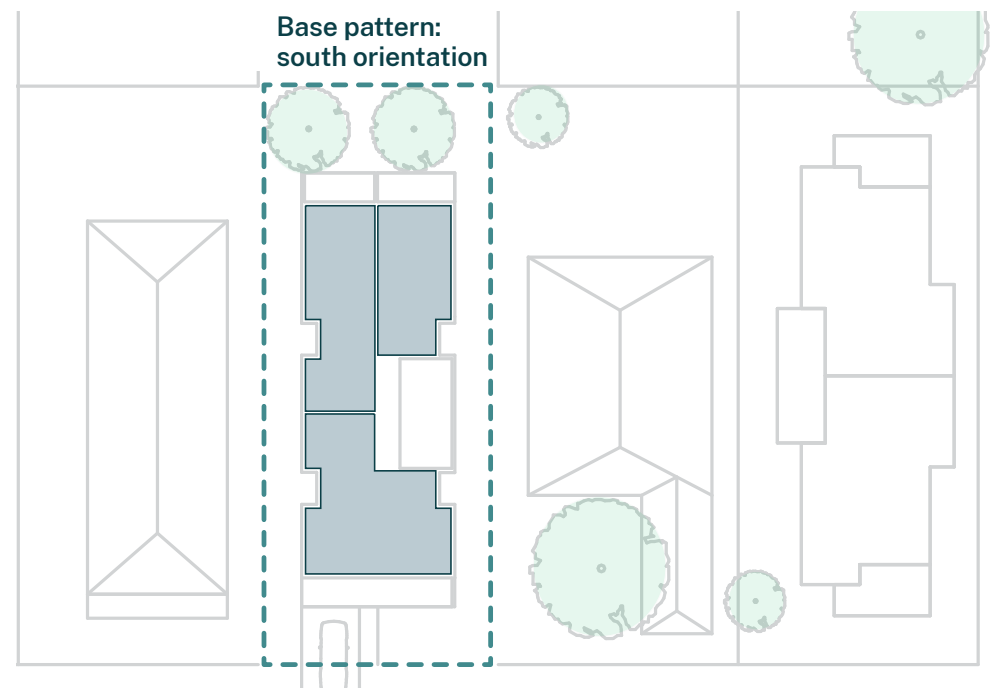
The features on this page are coloured to show the following:

- **Fixed features** – these must be strictly retained in the planning application.
- **Flexible features** – these items can be modified within the agreed parameters shown in the drawings.

Any changes to the pattern design, including flexible features, must be declared in the design verification statement as part of the planning application.

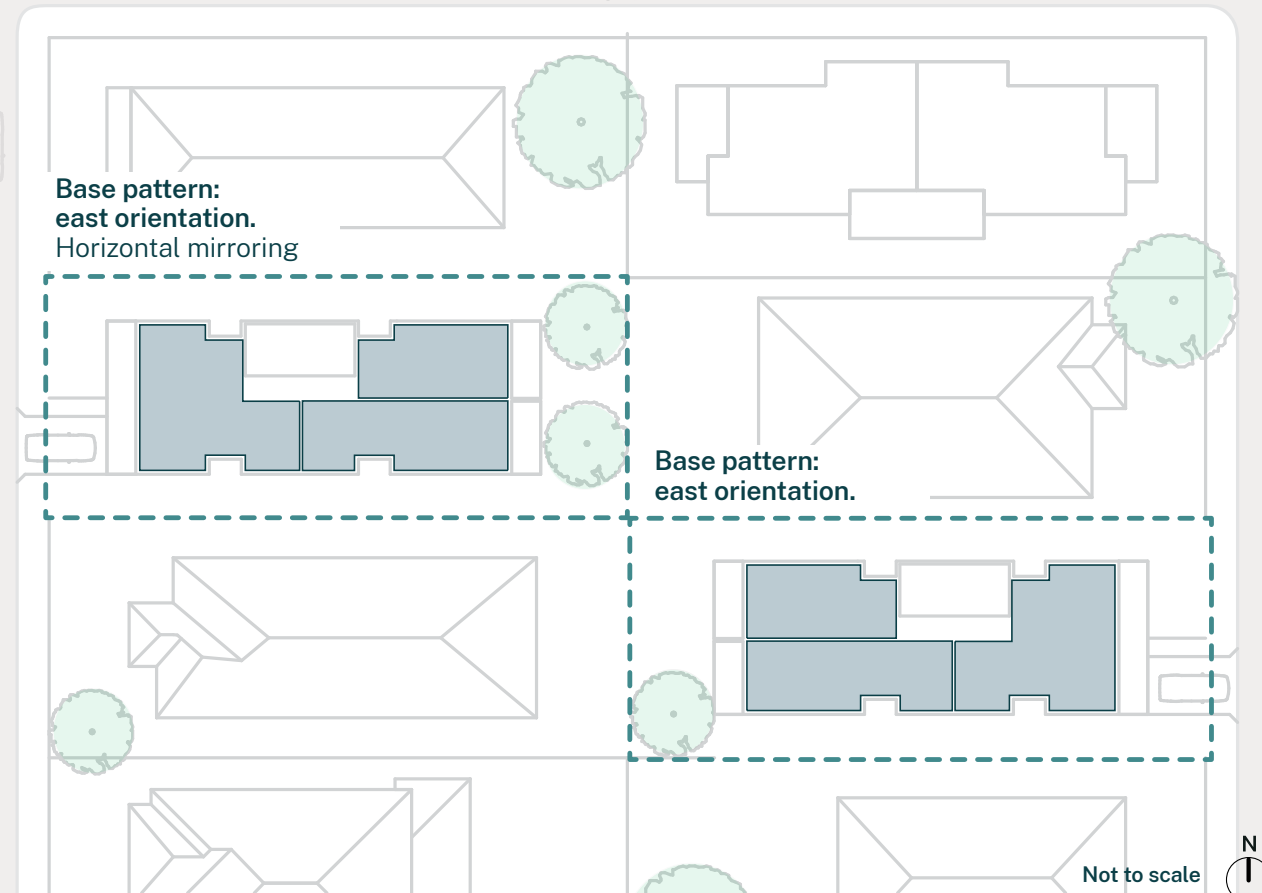
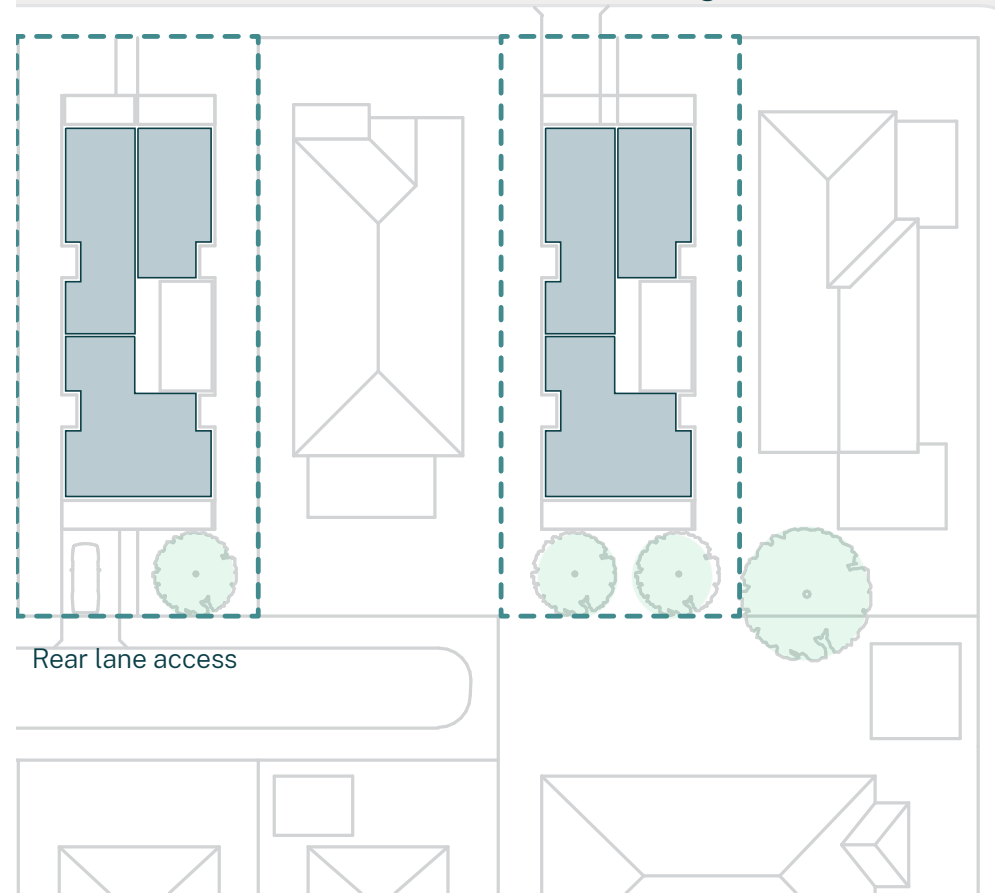


Siting



Base pattern: north orientation.
Vertical mirroring
Rear lane access

Base pattern: north orientation.
Vertical mirroring



This drawing demonstrates the various urban arrangements that are available for this pattern. Pattern sites must:

- meet suitable lot type requirements (e.g. mid-block, corner, rear lane)
- meet suitable solar orientation requirements.

Refer to the planning pages of this document for further detail on the development standards for this pattern.

Find the urban arrangement that is most relevant to your site and select a suitable pattern adaptation for the site size and solar orientation.

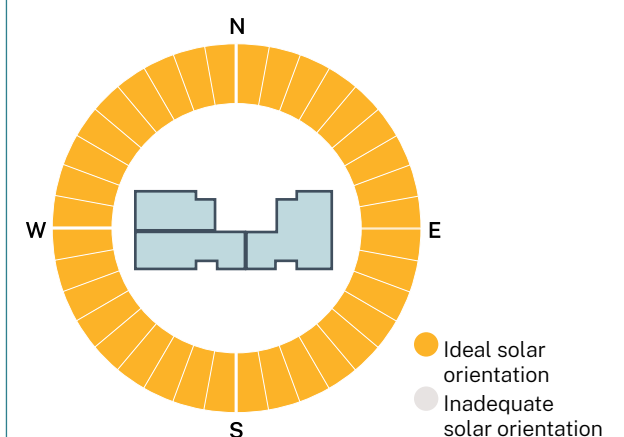
► [Refer to A-200 series for siting variants](#)

Urban arrangements and orientation

This drawing shows the orientations and block types that can use the pattern. It also indicates what a replicated pattern would look like across an urban block.

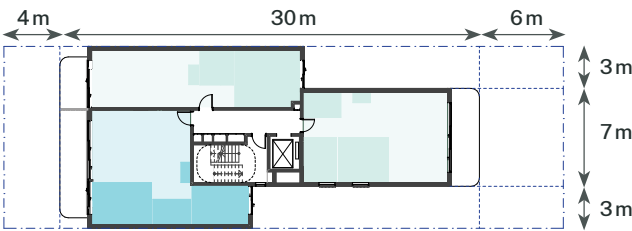
Solar orientation

Orientations where the pattern will achieve appropriate solar compliance:

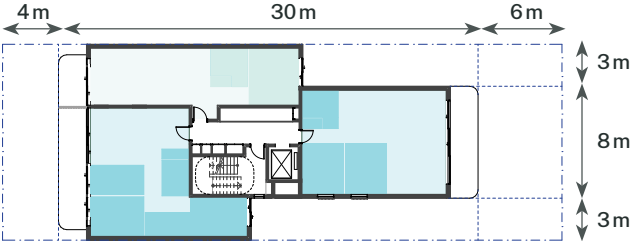


0m side setback

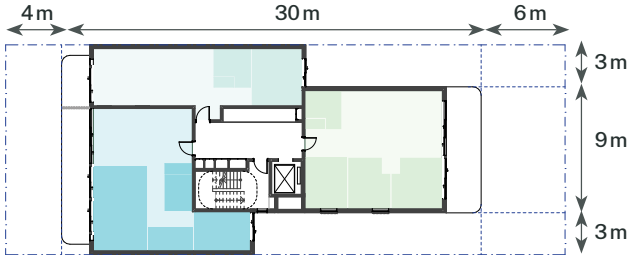
13m wide, 40m long



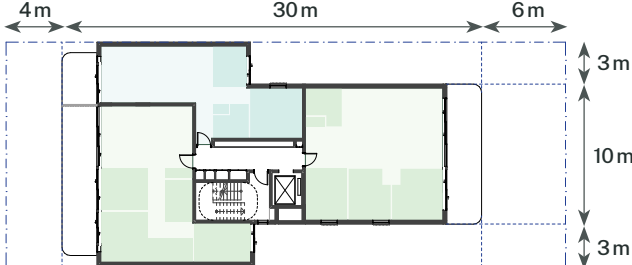
14m wide, 40m long



15m wide, 40m long

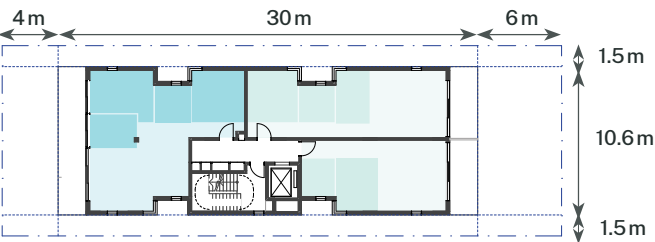


16m wide, 40m long

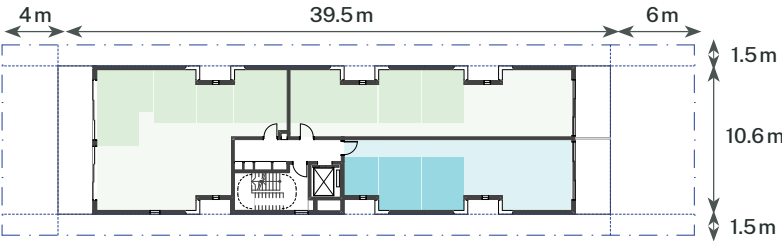


1.5 m side setback

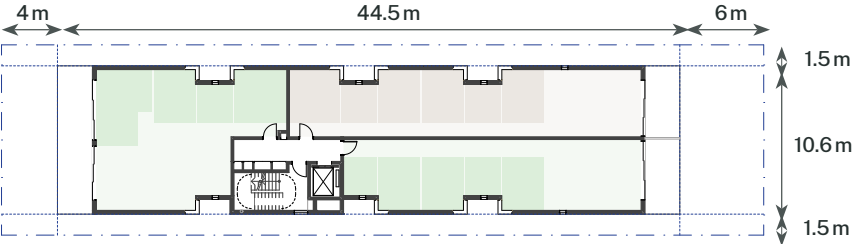
13.6m wide, 40m long



13.6m wide, 49.5m long

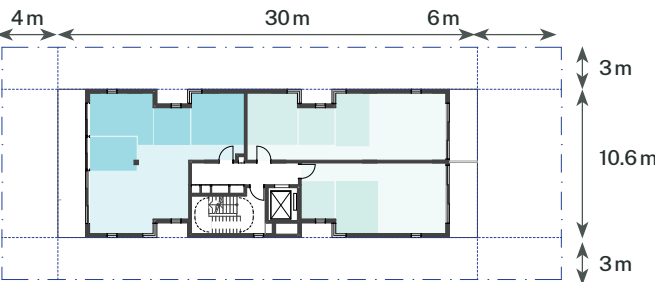


13.6m wide, 54.5m long

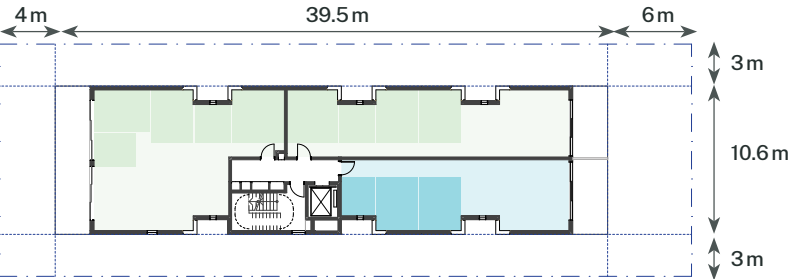


3m side setback

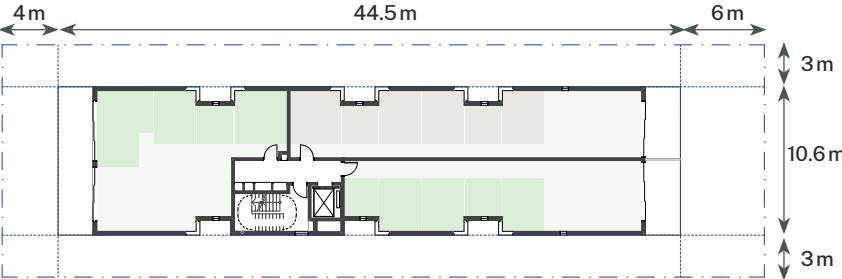
16.6m wide, 40m long



16.6m wide, 49.5m long



16.6m wide, 54.5m long



Pattern adaptations

Lot size and minimum setbacks

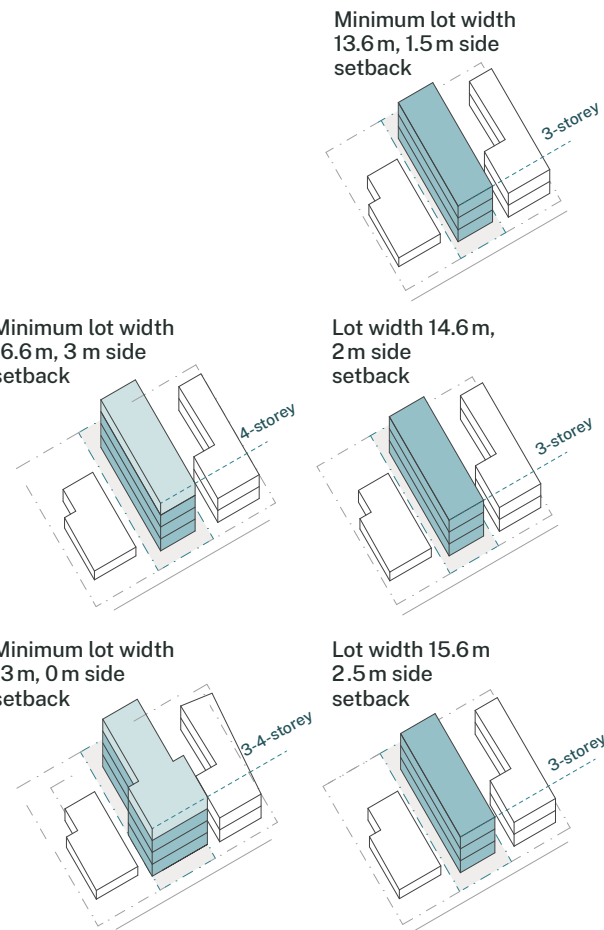
These plans demonstrate the various lot size adaptations that are available for this pattern. Pattern sites must:

- meeting minimum lot width, lot depth and total minimum lot area
- meet minimum setbacks (e.g. front, side, rear).

Refer to the planning pages of this document for further detail on the development standards for this pattern.

Analyse the drawing to find the most relevant example for your site, which shows required lot sizes and setbacks. Using this guidance, refer to the site plan to begin adaptation to your site.

► Refer to A-200 series for pattern adaptations



● Studio
● One bedroom
● Two bedroom

Blonde brick, coastal areas, curved facade option



Light brown brick, new build areas, curved facade option



Dark brown brick, heritage areas, curved facade option



Material summary

Material selections

The patterns are available in a variety of material finishes, allowing flexibility to suit both user preferences and the unique character of each location. When selecting a material palette from these variants, consider how it complements the existing streetscape.

► *Refer to A-380 series for material palette information*



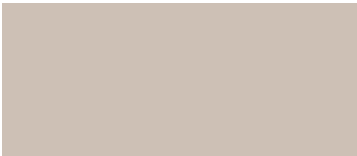
Masonry – face brick
Dry pressed white brick, mortar colour matched to top brick, custom shaped brick at balustrades



Side cladding
Fibre cement clay cladding, natural finish, white tone



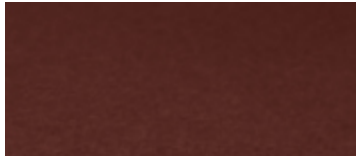
Masonry – facade brick
Pressed terracotta tone, mortar to match brick colour, custom shaped brick at balustrades



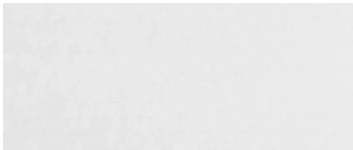
Side cladding
Fibre cement clay cladding, natural finish, white tone



Masonry – facade brick
Manor red brick tone, mortar to match brick colour, custom shaped brick at balustrades



Side cladding
Fibre cement cladding, natural finish, manor red tone



Balustrade
Aluminium finish – powdercoated white



Privacy screen
Metal, powdercoated white



Balustrade
Aluminium – powdercoated faded eucalypt green



Balustrade
Aluminium – powdercoated pale pink



Balustrade
Aluminium, steel grey paint finish



Privacy screen
Aluminium, steel grey paint finish

Rectilinear facade option



Rectilinear facade option



Rectilinear facade option



Pattern selections

Using this guide, users can map how this pattern will be adapted to suit the specific site and meet the needs of future occupants.

Use this page to:

- Confirm the site meets the lot type, minimum frontage and area requirements of this pattern.
- Consider the parking adaptations and ground floor layouts.
- Consider the height adaptations.
- Review the lot features such as orientation and slope to inform which pattern adaptations need to be used.
- Consider the dwelling mix.
- Consider the material palette and character options available.

Siting location

Lot type

- ☐ **LMR housing area site**
530m² (min) lot area
13m (min) lot width
*Allows ABCB livable design standard
- ☐ **TOD housing area site**
530m² (min) lot area
13m (min) lot width
*Allows ABCB livable design standard

The site location and available adaptations are described in the pattern adaptations and site plan pages.

Lot size

Minimum lot size 0 m setback

- ☐ 13m (w) x 40m (l)
- ☐ 14m (w) x 40m (l)
- ☐ 15m (w) x 40m (l)
- ☐ 16m (w) x 40m (l)

Minimum lot size 1.5 m setback

- ☐ 13.6m (w) x 40m (l)
- ☐ 13.6m (w) x 49.5m (l)
- ☐ 13.6m (w) x 54.5m (l)

Minimum lot size 3 m setback

- ☐ 16.6m (w) x 40m (l)
- ☐ 16.6m (w) x 49.5m (l)
- ☐ 16.6m (w) x 54.5m (l)

Minimum setbacks

- ☐ 4m front setback
- ☐ 0m side setback or
- ☐ 1.5m side setback or
- ☐ 3m side setback
- ☐ 6m parallel street or laneway setback
- ☐ 6m rear setback

To understand the extent of options available, refer to the technical drawings section and review the base pattern plans and available adaptations.

Adapt for suitability

Storeys

- ☐ 3 storeys
- ☐ 4 storeys

Apartment yield & mix

- ☐ Studio
- ☐ 1 bedroom
- ☐ 2 bedroom
- ☐ 3 bedroom
- ☐ 4 bedroom
- ☐ *No more than 75% of a single type

Parking

- ☐ Basement
- ☐ On-grade
- ☐ *Existing site slope allows for basement

Substation

- ☐ Kiosk substation required
- ☐ No substation required

To understand the how to adapt the patterns height, apartment yield and mix, parking and substation requirements, refer to in the technical drawings.

Lot features

Lot type select one

- ☐ Standard mid-block
- ☐ Parallel street or laneway mid-block

Frontage orientation

- ☐ North
- ☐ North-east
- ☐ East
- ☐ South-east
- ☐ South
- ☐ South-west
- ☐ West
- ☐ North-west

Site slope select one

- ☐ 0–1m upslope
40m (l) site
- ☐ 0–1m downslope
40m (l) site

Lot adaptations to suit different lot types, orientations and are described on pattern adaptations- location requirements pages and in the technical drawings.

Building character

Material palette select one

- ☐ Material palette 1
Blonde brick –coastal
- ☐ Material palette 2
Light brown brick –new build
- ☐ Material palette 3
Dark brown brick –heritage

Character details

- ☐ Curved balconies
- ☐ Rectilinear balconies

Additional features

- ☐ Window hoods required
- ☐ No window hoods required

Refer to the material palette guidance pages and included illustrative images for further information.

Technical considerations

Engaging a design team

To prepare a mid-rise pattern for a site-specific planning application, the user must engage a design team to adapt the pattern drawings and prepare information required for the application. The team may include architects, engineers, quantity surveyors and other specialists.

It is the responsibility of the developer to investigate and understand the legal, financial, environmental and planning matters and risks of undertaking pattern book development on a chosen site.

Units and measurement

The pattern designs have been drafted to standard drawing scales. Site measurements are generally identified as a minimum, allowing users to make site specific adjustments. Should discrepancies exist, refer to the development standards table. Measurements for sites have been rounded to the nearest 0.1m. Areas have been rounded up or down to the nearest 5m².

NCC compliance

The mid-rise patterns are capable of compliance with the National Construction Code (NCC) 2022 subject to final technical specifications and details. Additional compliance measures and reporting are required for Class 2 under the *Design and Building Practitioners Act 2020*. For Class 2 development, the proponent is required to engage a practitioner registered with the NSW Design and Building Practitioners (DBP) Scheme.

Universal design

Mid-rise pattern book dwellings must comply with the Australian Building Codes Board (ABCB) Livable Housing Design Standard, which has been adapted from the ‘silver’ level requirements of the Livable Housing Association (LHA) Livable Housing Design Guidelines.

Site slope

The pattern designs can be modified to suit gently sloping sites. The scope for this is documented in Requirements and Adaptations > Siting and Pattern adaptations.

As patterns are adjusted to meet specific site conditions, design considerations include:

- maintaining paths of travel to front doors according to the ABCB Livable Housing Design Standard
- potential for and locations of retaining walls
- stormwater management and drainage systems.

► [Refer to A-200 series for site slope adaptations](#)

Driveways and crossings

The location of the driveway and driveway crossing is shown on the plans. Proponents must ensure the design meets the requirements of relevant Australian Standards.

Driveways should not be affected by existing structures such as street trees, earth mounds, bus shelters, power poles or other physical features. Removal of such features may be permitted subject to council approval.

A description of parking and traffic approach and assumptions for the development of pattern designs is included in the technical guide to support the further design development of your pattern project for a specific site.

Construction and materials

The construction system for pattern designs provides efficient and coordinated planning, aligning load paths, wet areas and service risers where practical. Specific materials have been selected for the external elevations and character as shown on the materials pages.

Structural design

The pattern designs have been developed with input from structural engineers. A description of their assumptions and advice for the further development of a pattern for a specific site is included in Technical summary.

Facade design

The facade design of the mid-rise patterns designs have been developed with input from specialist consultants. A description of their assumptions and advice for the further development of a pattern for a specific site is included in the technical guide.

Entries

The location of entries into the building, into individual apartments and onto balconies, roof terraces and the like are all set by the pattern and cannot be changed.

Interior layouts

Any changes to apartment interiors must be declared in the design verification statement and cannot exceed the flexibility listed above. The position of all rooms must be in accordance with the apartment layouts provided in the pattern, this can include mirrored layouts where the pattern provides for this.

Fixture and fittings may be selected and positioned at the discretion of the applicant, except for robes and storage sizes and bathroom dimensions and clearances, as these are set by the pattern. Specification of bathroom fixtures (toilets, baths, sinks) are at discretion of the applicant provided that there is no reduction in clearances, including but not limited to those associated with liveability and adaptable apartments.

Services provision

The pattern designs have been developed with input from specialist consultants. A description for each of these disciplines and their assumptions is included in the technical guide to support the development of your pattern project for a specific site.

Fire performance

Fire risks have been discussed with Fire and Rescue NSW (FRNSW). Examples of typical fire performance solutions have been developed to assist project teams in completing fire performance documentation for their development. To ensure the safety and compliance of the development, seek expert advice from a fire consultant and consult with FRNSW as required by relevant legislation.

Services assumptions

Mechanical	1 condenser/apartment; exhausts avoid fire compartments
Electrical	Load <1000 kVA; photovoltaics (PV) roof allocation 20–100%; switchroom 20m ²
Hydraulic	2000 L grease traps; dual pump sets; risers near fixtures
Fire	1–2 hydrants based on area; 215m ² tank room; full smoke detection
Civil	On-site stormwater detention (OSD) 0–470m ³ /ha; 10kL rainwater tanks; 3.5mm/m ² /day irrigation
Rooftop condensers and risers	Per apartment
Substations	External kiosk
Kitchen / bathroom	Risers stacked for efficiency All electric appliances Clearances retained
Fire systems	Coordinated with spatial layouts
Rainwater tanks	Upstream or combined with OSD

► [Refer to Mid-rise pattern book technical guide > Services for details](#)

Waste

A consistent approach to waste management has been applied to the pattern to support practical and adaptable waste solutions across NSW. The approach has been derived from the NSW Environment Protection Authority (EPA) *Better practice guide for resource recovery in residential developments* and relevant legislation. It has also been informed by a review of 30 council waste guidelines, and spatial assessment of kerbside, wheel-in wheel-out (WIWO) and on-site collection options across all patterns.

Program objectives

- The pattern approach to waste management aims to:
- enable consistent, affordable and practical waste management solutions that can suit unknown future sites
 - align with the NSW EPA Better practice guide and relevant legislation
 - provide a clear planning pathway for waste collection and storage planning in the patterns that can be applied statewide to address variability in council requirements.

Assumptions

The waste design for patterns assumes that:

- Waste collection is council-managed (not private) and there is a weekly pick-up for all streams.
- Low-tech solutions and manual manoeuvring are allowed for as building managers may not be available to operate complex equipment.
- Allowance has been made for general, recycling and organic waste streams, as waste consolidation may be impractical for small-scale developments due to spatial and operational constraints. Bulky waste storage has also been provided.
- Basement waste collection has been limited, due to spatial constraints on small lot sites.
- Waste generation estimates and bin room sizing are designed to accommodate weekly and fortnightly collection.

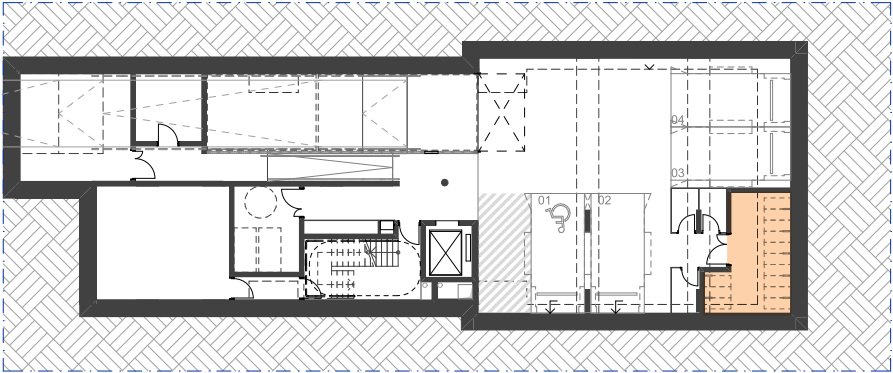
Collection method

- Kerbside: all streams weekly

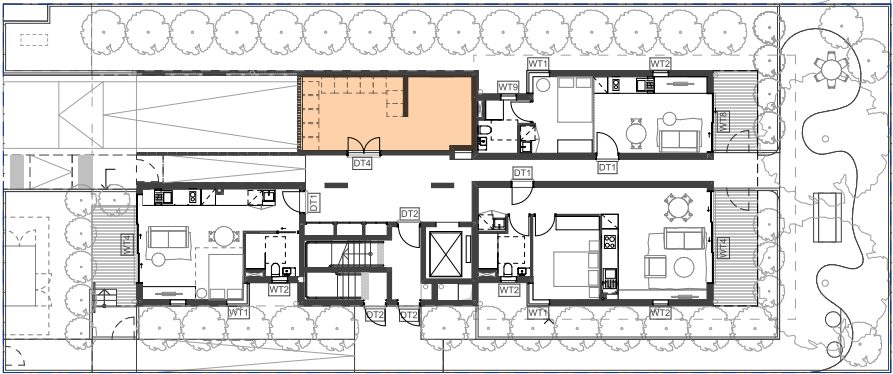
Seek advice

Refer to the NSW EPA Better practice guide early, with advice from a waste consultant as required.

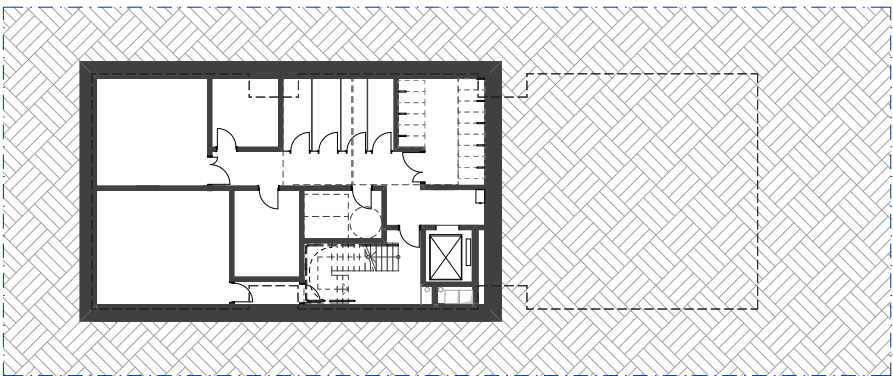
Basement



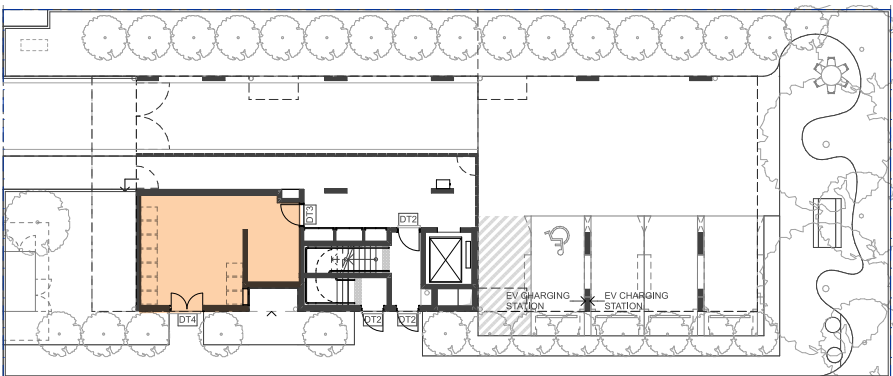
Ground floor – basement parking



Basement



Ground floor – on-grade parking



Metrics (assumptions)

Waste generation rates per unit	
Studio/1-bed	80 L general 80 L recycling 25L organics/week
2-bed	100 L general 100 L recycling 25L organics/week
3-bed	120 L general 120 L recycling 50L organics/week

Bulky waste

Up to 40 dwellings	10 m ²
Per 10 additional dwellings	+2 m ²

Problem/textile waste

Waste generation rates for the base pattern

Type 1 (11 units):	1,020 L general 1,020 L recycling 325 L organics/week
Nominal bin room sizing	24 m ²

Kerbside collection requirements

Weekly collection of all streams

Sizing for the base pattern

Maximum number of 240-L bins to be presented at kerbside every week	5
---	---

Parking and traffic

Approach

There are 2 options available for off-street parking in this pattern: a basement parking arrangement and an on-grade parking arrangement. Each option will result in a different yield and mix of apartments. The basement parking arrangement complies with Australian Standards. Basements can be replanned as required but must not alter other pattern requirements outlined in this document.

Objectives

- Ensure compliance with Australian Standards (AS2890 series).
- Provide spatial planning guidance for residential and service vehicle parking.
- Address site-specific constraints and public domain interfaces.
- Recommend technical solutions for restricted access scenarios.

Assumptions

- Site interfaces with public roads vary across NSW and influence design.
- Residential parking is primarily Class 1A.
- Heavy vehicle access must be forward in/forward out.
- Ramp designs assume a typical 3m level difference.
- Heavy vehicle parking is ideally placed on ground level, outside building structures.

Brief

- Mid-rise pattern book schemes vary in topography and planning context.
- Basement and at-grade parking variants are considered.
- Designs for residential off-street parking consider:
 - space dimensions
 - ramp grades
 - driveway access.
- Recommendations for heavy vehicle parking and service bay dimensions are shown.
- Technical solutions are provided for narrow or restricted access corridors.
- Emphasis on compliance and practical implementation across diverse site conditions.

Seek advice

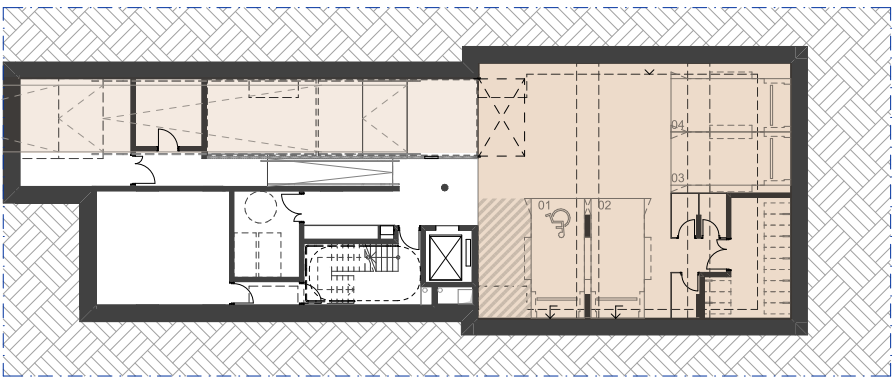
- Further design refinement should consider:
- updated AS2890.1 standards (pending renewal)
 - integration with public domain and pedestrian pathways
 - operational feasibility of vehicle priority systems.

These diagrams demonstrate pattern adaptations available for parking configurations.

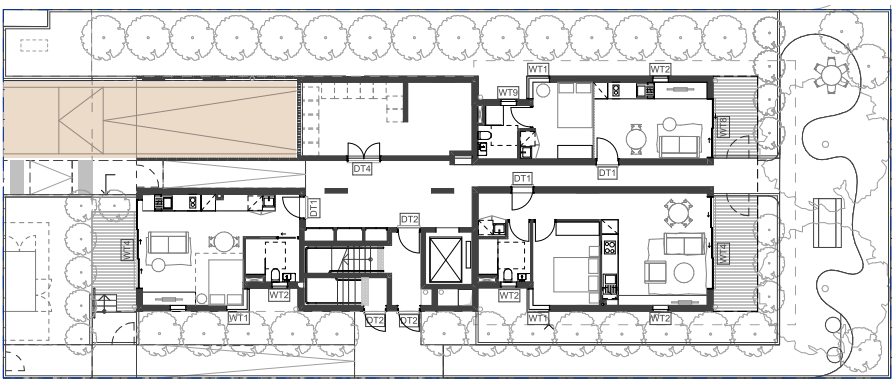
Analyse the diagrams and user requirements to find the most suitable adaptations for your development.

► Refer to A210, A311 and A-350 series for ground floor and basemen plans and sections

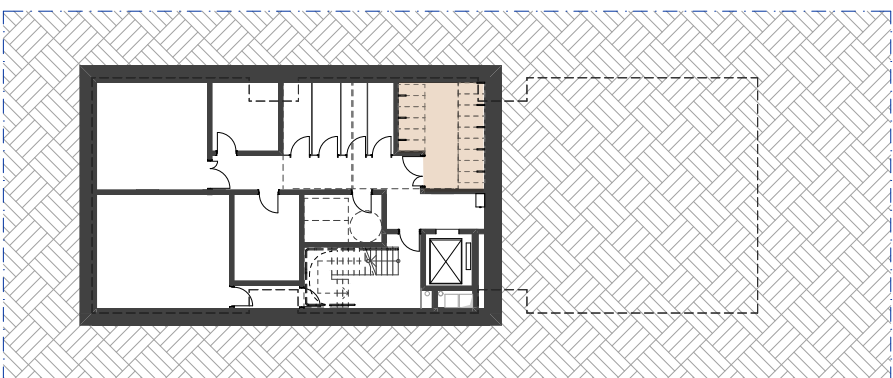
Basement parking



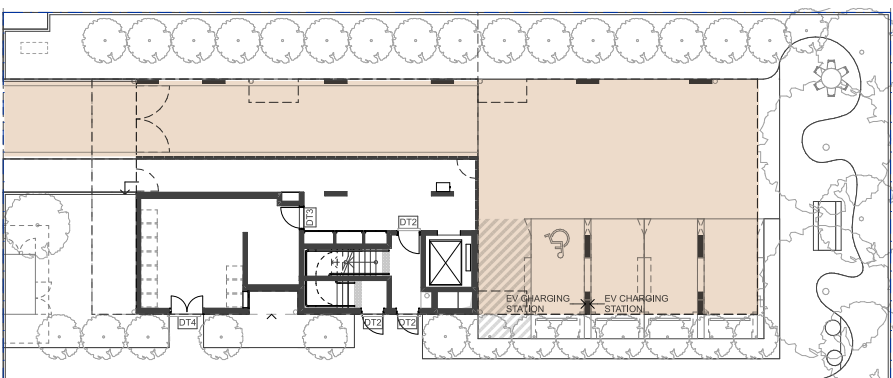
Ground floor – basement parking



Basement



Ground floor – on-grade parking



● Parking

Metrics (assumptions)	
Residential parking dimensions	90° angled: 5.4 m x 2.4 m (aisle: 5.8 m or 6.1 m with obstruction)
Parallel	2.1 m width (2.4 m with obstruction), 5.9–6.3 m length
Ramp grades	2 m @ 12.5%, 11 m @ 25%, 2 m @ 12.5%
Driveway access	6 m section at 1:20 slope for waiting and pedestrian access
Access ramps accomodated by designs	Single-width
Vehicle priority systems recommended for safe access	Small sites: traffic lights and convex mirror

SMALL LOT APARTMENTS 01

by Collins and Turner



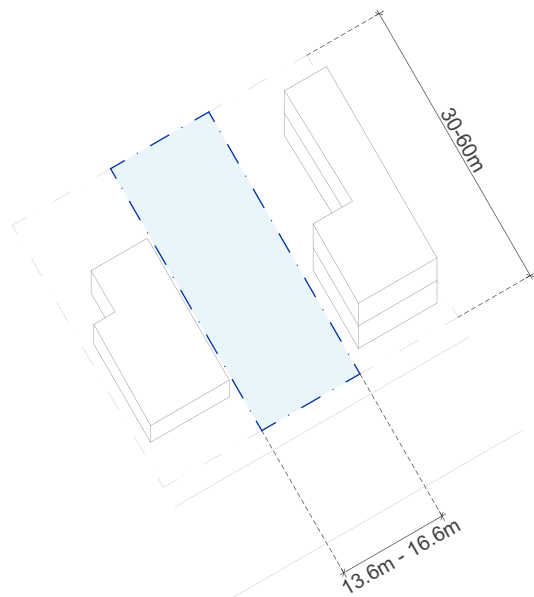
Drawing list

DRAWING NO.	DRAWING TITLE	SCALE	REV
A-100 Project information			
A-100-1	Cover Page		01
A-100-2	Drawing List		01
A-200 Pattern adaptations			
A-200-1	Pattern principles-Key design principles	NTS	01
A-200-2	Pattern principles-Key design principles	NTS	01
A-201	Key adaptation principles	NTS	01
A-202	Pattern adaptations-Base pattern	NTS	01
A-203	Pattern adaptations-Base pattern parking and storey variants	NTS	01
A-204	Pattern adaptations-1.5 m and 3 m setback variants	1:400 @ A3	01
A-205	Pattern adaptations-1.5 m and 3 m setback variants	1:400 @ A3	01
A-206	Pattern adaptations-1.5 m and 3 m setback variants	1:400 @ A3	01
A-207	Pattern adaptations-1.5 m , 3 m setback apartment mix	1:400 @ A3	01
A-208	Pattern key adaptations-0 m setback parking variants	1:400 @ A3	01
A-209	Pattern adaptations-0 m setback lot size variants	1:400 @ A3	01
A-210	Pattern adaptations-0 m setback lot size variants	1:400 @ A3	01
A-211	Pattern adaptations · 0 m setback apartment mix	1:400 @ A3	01
A-212	Pattern adaptations Siting and orientation	NTS	01
A-213	Pattern adaptations-Solar orientation guidance	NTS	01
A-214	Pattern adaptations-Slope adaptation guidance	NTS	01
A-310 Basement			
A-310-1	Basement Plan (Basement parking arrangement)	1:200	01
A-310-2	Basement Plan (On-grade parking arrangement)	1:200	01
A-310 Plans			
A-311-1	Ground Floor / Site Plan (Basement parking arrangement)	1:200	01
A-311-2	Ground Floor / Site Plan (On-grade parking arrangement)	1:200	01
A-312-1	First Floor Plan	1:200	01
A-313-1	Second Floor Plan	1:200	01
A-314-1	Third Floor Plan	1:200	01
A-317-1	Roof Plan (Roof garden)	1:200	01
A-317-2	Roof Plan	1:200	01

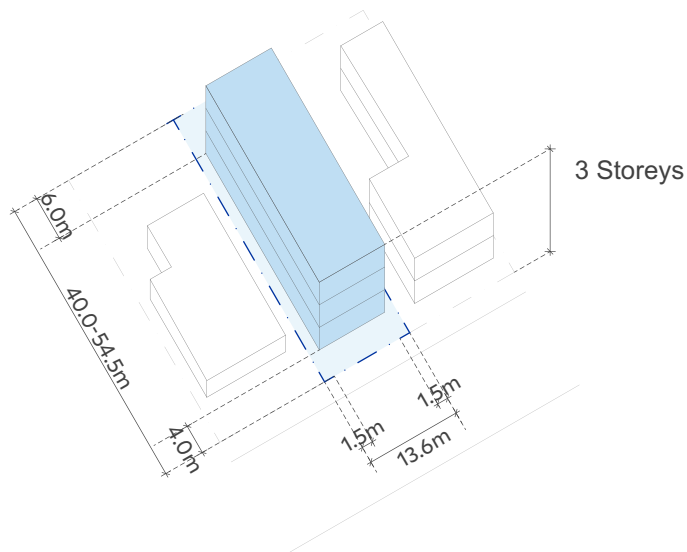
DRAWING NO.	DRAWING TITLE	SCALE	REV
A-350 Sections			
A-350-1	Section A (Basement parking arrangement)	1:200	01
A-350-2	Section B (Basement parking arrangement)	1:200	01
A-350-3	Section C (Basement parking arrangement)	1:200	01
A-351-1	Section A (On-grade parking arrangement)	1:200	01
A-351-2	Section B (On-grade parking arrangement)	1:200	01
A-351-3	Section C (On-grade parking arrangement)	1:200	01
A-360 Elevations			
A-360-1	N / W Orientation (Basement parking arrangement)	1:200	01
A-360-2	S / E Orientation (Basement parking arrangement)	1:200	01
A-361-1	N / W Orientation (On-grade parking arrangement)	1:200	01
A-361-2	S / E Orientation (On-grade parking arrangement)	1:200	01
A-363-1	N / W Orientation (0 m setback arrangement)	1:200	01
A-363-2	S / E Orientation (0 m setback arrangement)	1:200	01
A-370 Apartment plans			
A-370-1 to A-370-4	Apartment Detail Plans	1:100	01
A-370-5 to A-370-7	Apartment Detail Plans-0 m setback adaptation	1:100	01
A-380 Material palettes			
A-380-1	Material Palettes-Overview	NTS	01
A-390 3D illustrations			
A-390-1	3D Visualisation 01-Coastal Character Light	NTS	01
A-390-2	3D Visualisation 02-Coastal Character Light	NTS	01
A-390-3	3D Visualisation 03-Coastal Character Mid	NTS	01
A-390-4	3D Visualisation 04-Coastal Character Mid	NTS	01
A-390-5	3D Visualisation 05-Coastal Character Dark	NTS	01
A-390-6	3D Visualisation 06-Coastal Character Dark	NTS	01
A-390-7	3D Visualisation 07-Heritage Character Light	NTS	01
A-390-8	3D Visualisation 08-Heritage Character Light	NTS	01
A-390-9	3D Visualisation 09-Heritage Character Mid	NTS	01
A-390-10	3D Visualisation 10-Heritage Character Mid	NTS	
A-390-11	3D Visualisation 11-Heritage Character Dark	NTS	
A-390-12	3D Visualisation 12-Heritage Character Dark	NTS	01
A-390-13	3D Visualisation -0 m setback adaptation	NTS	01
A-390-14	3D Visualisation -0 m setback adaptation	NTS	01
A-390-15	3D Visualisation -Common Area Illustration	NTS	01
A-390-16	3D Visualisation -Interior Illustration	NTS	01
A-391-1	Axonometric view -Coastal Character	NTS	01
A-391-2	Axonometric view -Heritage Character	NTS	01

DRAWING NO.	DRAWING TITLE	SCALE	REV
A-400 Structural and services diagram			
A-400-1	Services diagrams (Basement parking arrangement)	1:200	01
A-400-2	Services diagrams (On-grade parking arrangement)	1:200	01
A-401-1	Structural diagrams (Basement parking arrangement)	1:200	01
A-401-2	Structural diagrams (On-grade parking arrangement)	1:200	01
A-410 Building elements			
A-410-1	Window Schedule	1:50	01
A-410-2	Door Schedule	1:50	01
A-420 Character details			
A-420-1	Details-Key facade	1:20	01
A-420-2	Details-Key facade section	1:20	01
A-420-3	Details-Character Details	1:20	01
A-420-4	Details-Key Detail	1:20	01
A-430 Area calculations			
A-430-1	Area Calculations-GFA	1:500	01
A-430-2	Area Calculations-NSA	1:500	01
A-430-3	Area Calculations-GBA	1:500	01
A-430-5	Area Calculations-Landscape, deep soil, communal area	1:500	01
A-431-1	Area Calculations-GFA 0 m setback	1:500	01
A-431-2	Area Calculations-NSA 0 m setback	1:500	01
A-431-3	Area Calculations-GBA 0 m setback	1:500	01
A-431-5	Area Calculations-Landscape area 0 m setback	1:500	01
Supplementary drawings			
A-440-1	Solar access 8 am -4 pm	NTS	01
A-440-2	Solar access 8 am -4 pm	NTS	01
A-441-1	Cross ventilation	NTS	01
A-442-1	Wet area drawings-bathrooms	NTS	01
A-442-2	Wet area drawings-kitchens	1:50	01
A-443-1	Wall types	NTS	01
A-443-2	Wall types	NTS	01

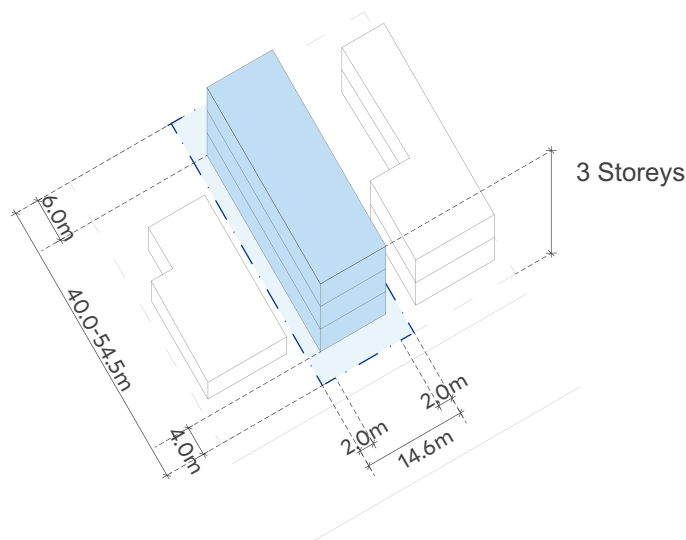
Adaptations



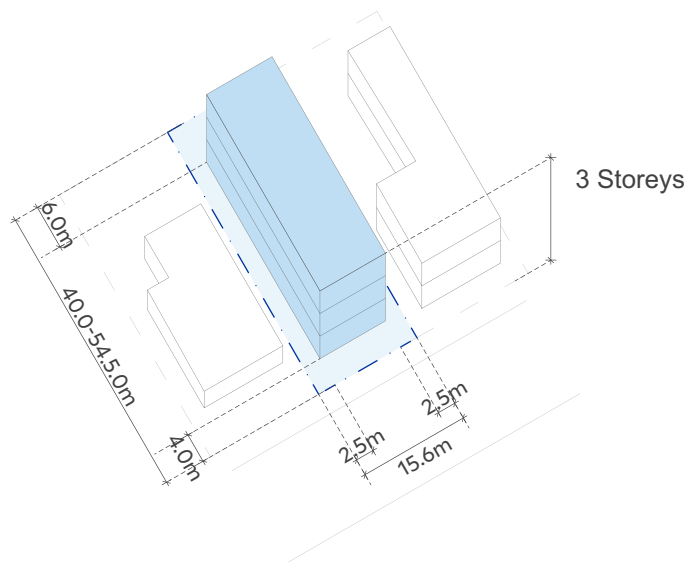
01 | Site Type



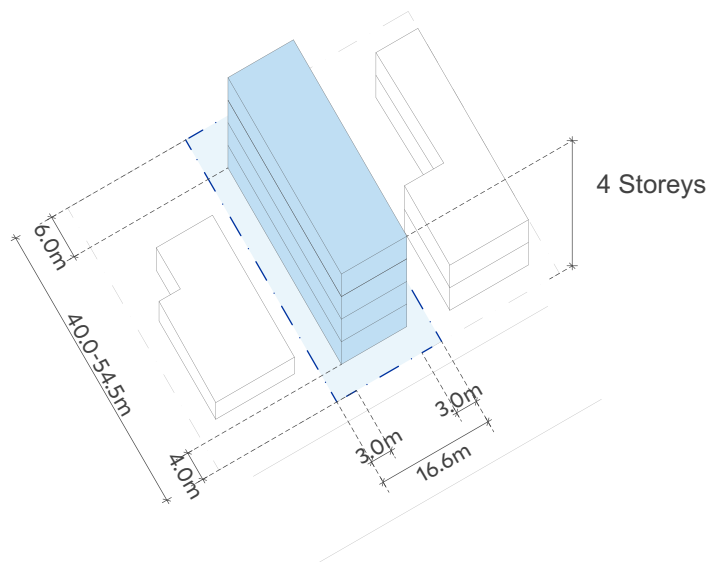
02 | Minimum lot width 13.6m - side setback 1.5m



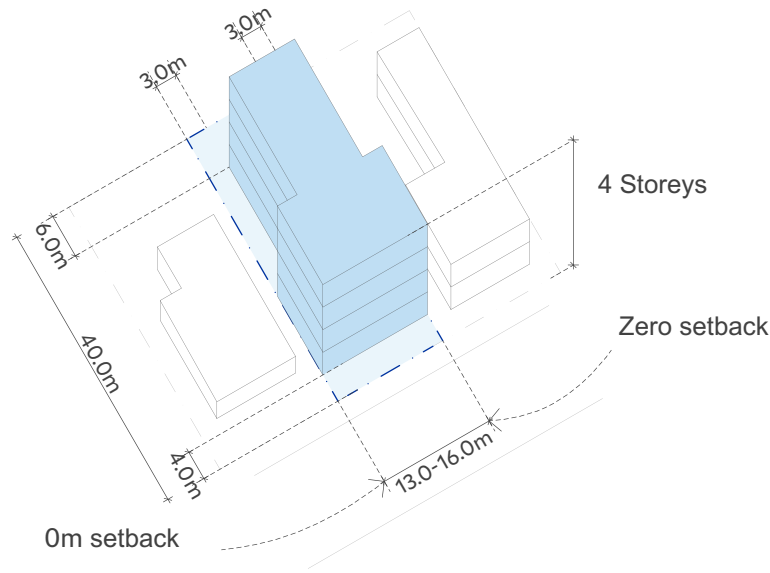
03 | From lot width 14.6m - side setback 2.0m



04 | From lot width 15.6m - side setback 2.5m



05 | From lot width 16.6m - side setback 3.0m



06 | Lot width 13.0m - 16.0m - side setback 0m

Lot Sizes

The suitability of a lot for apartment development depends on its width, the required side setbacks, and the resulting building height in storeys. These factors are directly linked, with wider lots allowing greater setbacks and higher building forms.

Lot width and side setback requirements:
Minimum lot width 13.6m → side setback 1.5m

From 14.6m lot width → side setback increases to 2.0m

From 15.6m lot width → side setback increases to 2.5m

From 16.6m lot width → side setback increases to 3.0m

Building height relationship:
Lots between 13.6 m and 16.5 m wide → suitable for 3-storey apartment buildings

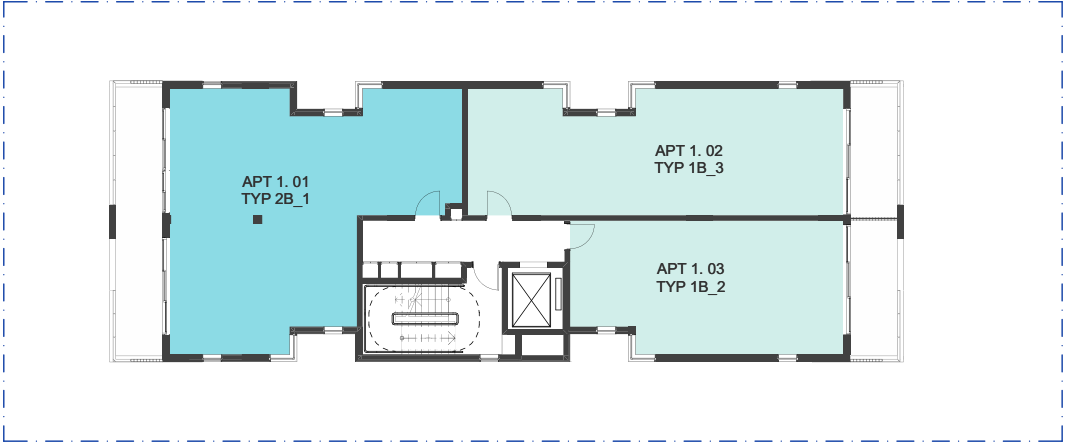
Lots 16.6 m and wider → suitable for 4-storey apartment buildings

0m side setback variant

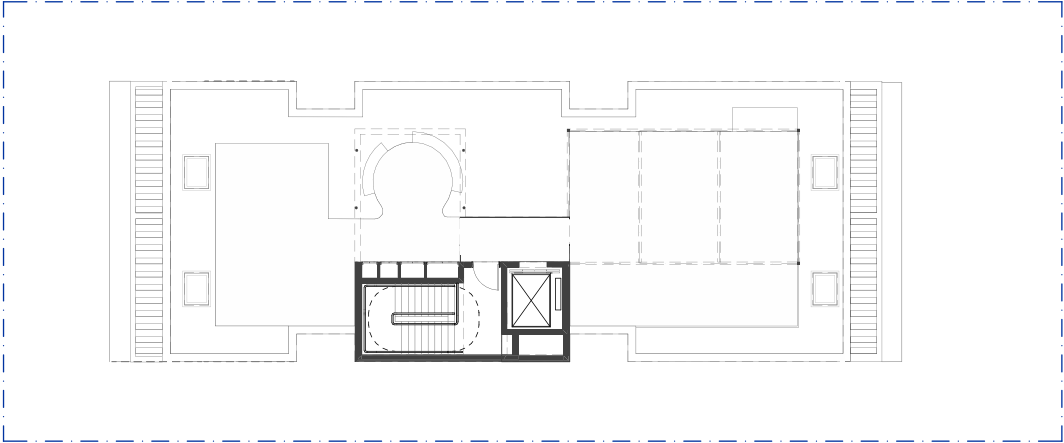
For some sites, the building can be built right on the boundary with a 0m side setback. This applies where the lot width is between 13.0m and 16.0m.

Note: Indicative neighbouring context shown in diagrams.

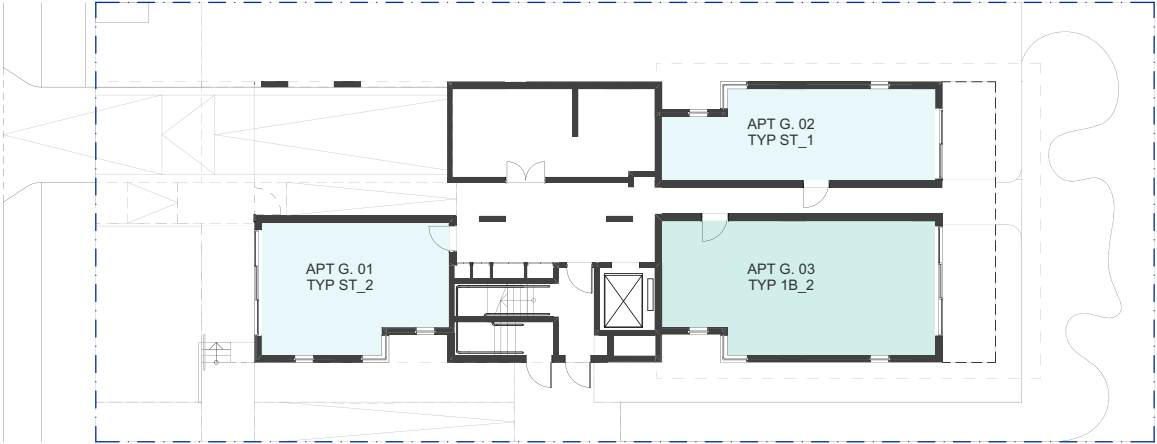
Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue



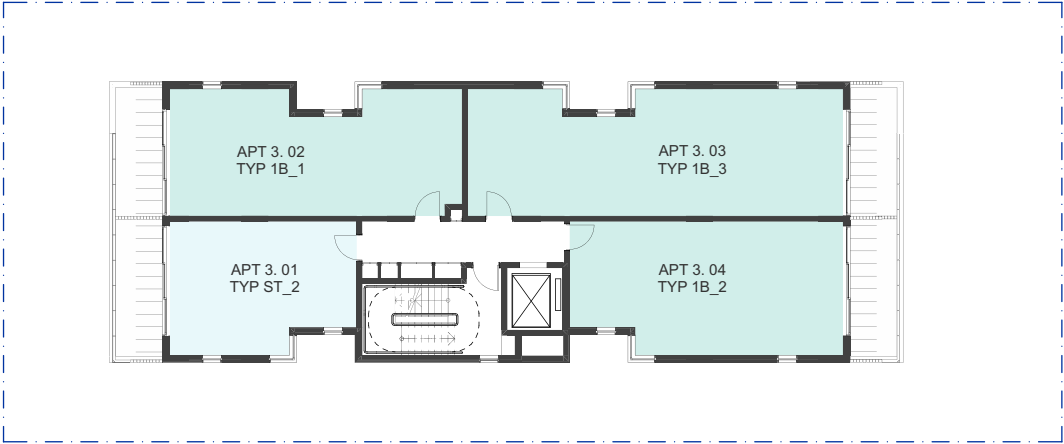
FIRST FLOOR PLAN



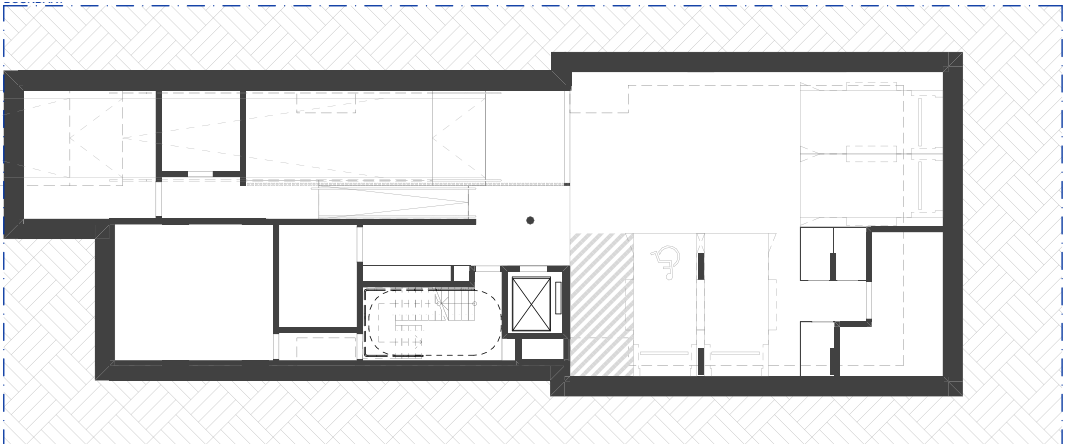
ROOF PLAN



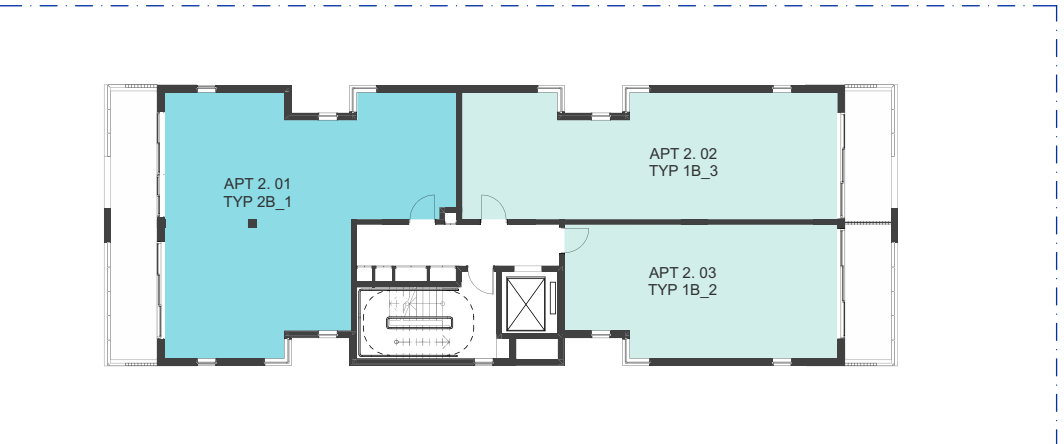
GROUND FLOOR



THIRD FLOOR PLAN



BASEMENT PLAN



SECOND FLOOR PLAN

Base Pattern

STREET FRONTAGE

40m

16.6m

4m

6m

3m

3m

Site Dimensions & Setbacks:

Width: 16.60m

Depth: 40m

Side setbacks: 3m

Front setback: 4m

Rear setback: 6m

Height:

Control:18m

Floor to floor: 3.25

Number of storeys: 4

Parking:

Basement parking provides 4 car spaces (including 1 accessible) and 2 electric vehicle charging stations.

Basement also accommodates building services and Bicycle storage 13 spaces.

Unit mix

Ground Floor:

2 Studio

1 1-Bed

First Floor:

2 1-Bed

1 2-Bed

Second Floor:

2 1-Bed

1 2-Bed

Third Floor:

1 Studio

3 1-Bed

Roof:

Roof garden

Total apartments: 13

Silver standard: All apartments

Gold standard: 4

Adaptable apartments (AS4299 compliant): 2

STUDIO APARTMENT

1 BEDROOM APARTMENT

2 BEDROOM APARTMENT

NSW HOUSING
PATTERN BOOK

GOVERNMENT
ARCHITECT
NEW SOUTH WALES

NSW
GOVERNMENT

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Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

COLLINS
AND
TURNER

Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

Drawing No.	A-202
Name	Pattern Adaptations - Base Pattern
Scale	NTS @ A3

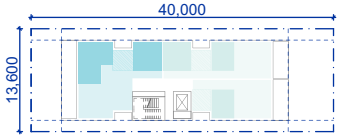
PARKING	LOCATION		BASEMENT (PREFERRED)		ON-GRADE	
	CAR	BICYCLE				
STOREYS UNIT MIX			4	3	4	3
			13	3	15	1
			4	6	4	5
			3	1	7	1
UNIT MIX			8	10	2	7
			2		10	
TOTAL			13			
FLOOR PLANS	BASEMENT					
	GROUND FLOOR					
	LEVEL 1					
	LEVEL 2					
	LEVEL 3					
	ROOF					

Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

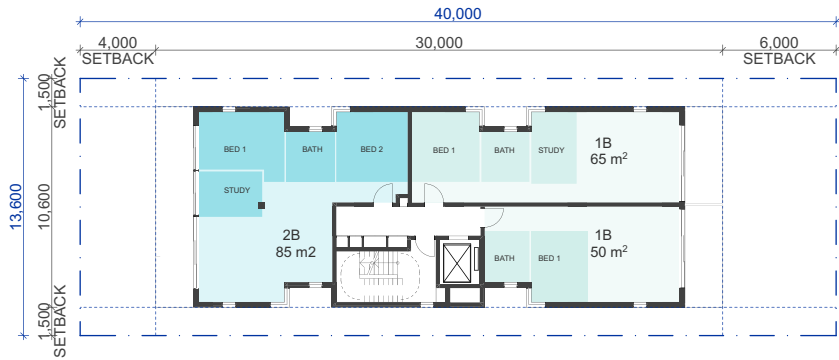
PATTERN ADAPTABILITY - MINIMUM 1.5m AND 3.0m SIDE SETBACK
40m LONG SITE

13.6m WIDE SITE
SITE AREA - 544 m²

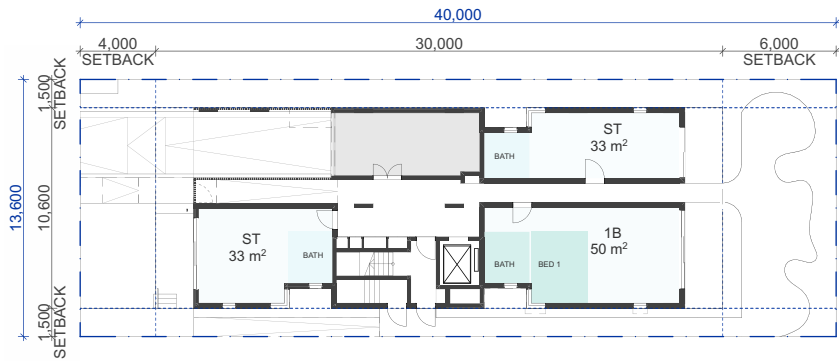
GFA	598m²
FSR	1.09:1
PARKING	3 Regular
	1 Adaptable
STOREYS	13
	3
APARTMENTS	10 Units



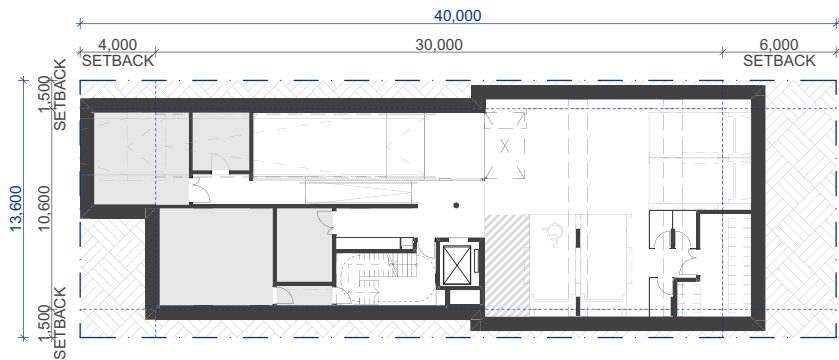
Typical Level



Ground

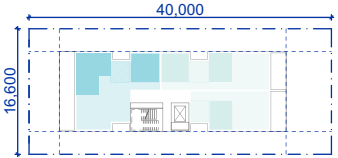


Basement

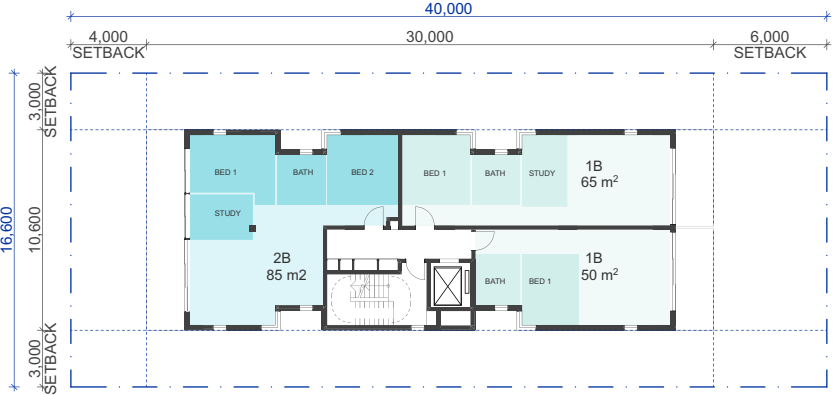


16.6m WIDE SITE
SITE AREA - 664 m²

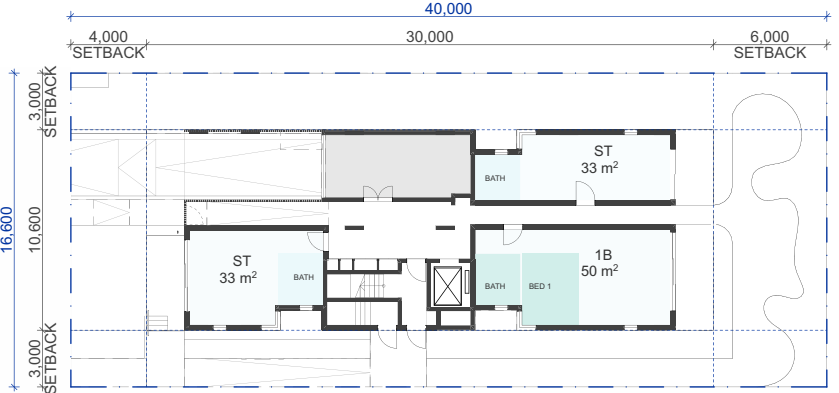
GFA	815m²
FSR	1.2:1
PARKING	3 Regular
	1 Adaptable
STOREYS	13
	4
APARTMENTS	13 Units



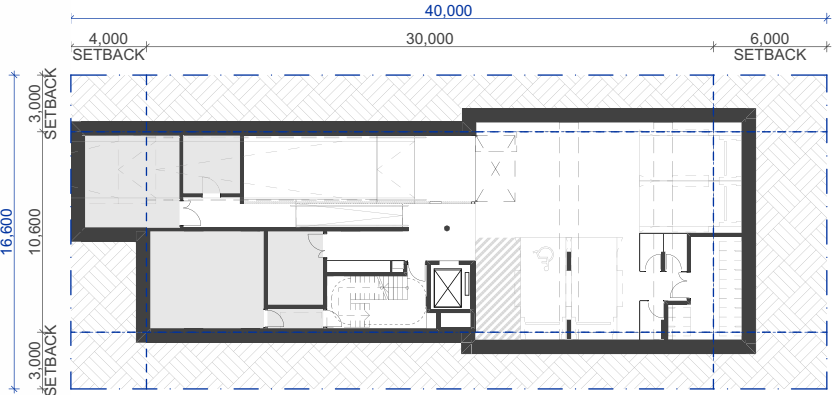
Typical Level



Ground



Basement



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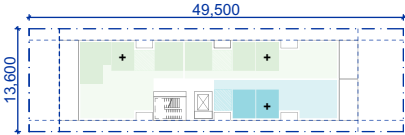
Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

Drawing No.	A-204
Name	Pattern Adaptations - 1.5m and 3.0m setback variants
Scale	1:400 @ A3 1:200 @ A1

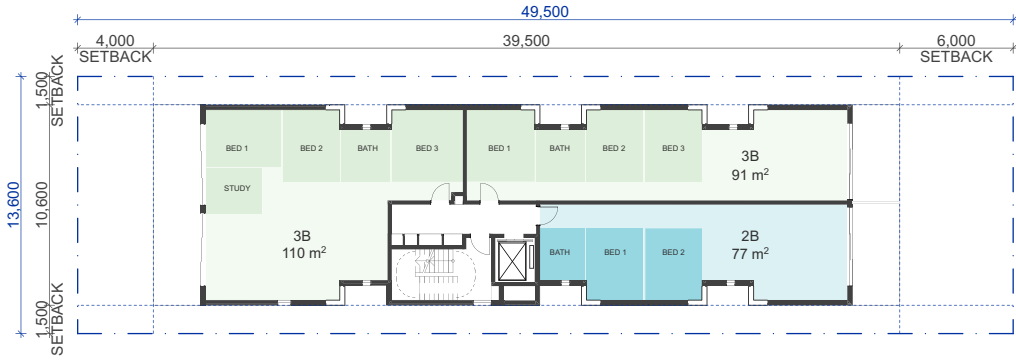
PATTERN ADAPTABILITY - MINIMUM 1.5m AND 3m SIDE SETBACK
49.5m LONG SITE

13.6m WIDE SITE
SITE AREA - 673.2 m²

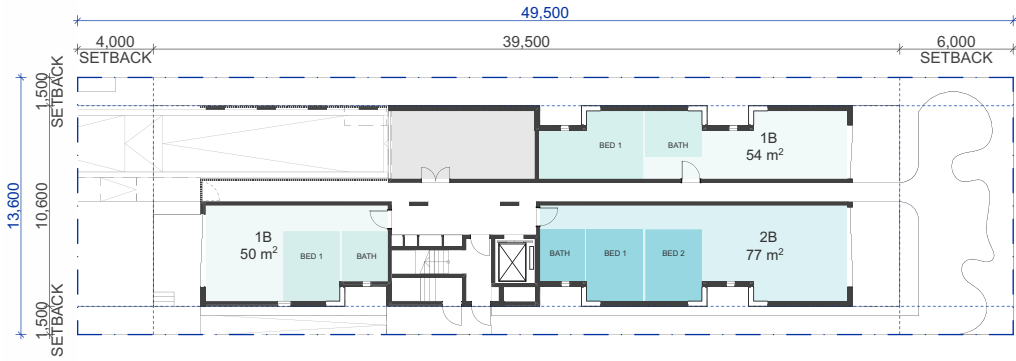
GFA		861m ²
FSR		1.3:1
PARKING	CAR	5 Regular
	BICYCLE	1 Adaptable
STOREYS		14
APARTMENTS		3
		10 Units



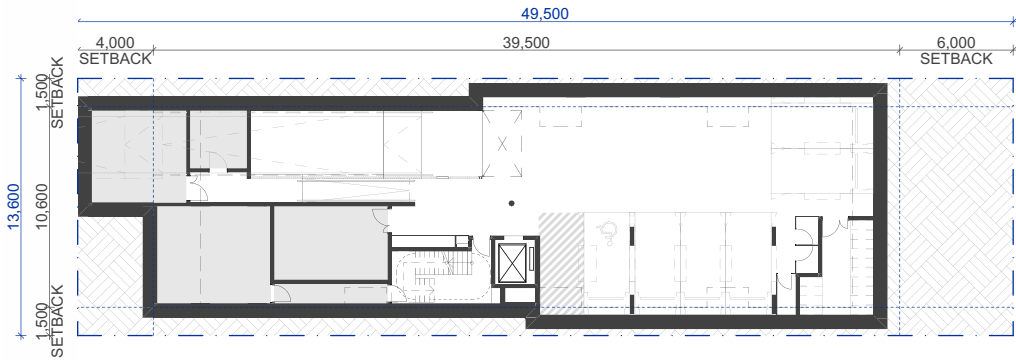
Typical Level



Ground

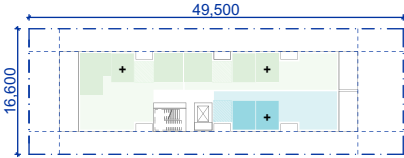


Basement

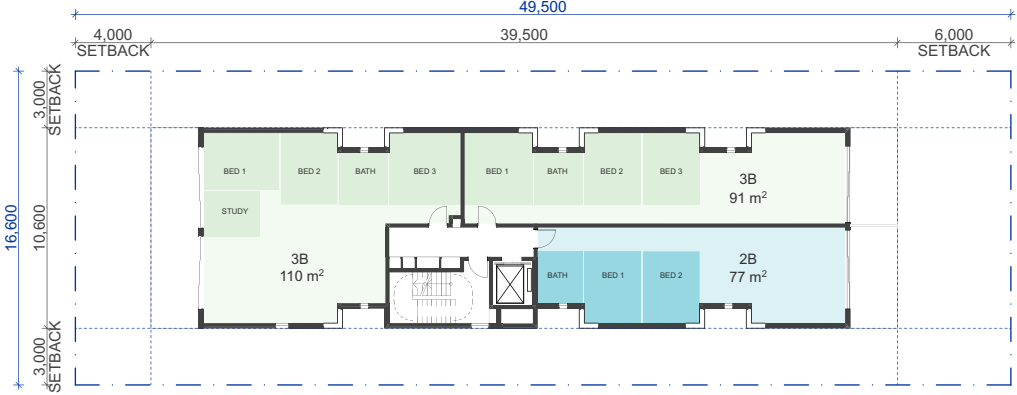


16.6m WIDE SITE
SITE AREA - 821.7 m²

GFA		1157m ²
FSR		1.4:1
PARKING	CAR	5 Regular
	BICYCLE	1 Adaptable
STOREYS		14
APARTMENTS		4
		13 Units



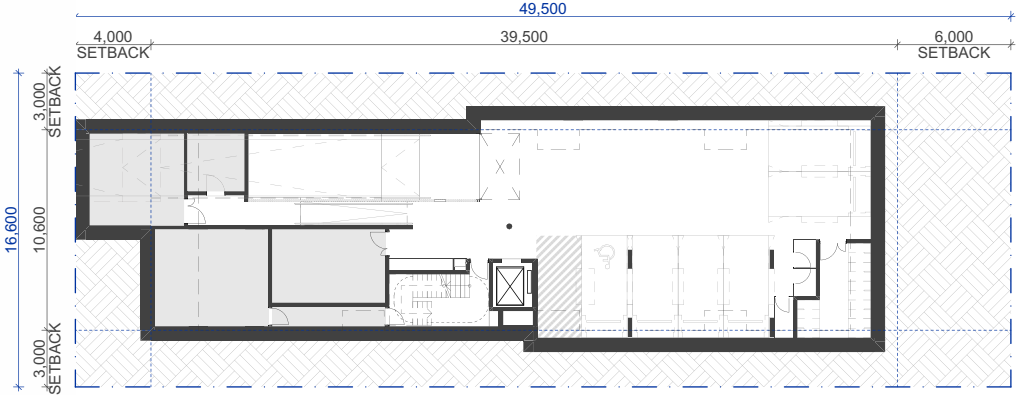
Typical Level



Ground



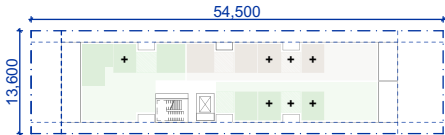
Basement



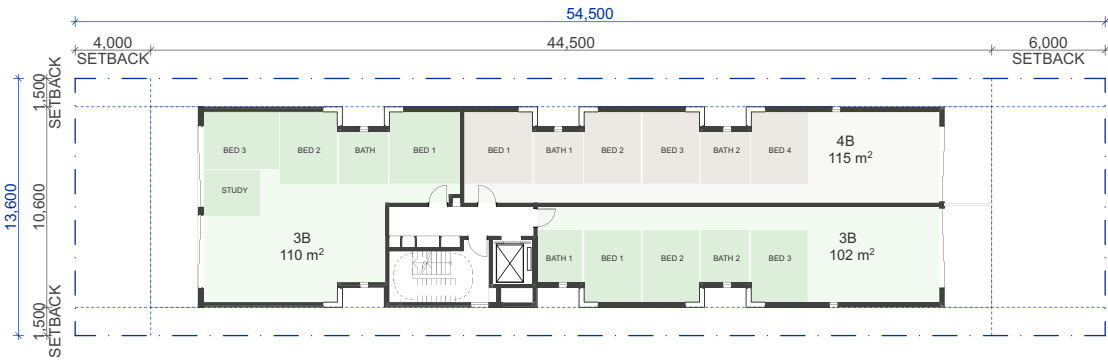
PATTERN ADAPTABILITY - MINIMUM 1.5m AND 3m SIDE SETBACK
54.5m LONG SITE

13.6m WIDE SITE
SITE AREA - 741.2 m²

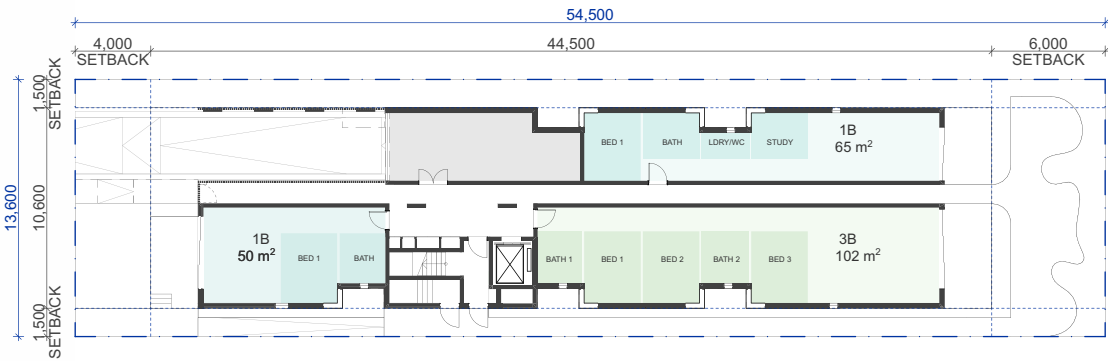
GFA		1011m ²
FSR		1.36:1
PARKING	CAR	7 Regular
	BICYCLE	1 Adaptable
STOREYS		14
APARTMENTS		3
		10 Units



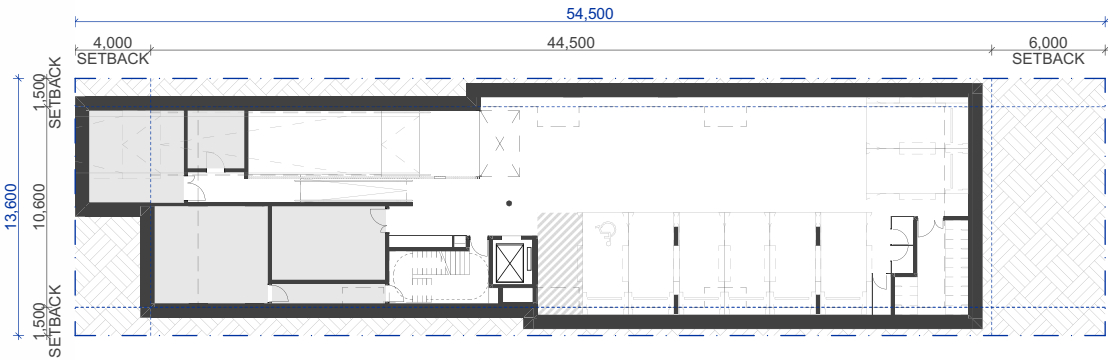
Typical Level



Ground

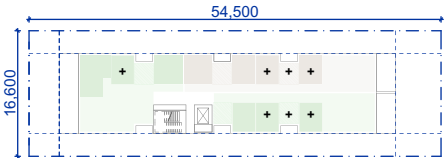


Basement

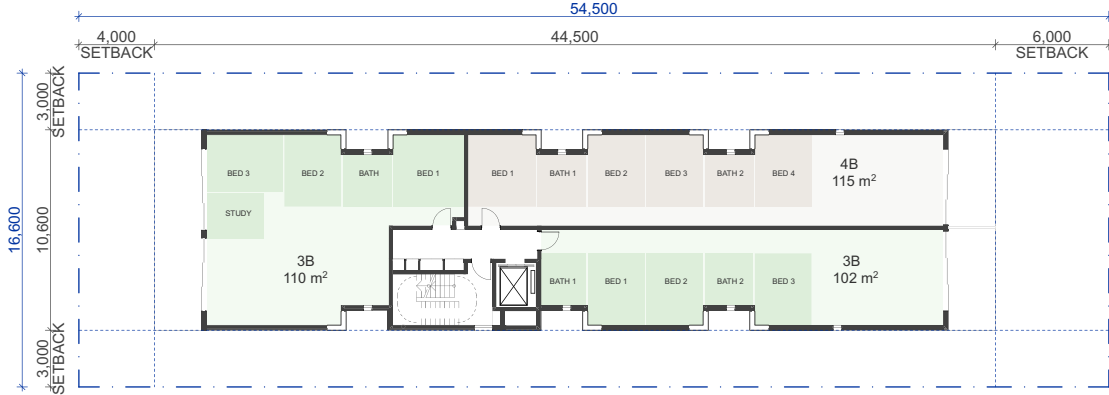


16.6m WIDE SITE
SITE AREA - 904.7 m²

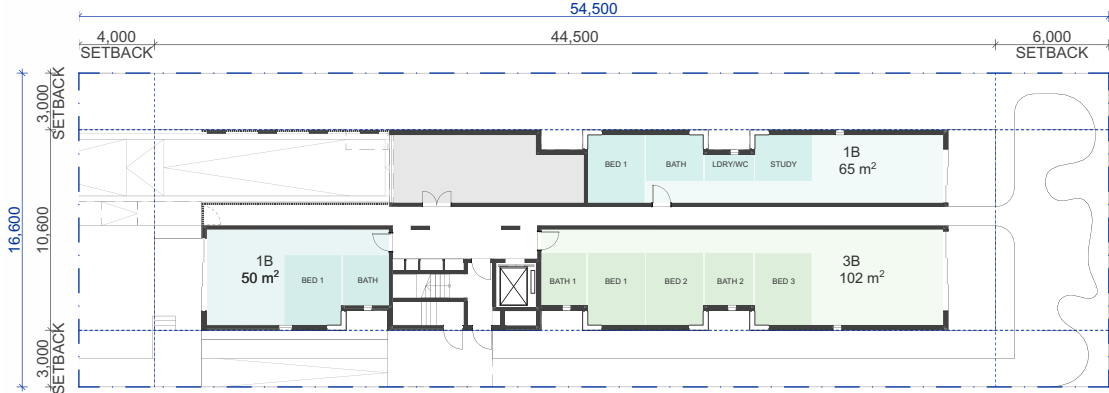
GFA		1350m ²
FSR		1.49:1
PARKING	CAR	7 Regular
	BICYCLE	1 Adaptable
STOREYS		14
APARTMENTS		4
		13 Units



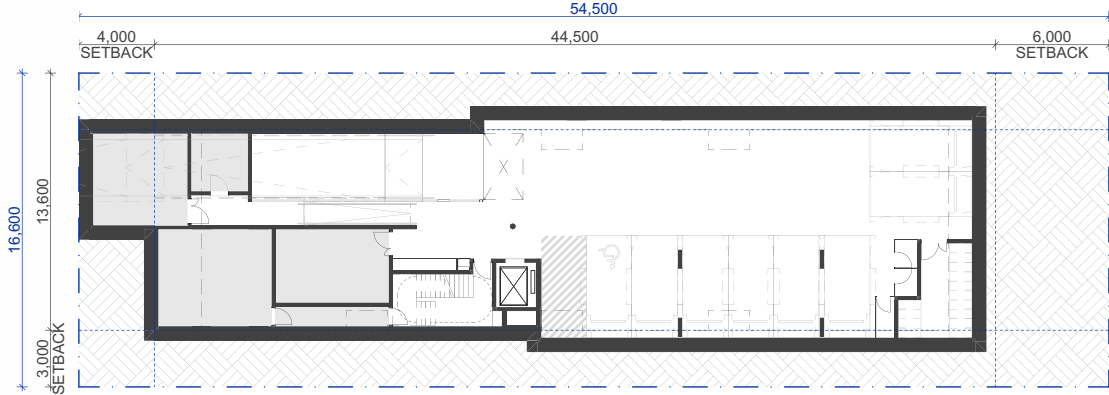
Typical Level



Ground

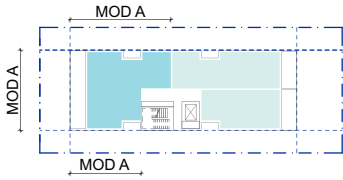


Basement



Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

MODULE A



40M LONG SITE

Typical floor (1 Unit)



49.5M - 54.5M LONG SITE

Typical floor (1 Unit)



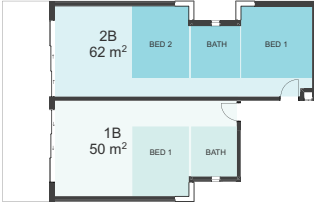
40M LONG SITE

Upper floor (2 Units)



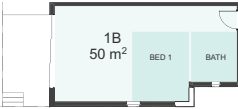
49.5M - 54.5M LONG SITE

Upper floor (2 Units)

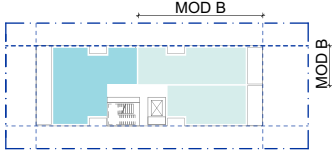


49.5M - 54.5M LONG SITE

Ground floor

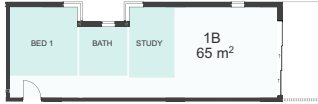


MODULE B



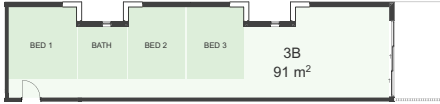
40M LONG SITE

Typical floor



49.5M LONG SITE

Typical floor



54.5M LONG SITE

Typical floor



40M LONG SITE

Ground floor



49.5M LONG SITE

Ground floor

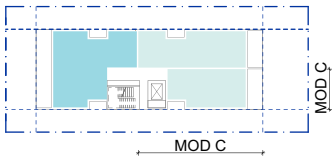


54.5M LONG SITE

Ground floor



MODULE C



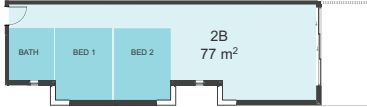
40M LONG SITE

Typical floor



49.5M - 54.5M LONG SITE

Typical floor



54.5M LONG SITE

Typical floor



PATTERN ADAPTABILITY - MINIMUM 0m SIDE SETBACK 13m X 40m SITE				
PARKING	LOCATION	BASEMENT (PREFERRED)		ON-GRADE
	CAR	4		4
	BICYCLE	14		16
STOREYS		4		4
UNIT MIX	ST			
	1B	7		6
	2B	3		3
	TOTAL	10		9
FLOOR PLANS	Typical Level			
	Ground			
	Basement			

Rev	Date	Description
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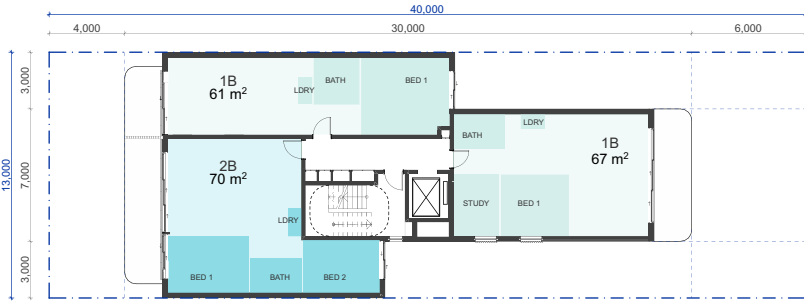
PATTERN ADAPTIBILITY - MINIMUM 0m SIDE SETBACK
40m LONG SITE

13.0m WIDE SITE
SITE AREA - 520 m²

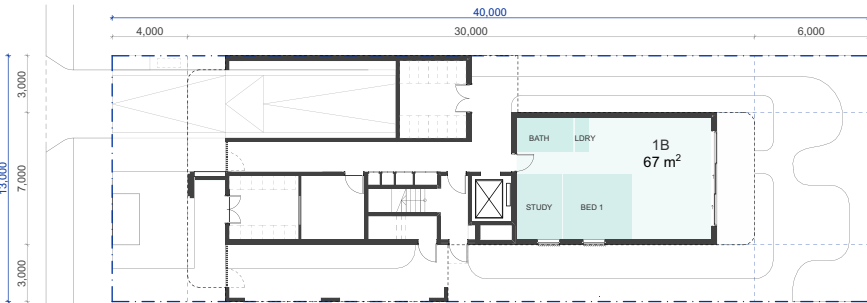
GFA	715m ²
FSR	1.37:1
PARKING	3 Regular
	1 Adaptable
	14
STOREYS	4
APARTMENTS	10 Units



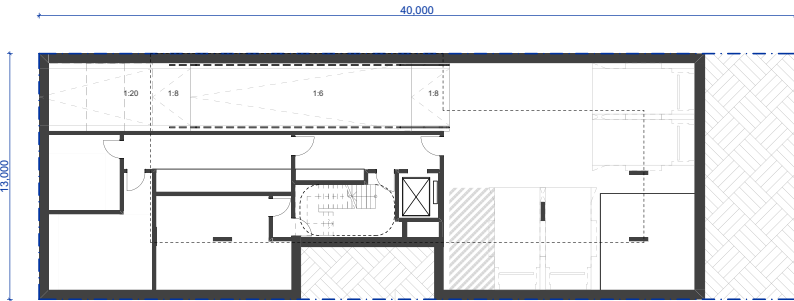
Typical Level



Ground

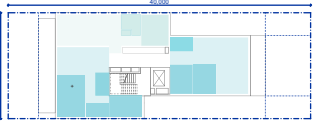


Basement

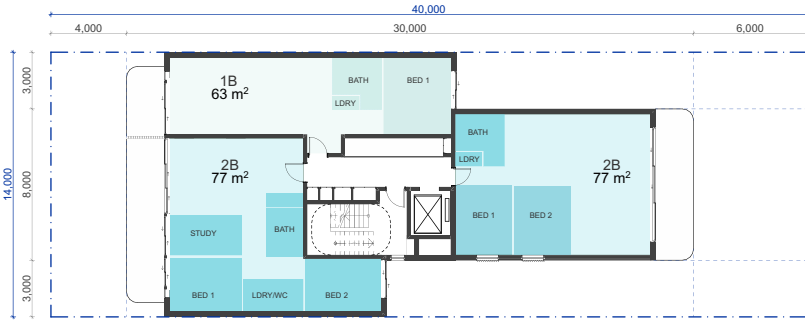


14.0m WIDE SITE
SITE AREA - 560 m²

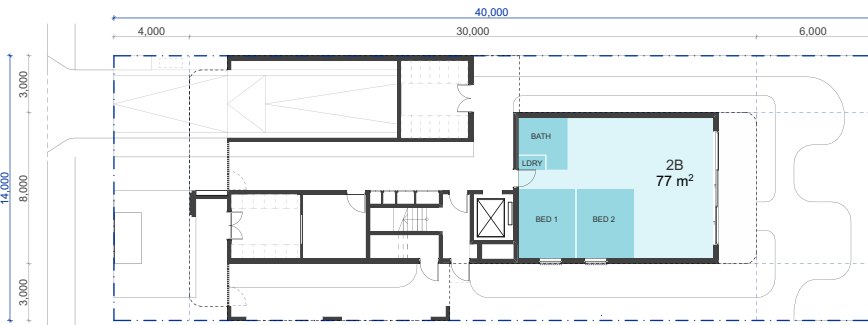
GFA	812m ²
FSR	1.45:1
PARKING	3 Regular
	1 Adaptable
	14
STOREYS	4
APARTMENTS	10 Units



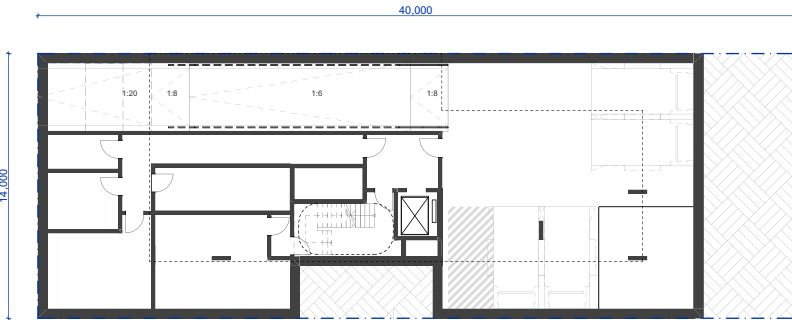
Typical Level



Ground



Basement



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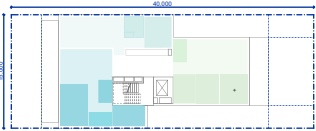
Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

Drawing No.	A-209
Name	Pattern Adaptations - 0m setback lot size variants
Scale	1:400 @ A3 1:200 @ A1

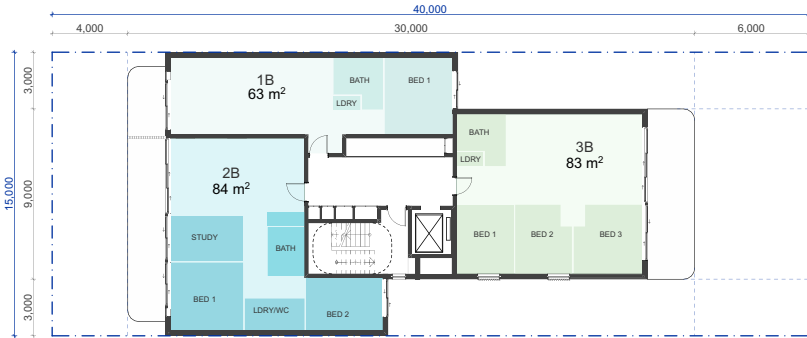
PATTERN ADAPTABILITY - MINIMUM 0m SIDE SETBACK
40m LONG SITE

15.0m WIDE SITE
SITE AREA - 600 m²

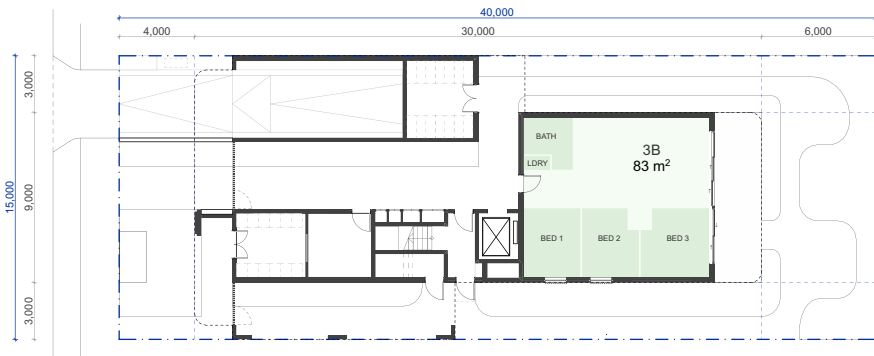
GFA	895m ²
FSR	1.49:1
PARKING	4 Regular
	1 Adaptable
	14
STOREYS	4
APARTMENTS	10 Units



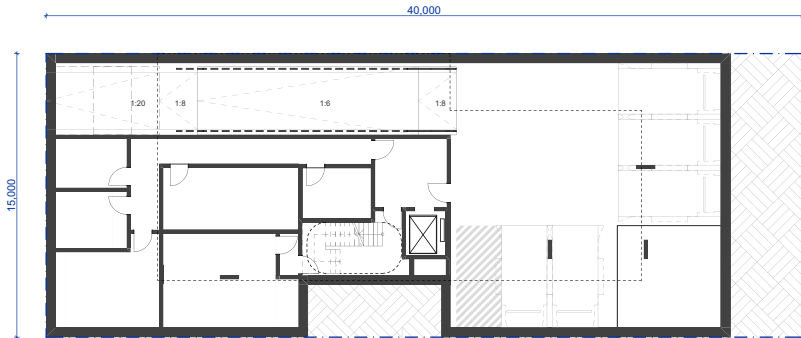
Typical Level



Ground



Basement

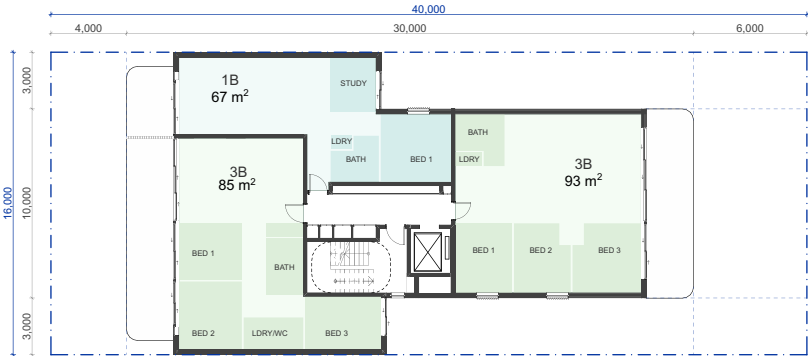


16.0m WIDE SITE
SITE AREA - 640 m²

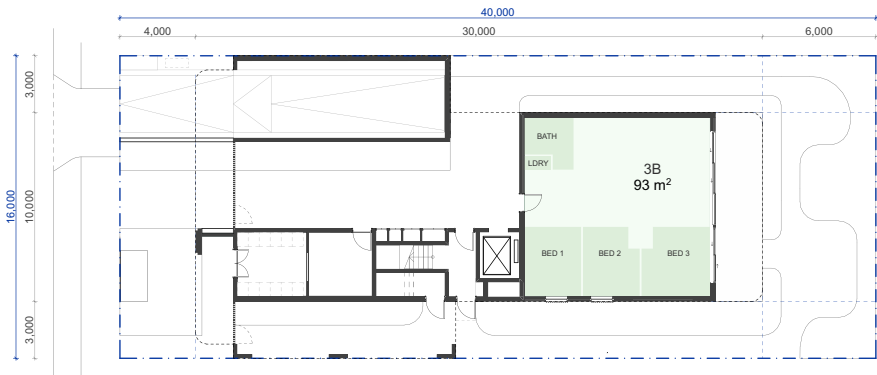
GFA	929m ²
FSR	1.45:1
PARKING	4 Regular
	1 Adaptable
	14
STOREYS	4
APARTMENTS	10 Units



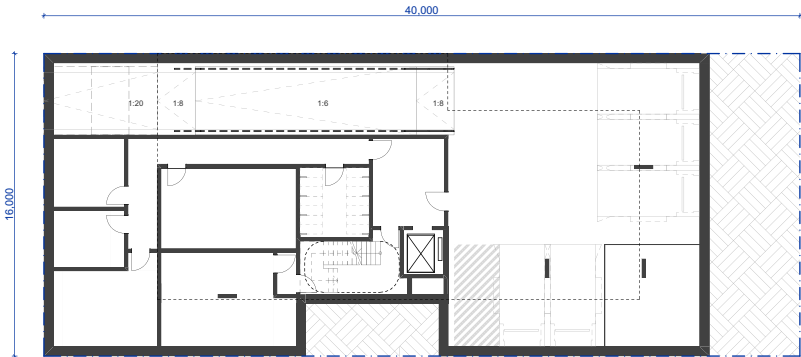
Typical Level



Ground



Basement



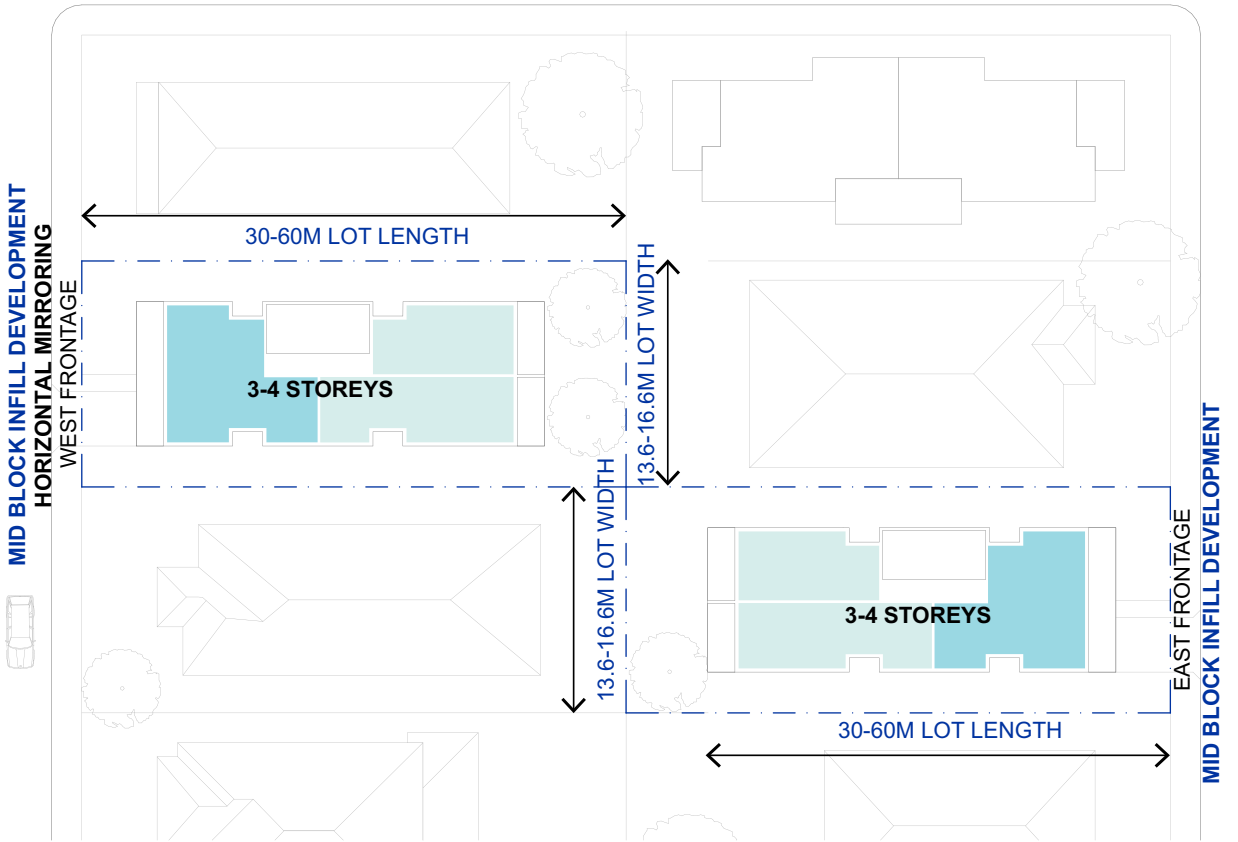
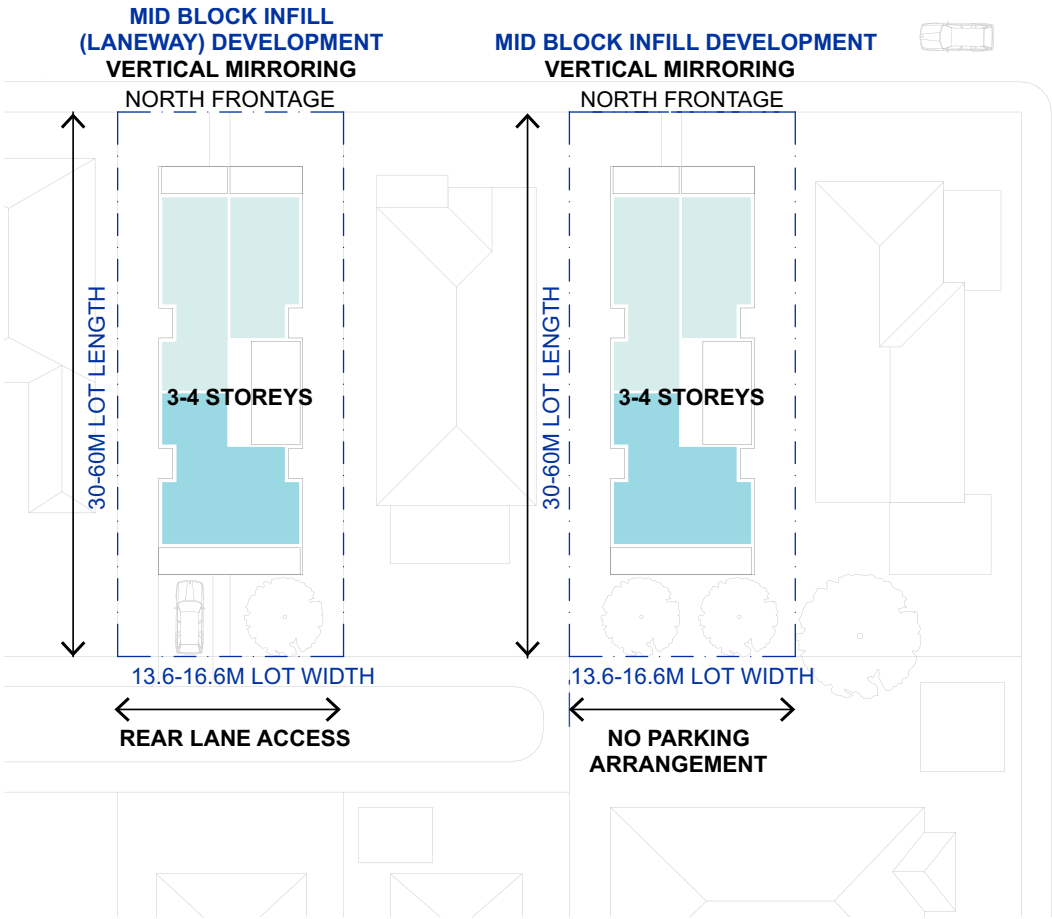
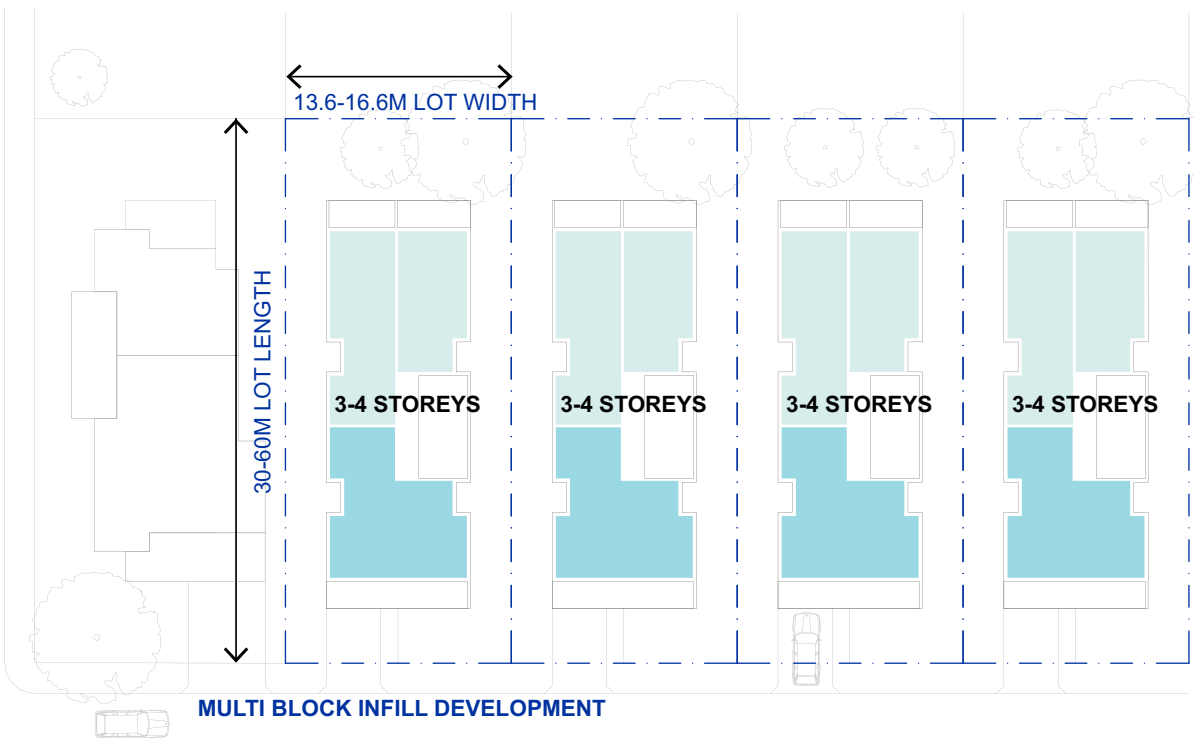
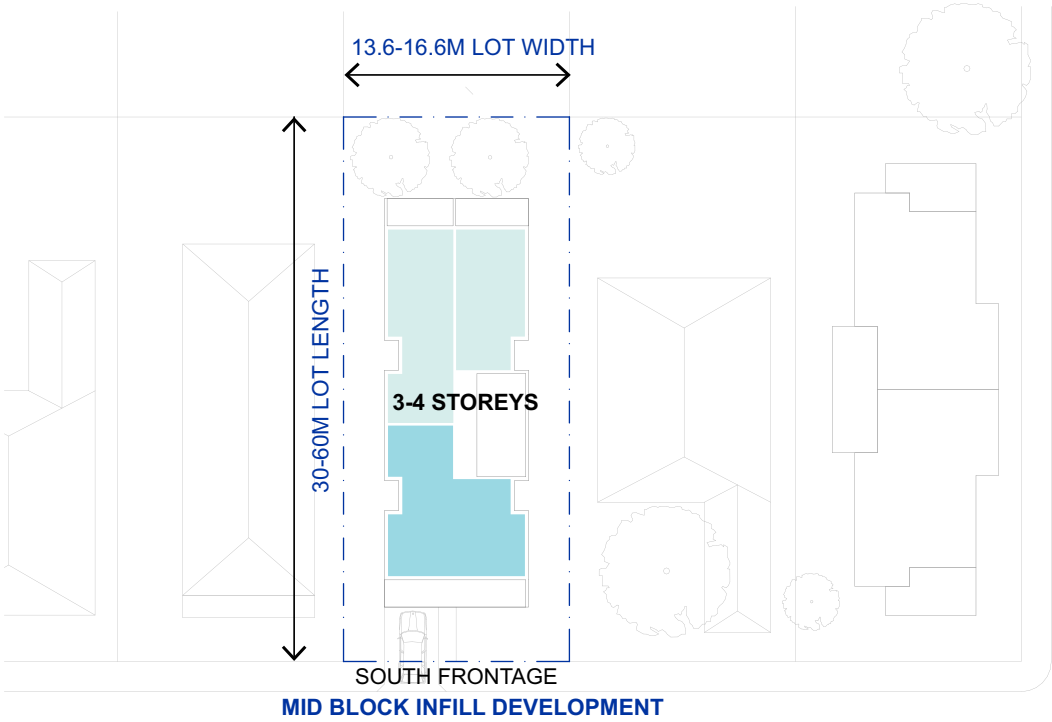
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MODULE A	13M WIDE SITE Typical floor	14M-15M WIDE SITE Typical floor		16M WIDE SITE Typical floor
MODULE B	13M-16M WIDE SITE Ground floor (No Basement option)			
MODULE C	13M WIDE SITE Typical floor	14M WIDE SITE Typical floor	15M WIDE SITE Typical floor	16M WIDE SITE Typical floor

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Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

Drawing No.	A-211
Name	Pattern Adaptations - 0m setback apartment mix
Scale	1:400 @ A3 1:200 @ A1



Siting and orientation

These plans demonstrate siting and orientation principles for this pattern, adapting to suit mid-block lots.

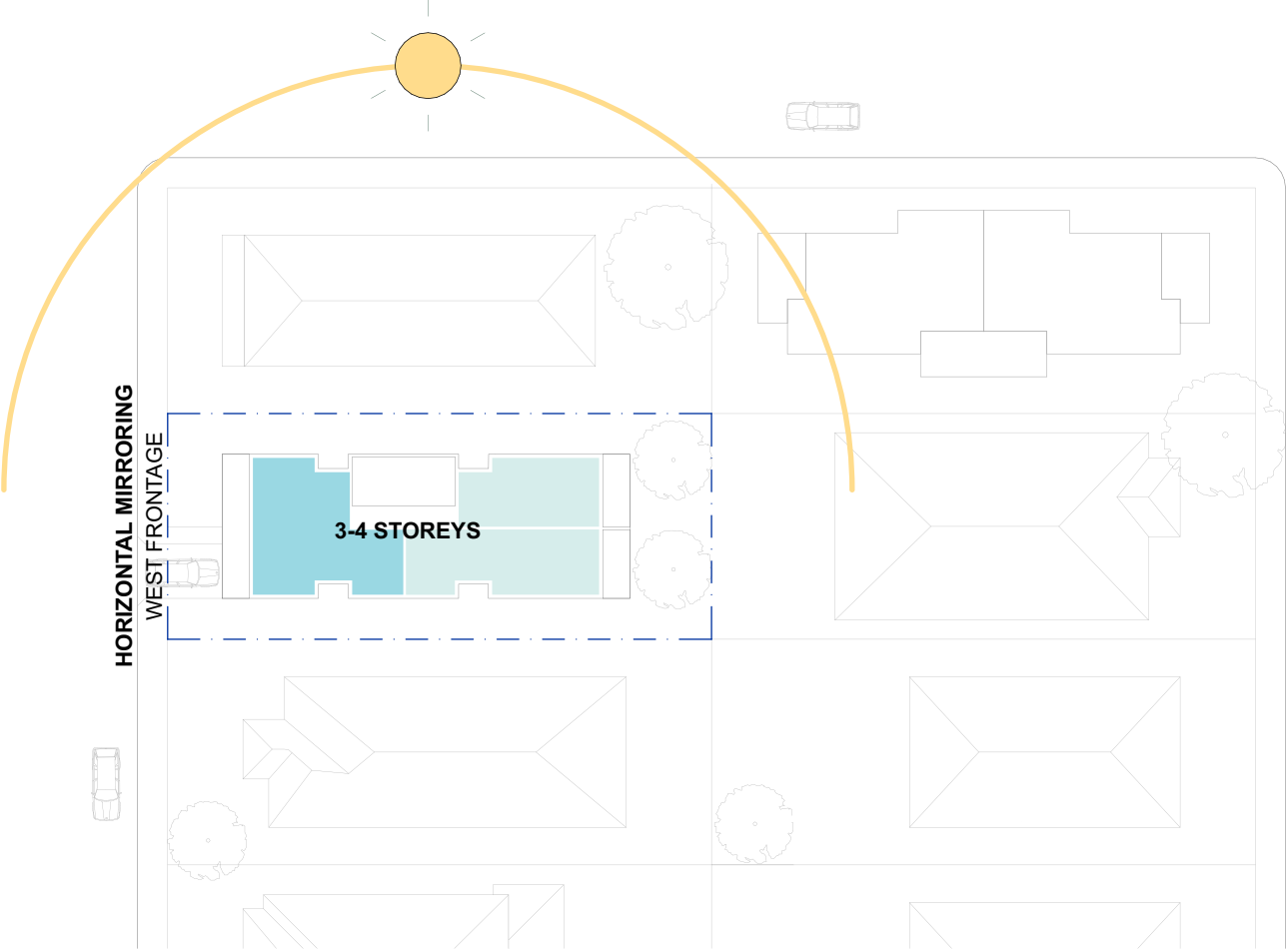
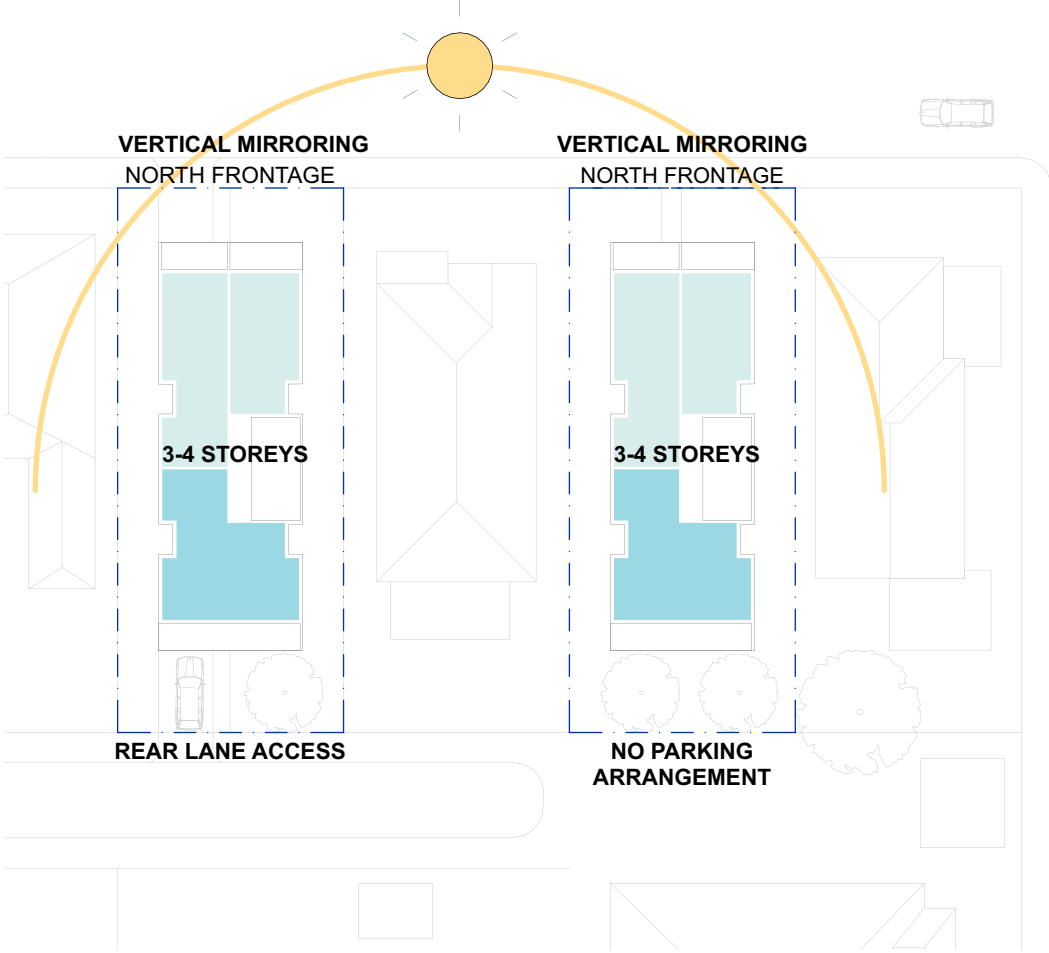
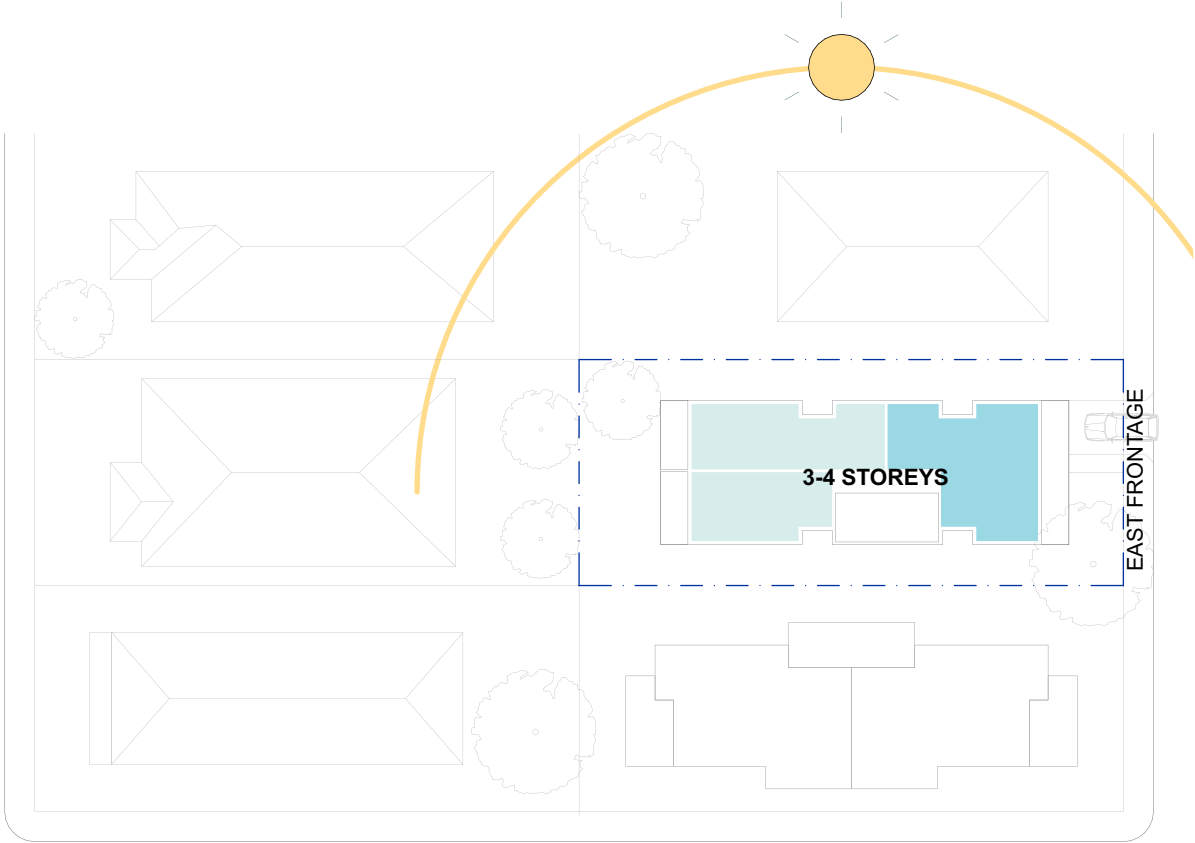
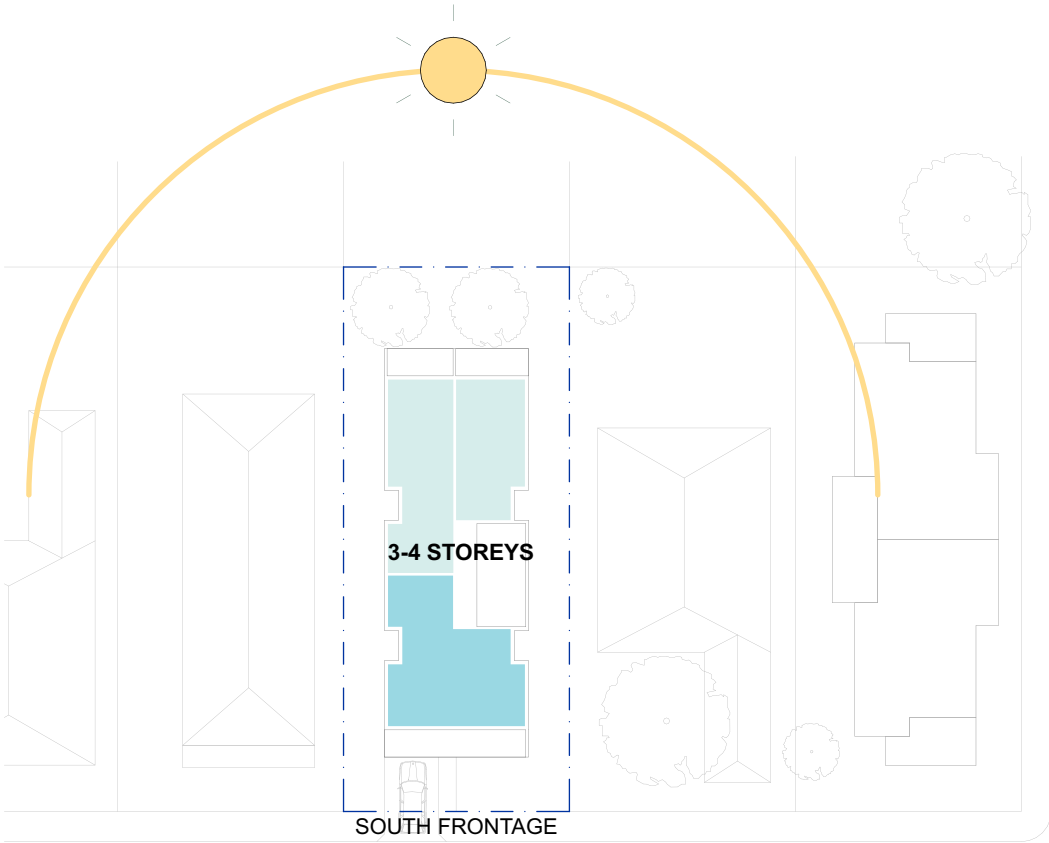
Pattern sites must:

- meet minimum lot width and areas
- meet minimum setbacks and landscape areas. Refer to the planning pages of this document for further details.

The example also illustrates the siting response to orientation. In the case of a north frontage, the pattern must be vertically mirrored, which allows only rear lane access to parking or no parking arrangement. For other orientations, parking access can be provided from the primary street.

- 1 BEDROOM APARTMENT
- 2 BEDROOM APARTMENT

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Solar Orientation Guidance

The base pattern is designed to meet suitable solar access across all orientations. Apartment layouts prioritise solar access to living areas and balconies, while mirrored options ensure good performance on north-, east-, and west-facing sites. Solar access has been assessed on achieving 2 hours of sunlight in mid-winter, confirming strong sunlight penetration into dwellings and communal areas throughout the day.

SOUTH FRONTAGE (Base Pattern)

- Basement Parking arrangement - 11/13 Units (84%)
- On-grade Parking arrangement - 9/10 Units (90%)
- No Parking arrangement - 11/13 Units (84%)

NORTH FRONTAGE (Vertical Mirroring)

- Basement Parking arrangement - 11/13 Units (84%)
- On-grade Parking arrangement - 9/10 Units (90%)
- No Parking arrangement - 11/13 Units (84%)

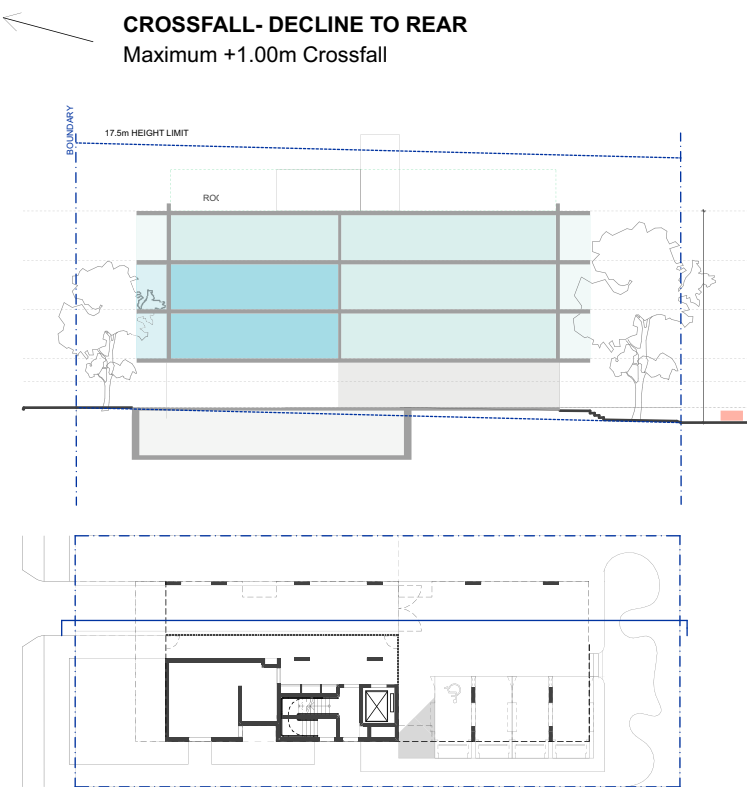
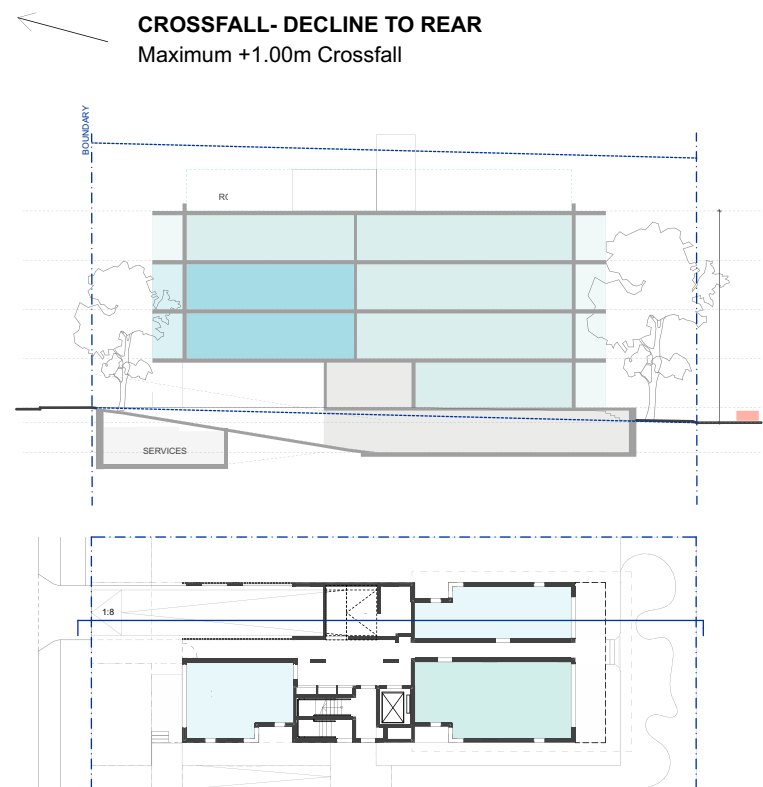
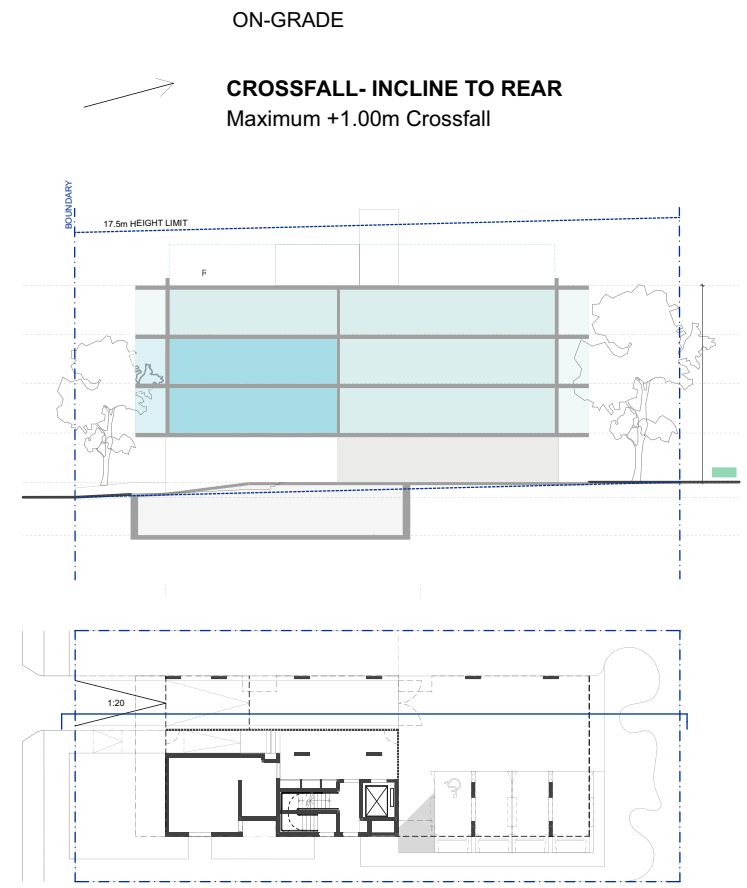
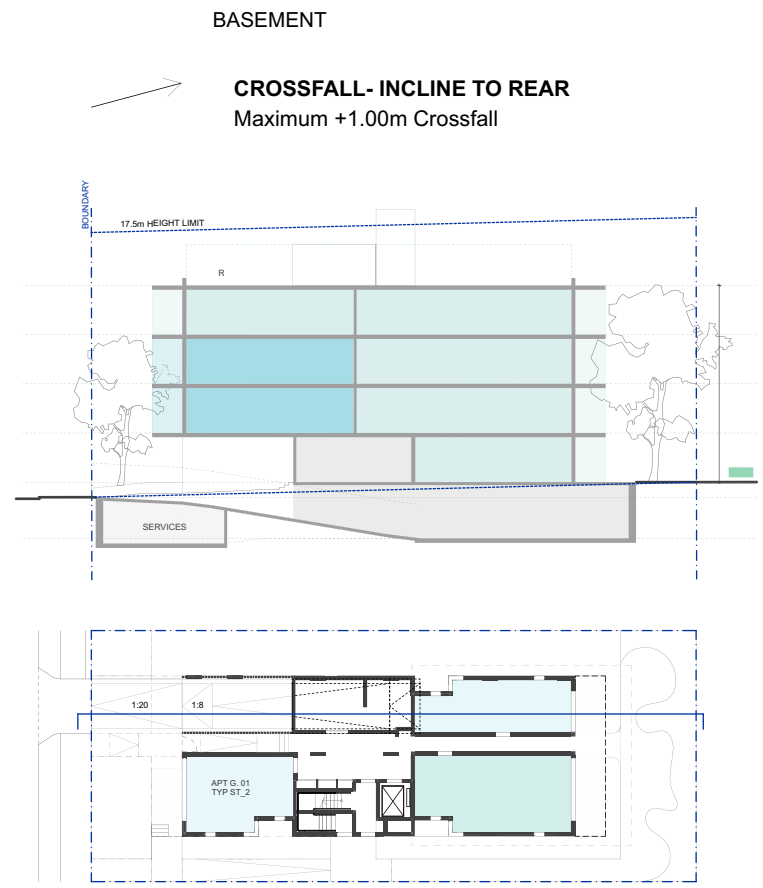
EAST FRONTAGE (Base Pattern)

- Basement Parking arrangement - 11/13 Units (84%)
- On-grade Parking arrangement - 9/10 Units (90%)
- No Parking arrangement - 11/13 Units (84%)

WEST FRONTAGE (Horizontal Mirroring)

- Basement Parking arrangement - 11/13 Units (84%)
- On-grade Parking arrangement - 9/10 Units (90%)
- No Parking arrangement - 11/13 Units (84%)

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Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

Drawing No.	A-214
Name	Pattern Adaptations - Slope Adaptation Guidance
Scale	NTS @ A3

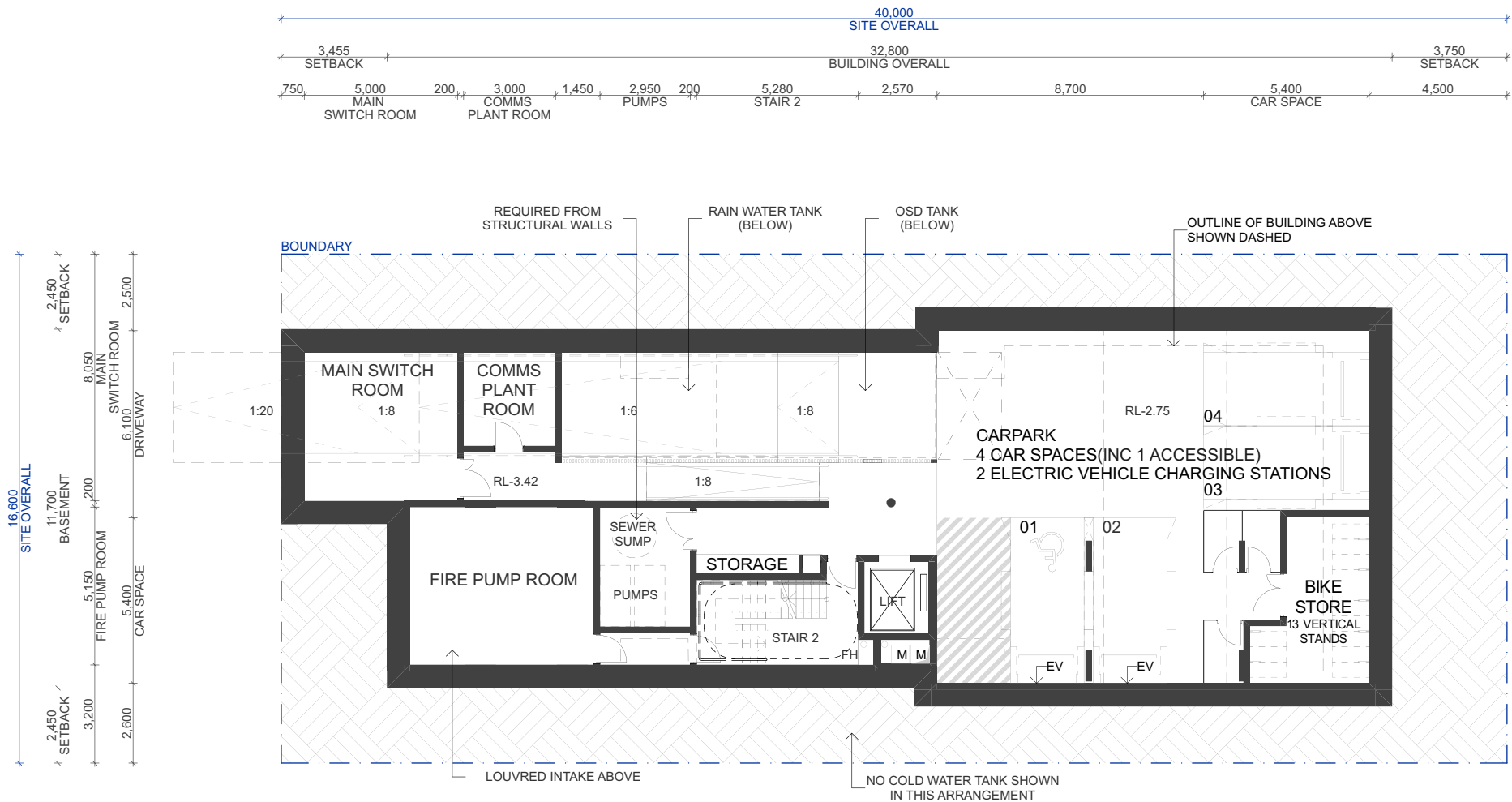
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COLLINS
AND
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Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

Drawing No.	A-310-1
Name	Basement Plan (Basement Parking arrangement)
Scale	1:200 @ A3



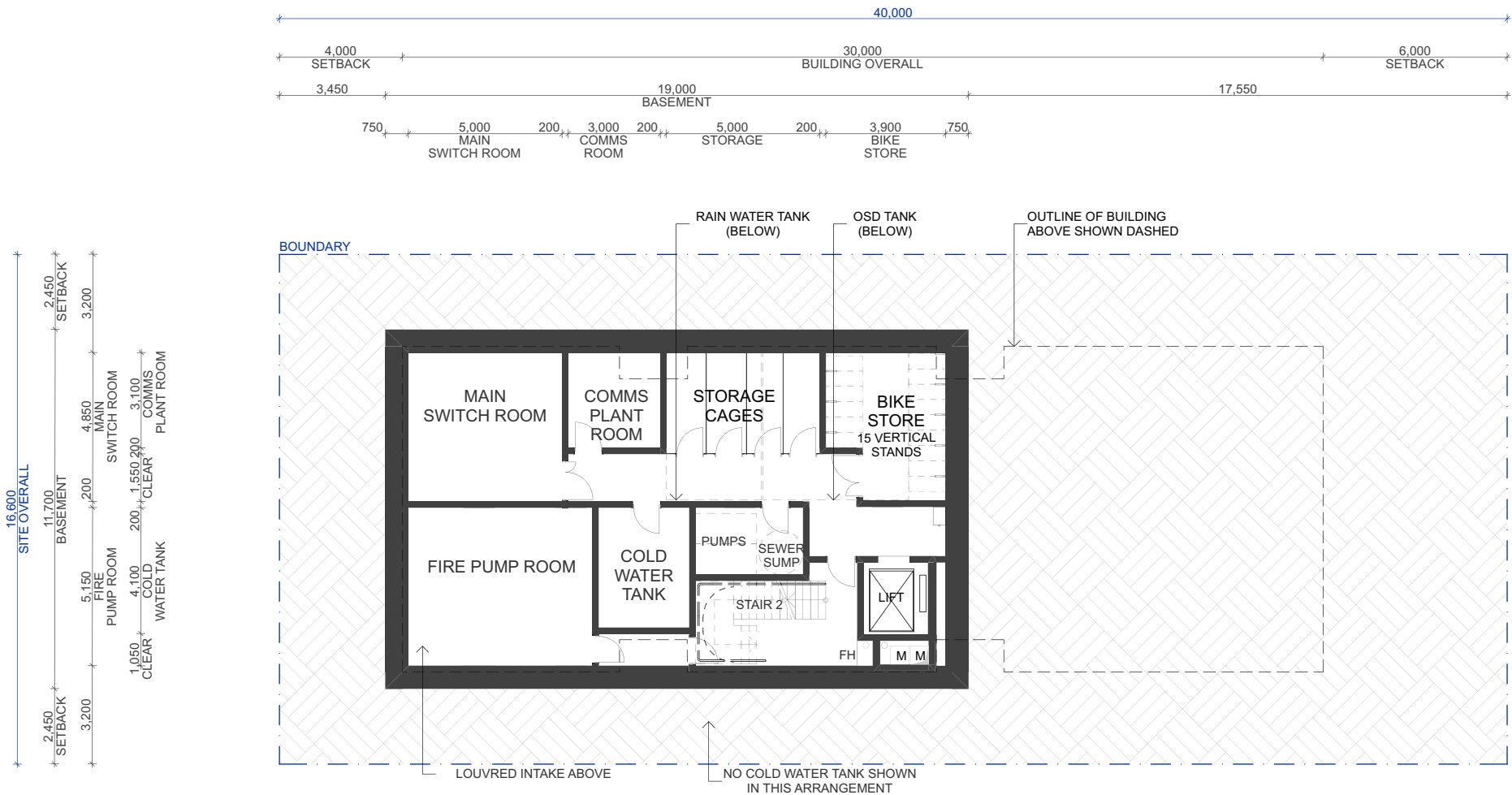
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COLLINS
AND
TURNER

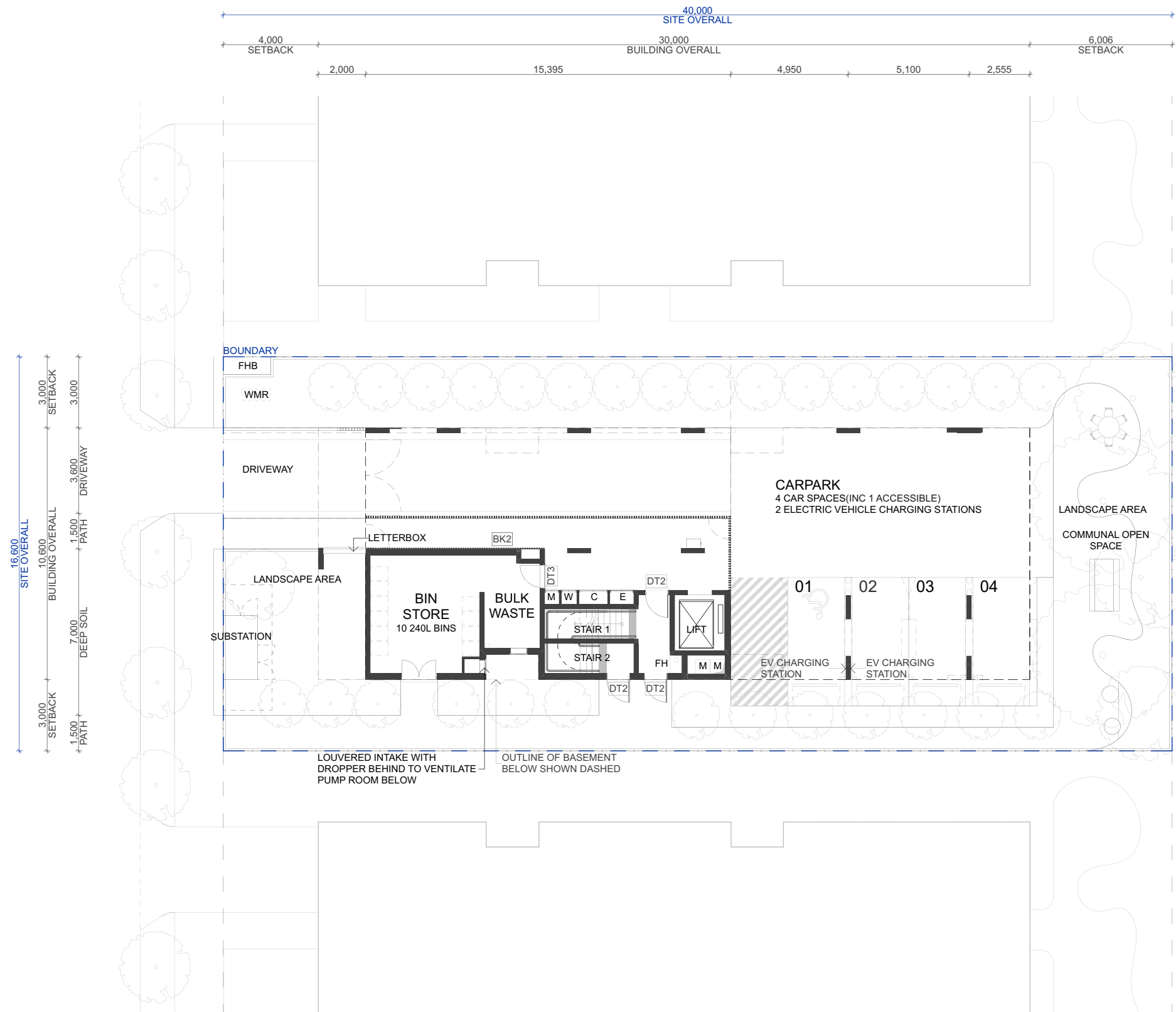
Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

Drawing No.	A-310-2
Name	Basement Plan (On-grade arrangement) 1:200 @ A3
Scale	





Rev	Date	Description
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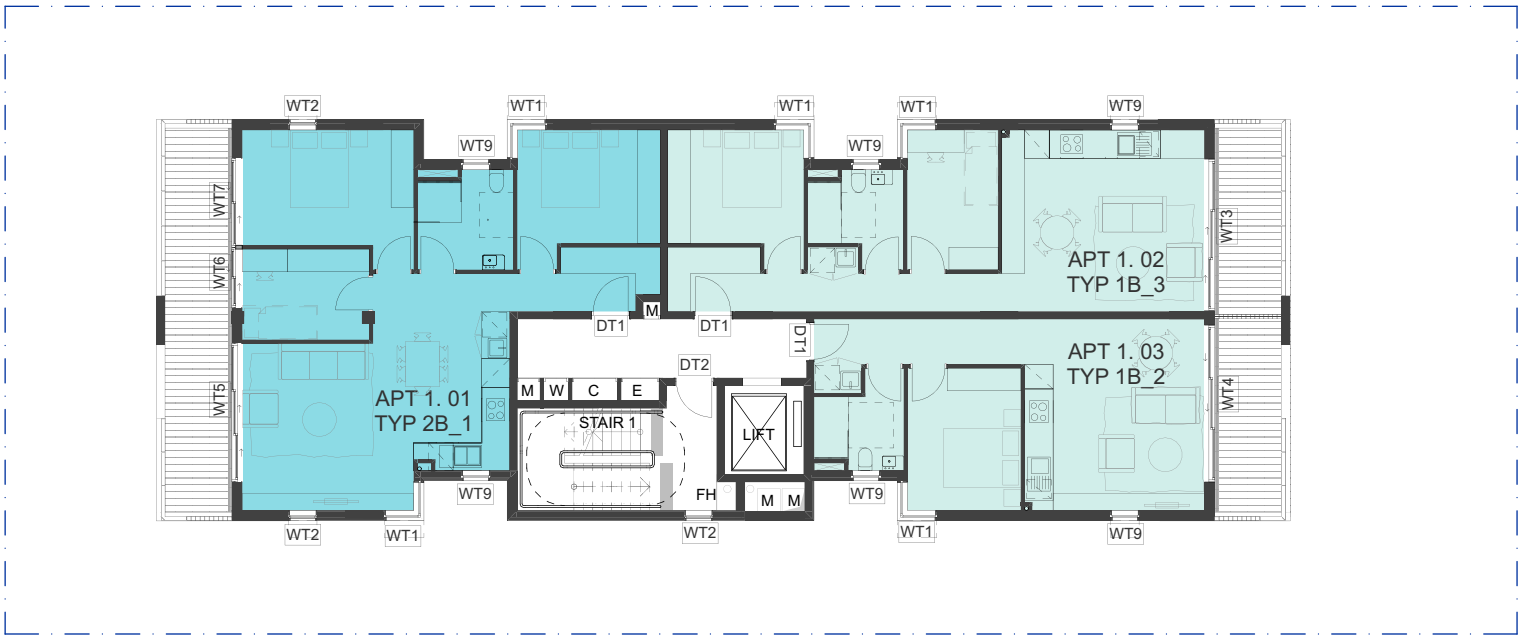
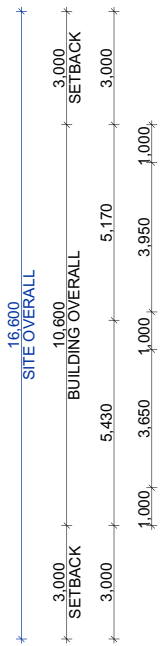
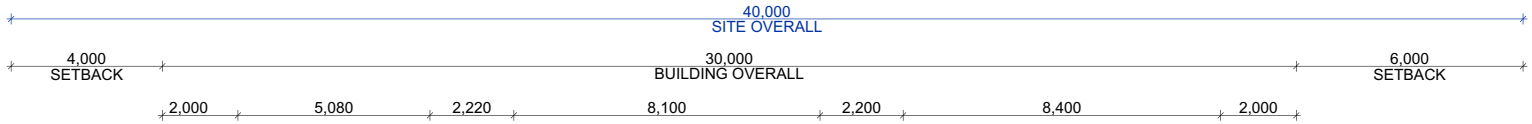


Rev	Date	Description
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**COLLINS
AND
TURNER**

Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

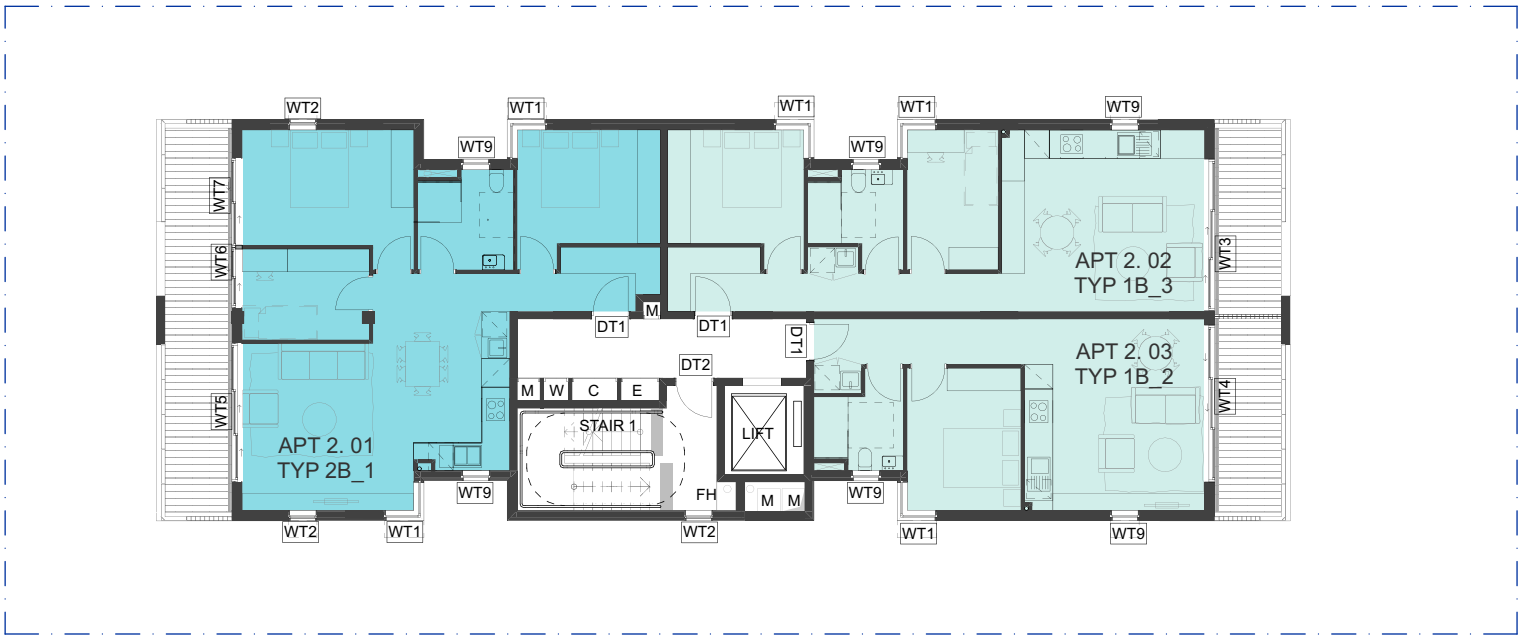
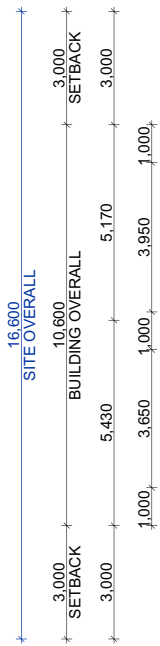
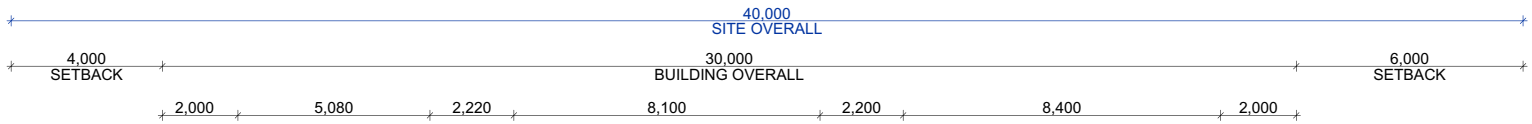
Drawing No.	A-311-2
Name	Ground Floor / Site Plan (On-grade Parking arrangement)
Scale	1:200 @ A3



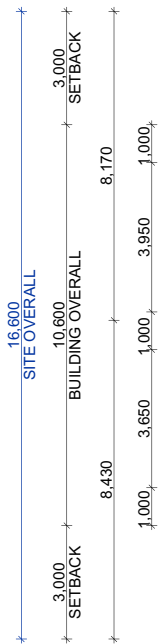
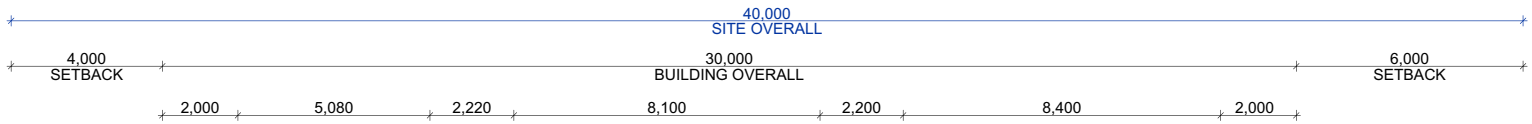
Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

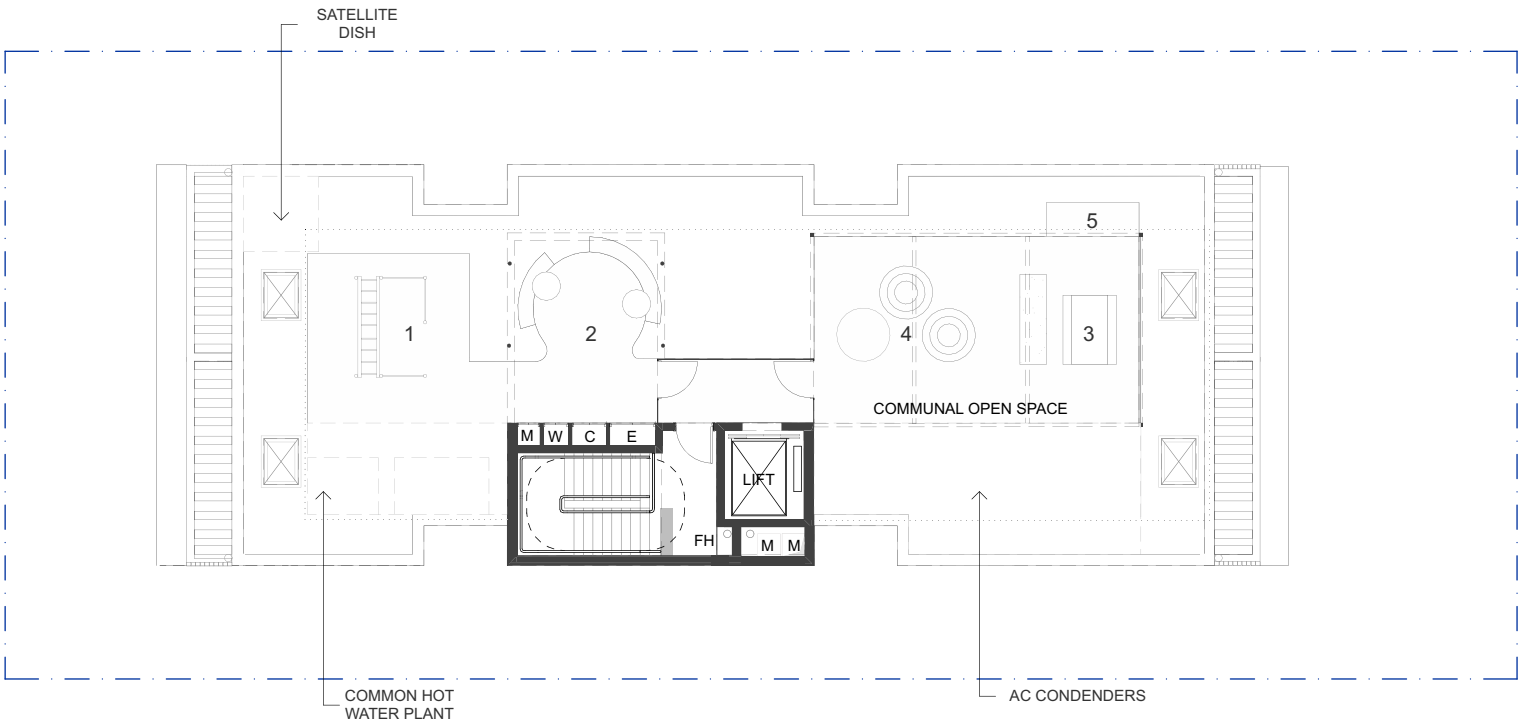
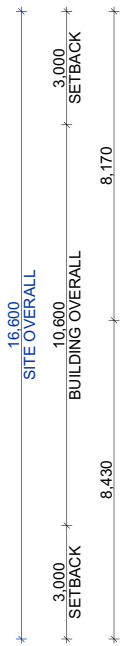
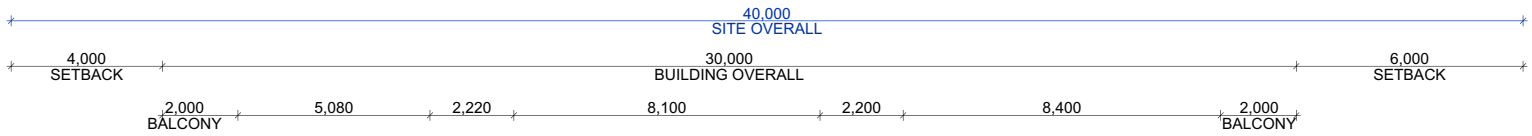
Drawing No.	A-312-1
Name	First Floor Plan
Scale	1:200 @ A3



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Rev	Date	Description
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- 1. Outdoor gym
- 2. Outdoor benches, shade roof over
- 3. Vegetable garden area with dining tables. Shade roof over
- 4. Playground, pergola over
- 5. Outdoor kitchen



Rev	Date	Description
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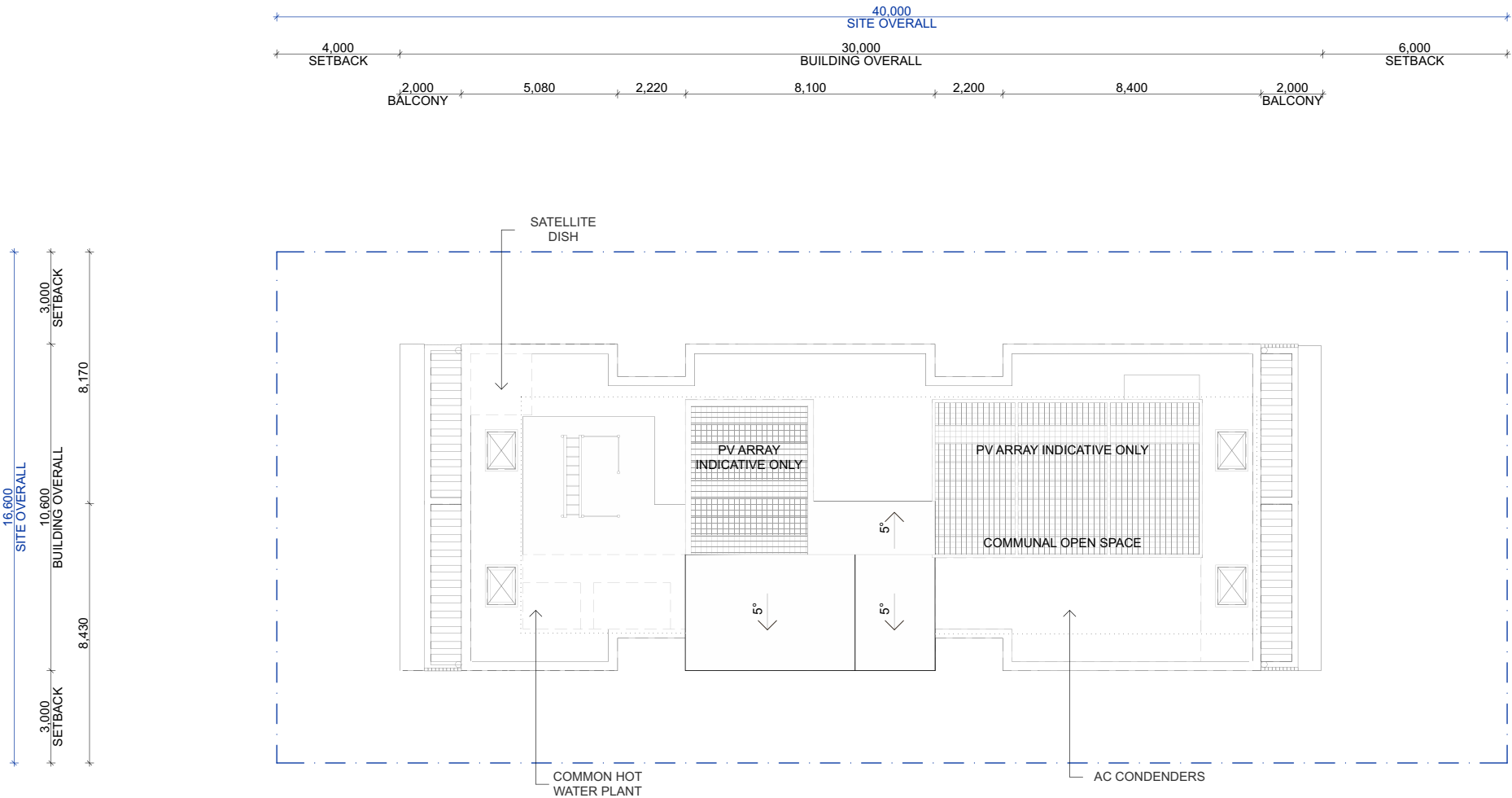
Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

Drawing No.	A-317-1
Name	Roof Plan (Roof garden)
Scale	1:200 @ A3

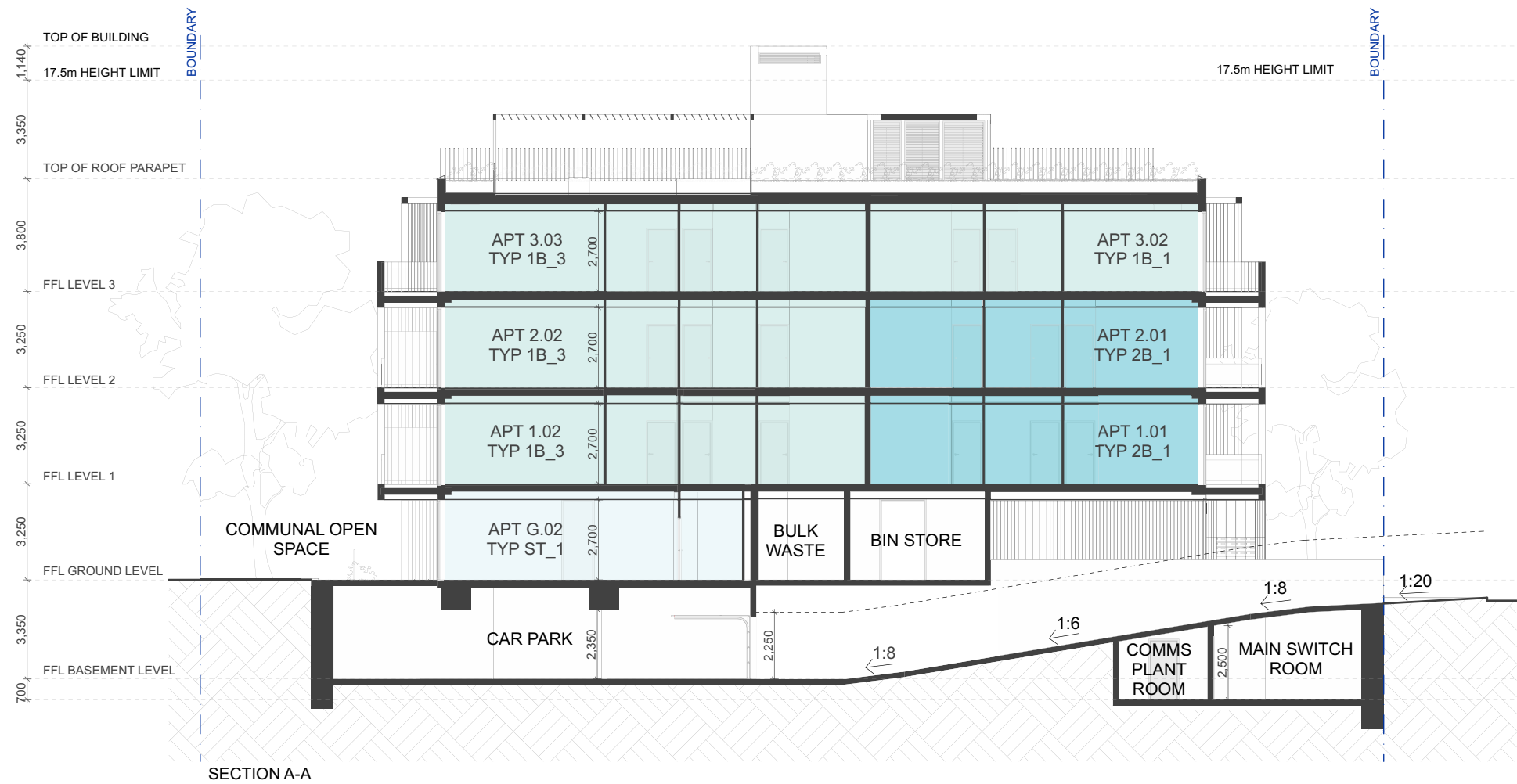
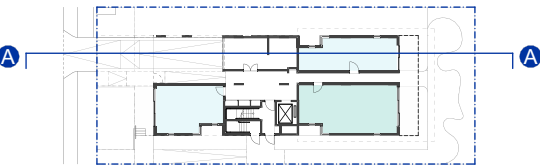
Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

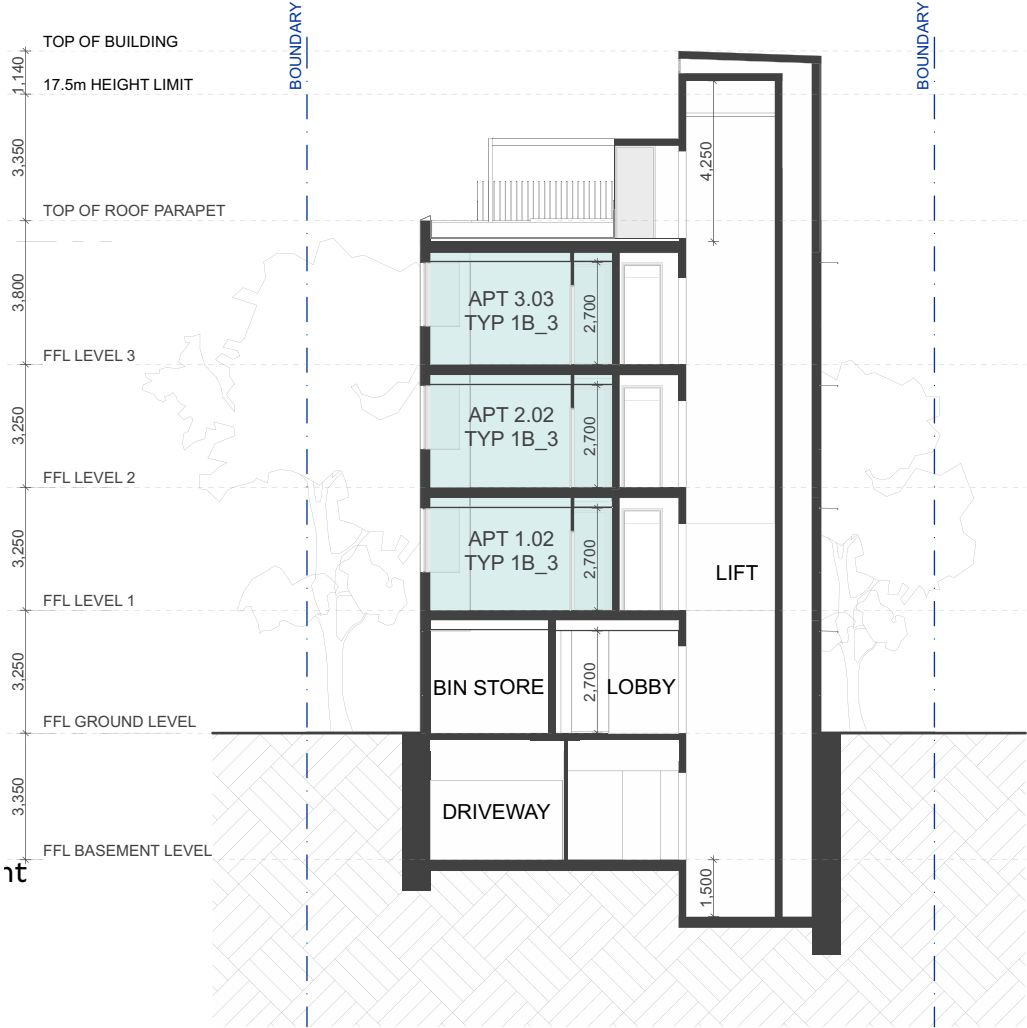
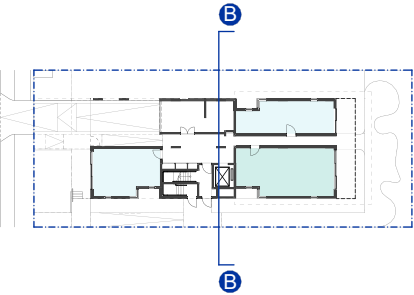
Drawing No.	A-317-2
Name	Roof Plan
Scale	1:200 @ A3



Elevations and sections



Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue



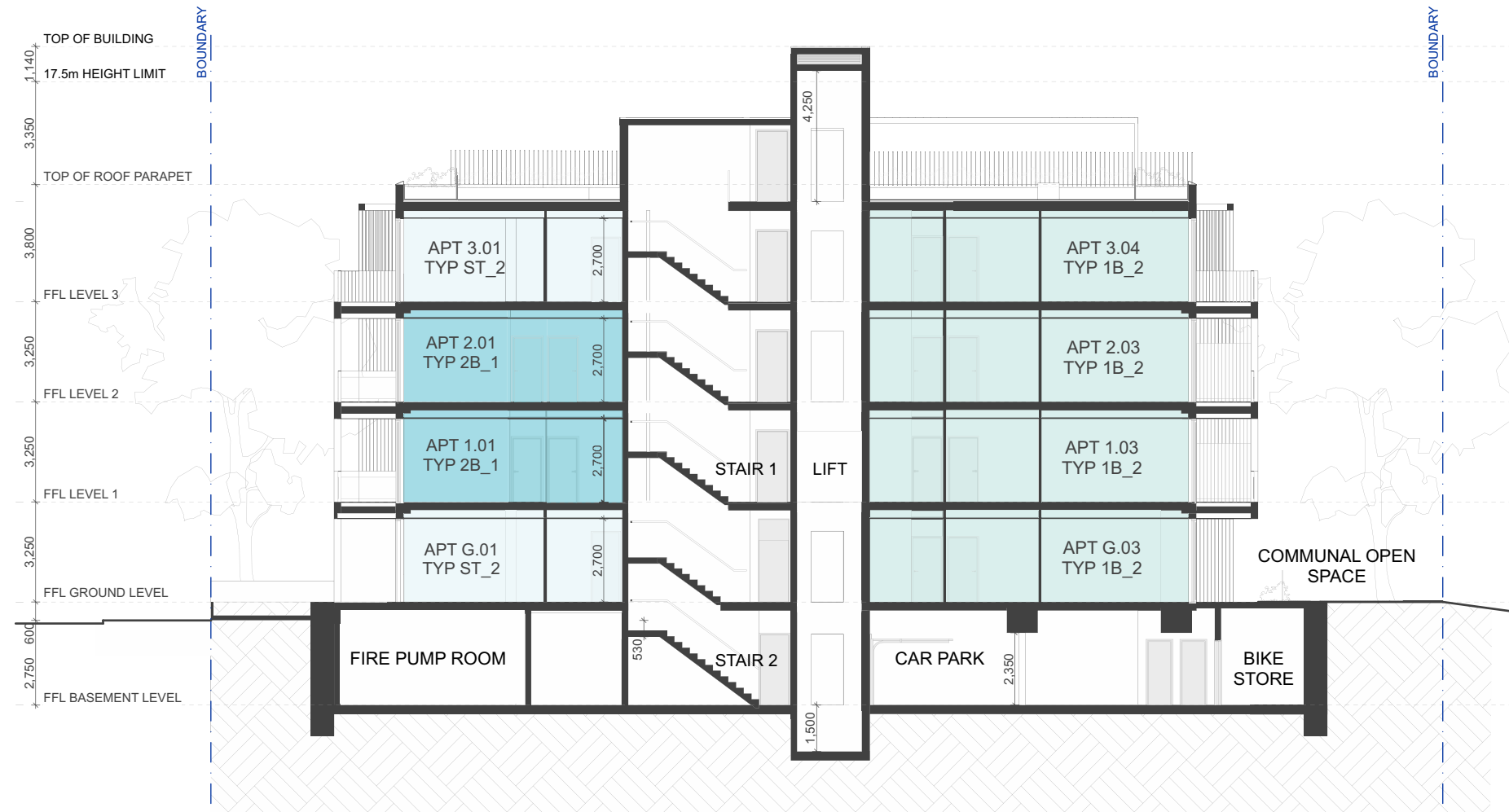
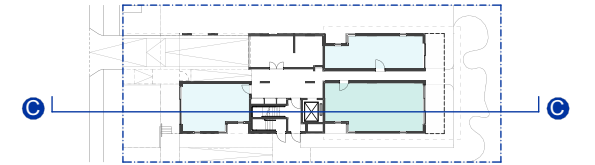
SECTION B-B



Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

Drawing No.	A-350-2
Name	Section B (Basement Parking arrangement)
Scale	1:200 @ A3



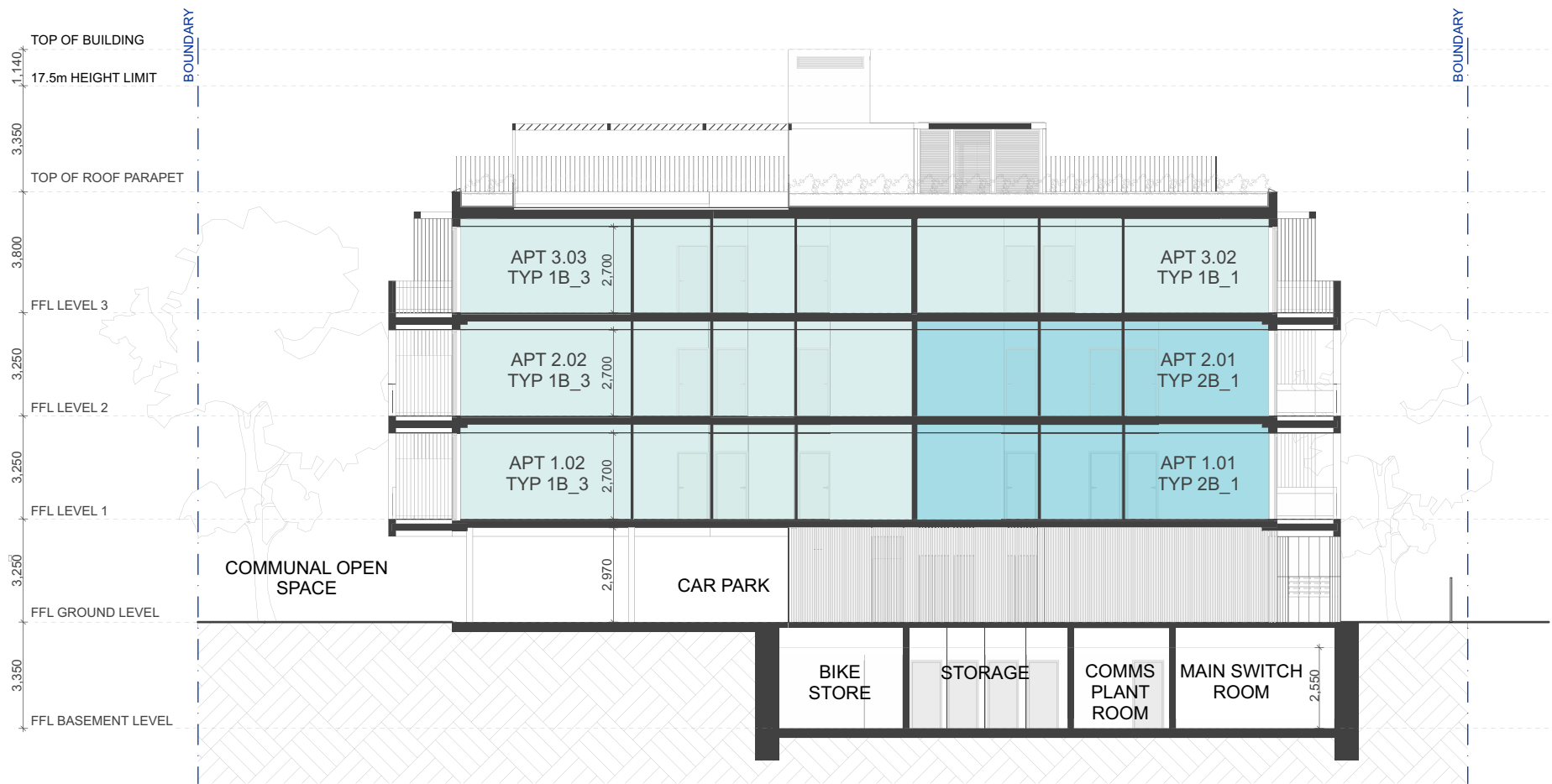
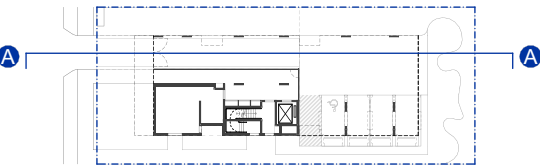
SECTION C-C



Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

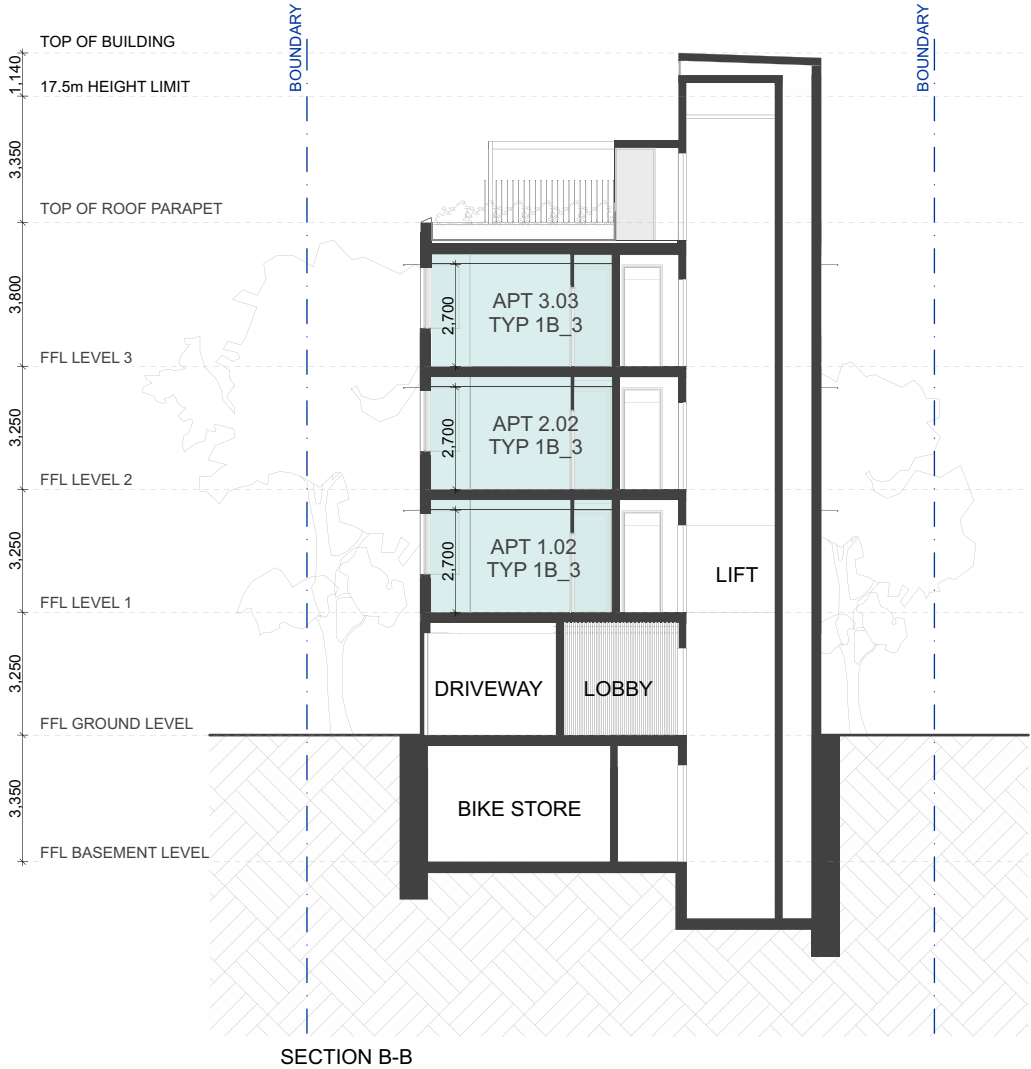
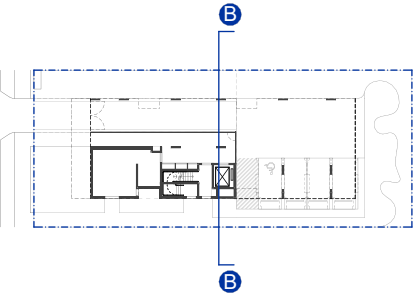
Drawing No.	A-350-3
Name	Section C (Basement Parking arrangement)
Scale	1:200 @ A3



SECTION A-A



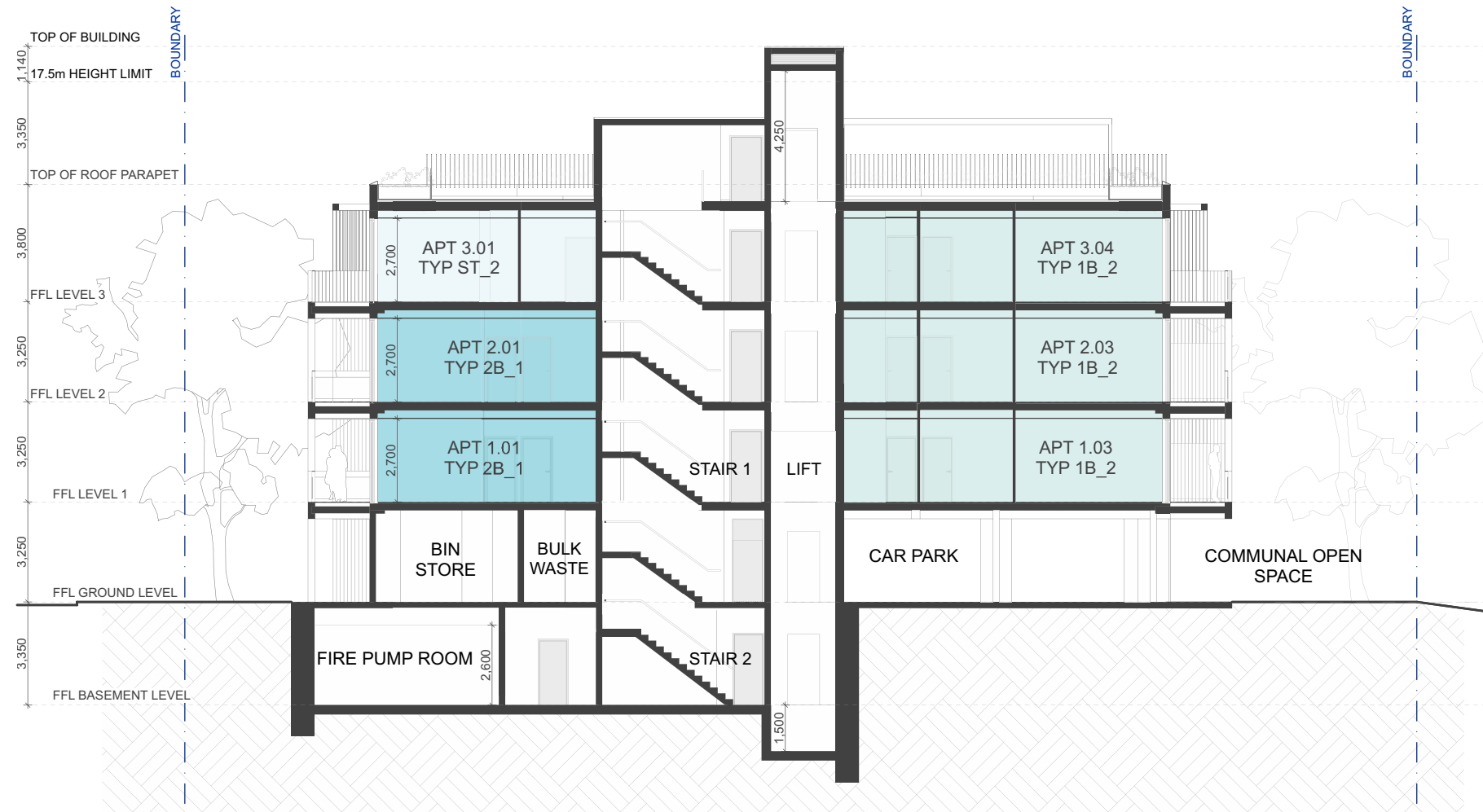
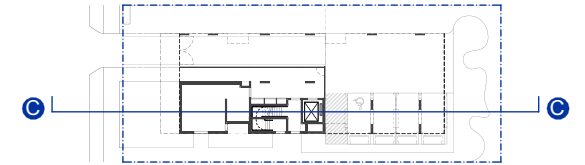
Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue



Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

Drawing No.	A-351-2
Name	Section B (On-grade Parking arrangement)
Scale	1:200 @ A3



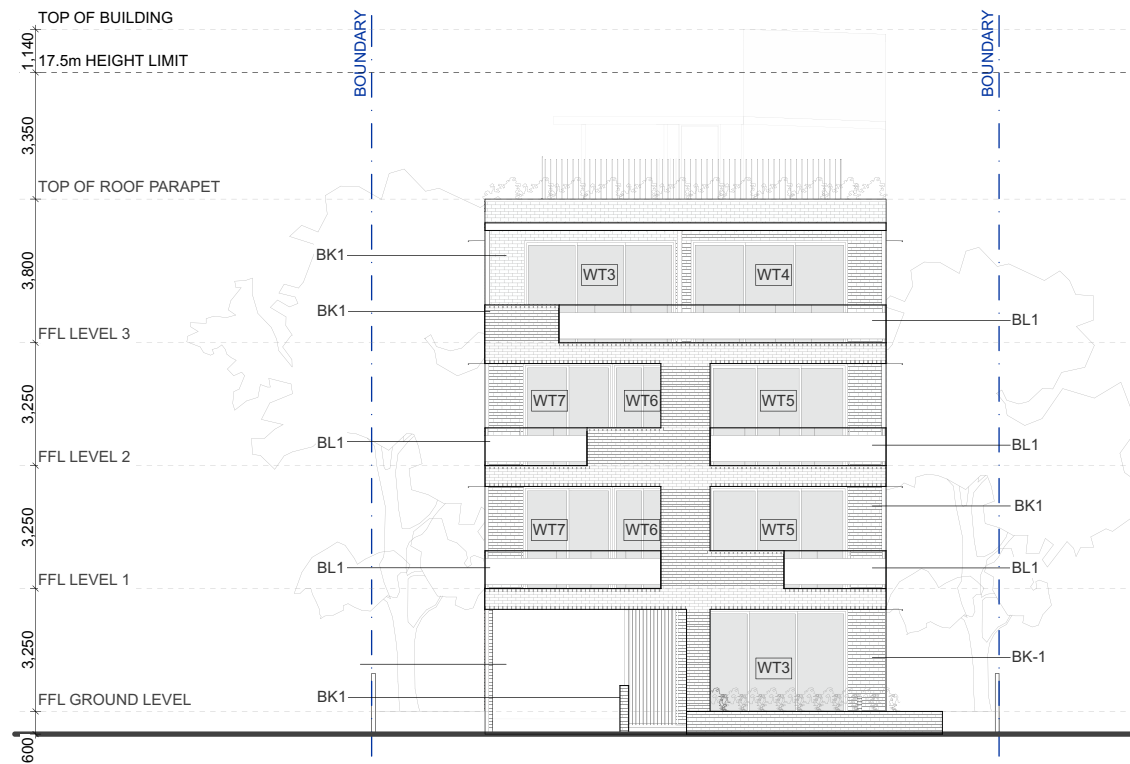
SECTION C-C



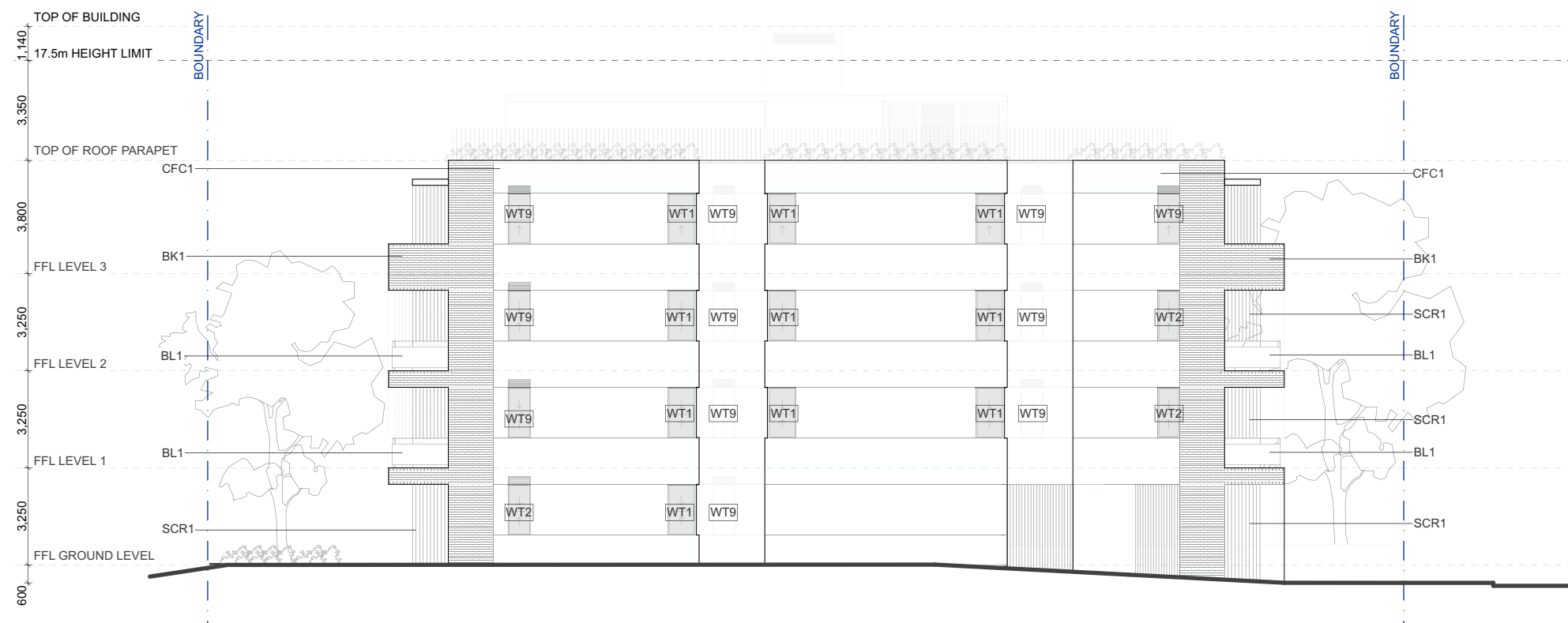
Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

Drawing No.	A-351-3
Name	Section C (On-grade Parking arrangement)
Scale	1:200 @ A3

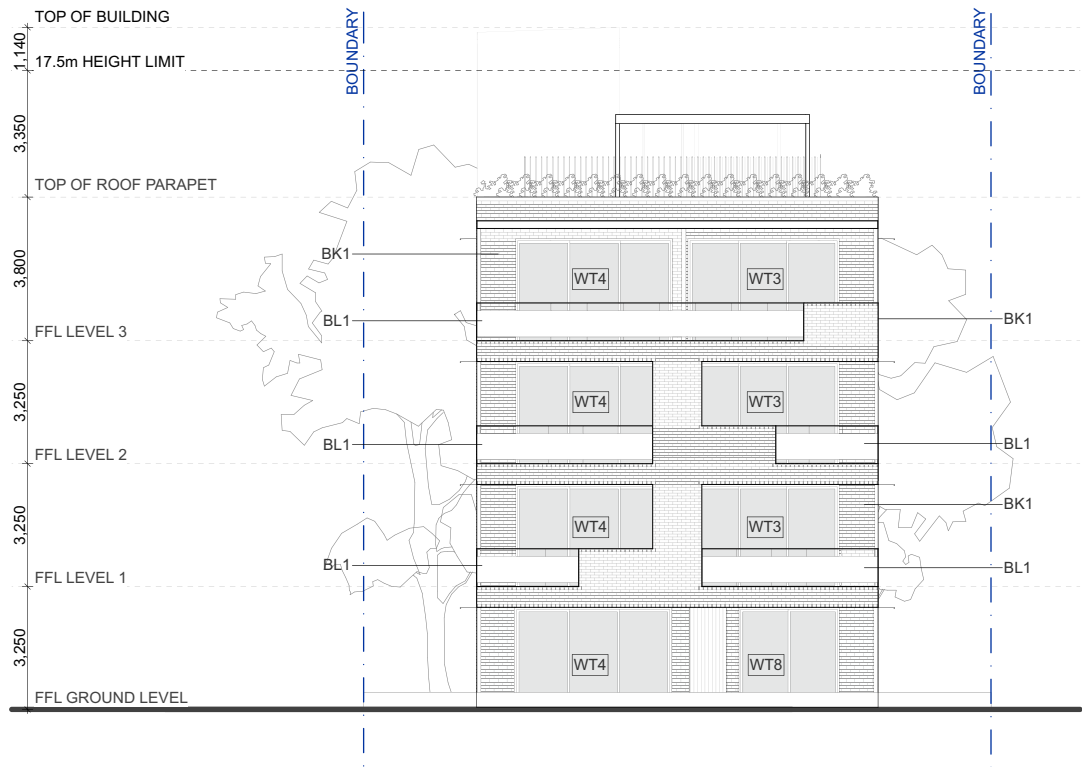


STREET ELEVATION



LEFT ELEVATION





REAR ELEVATION



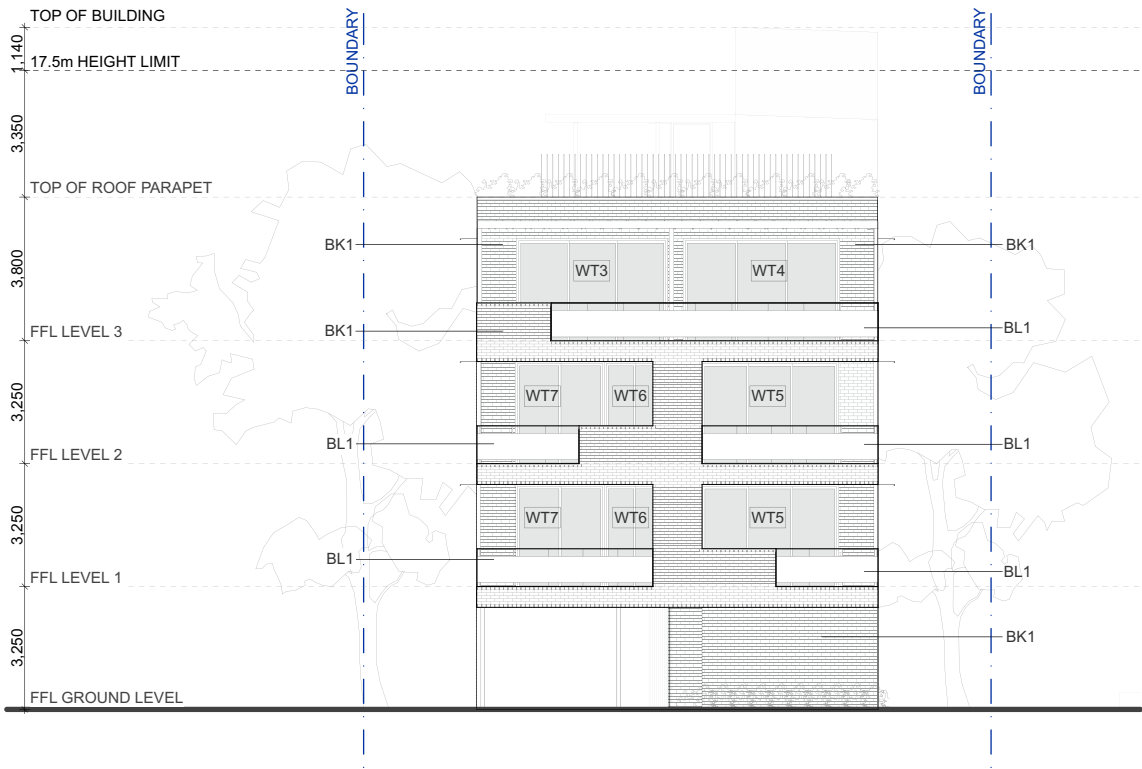
RIGHT ELEVATION



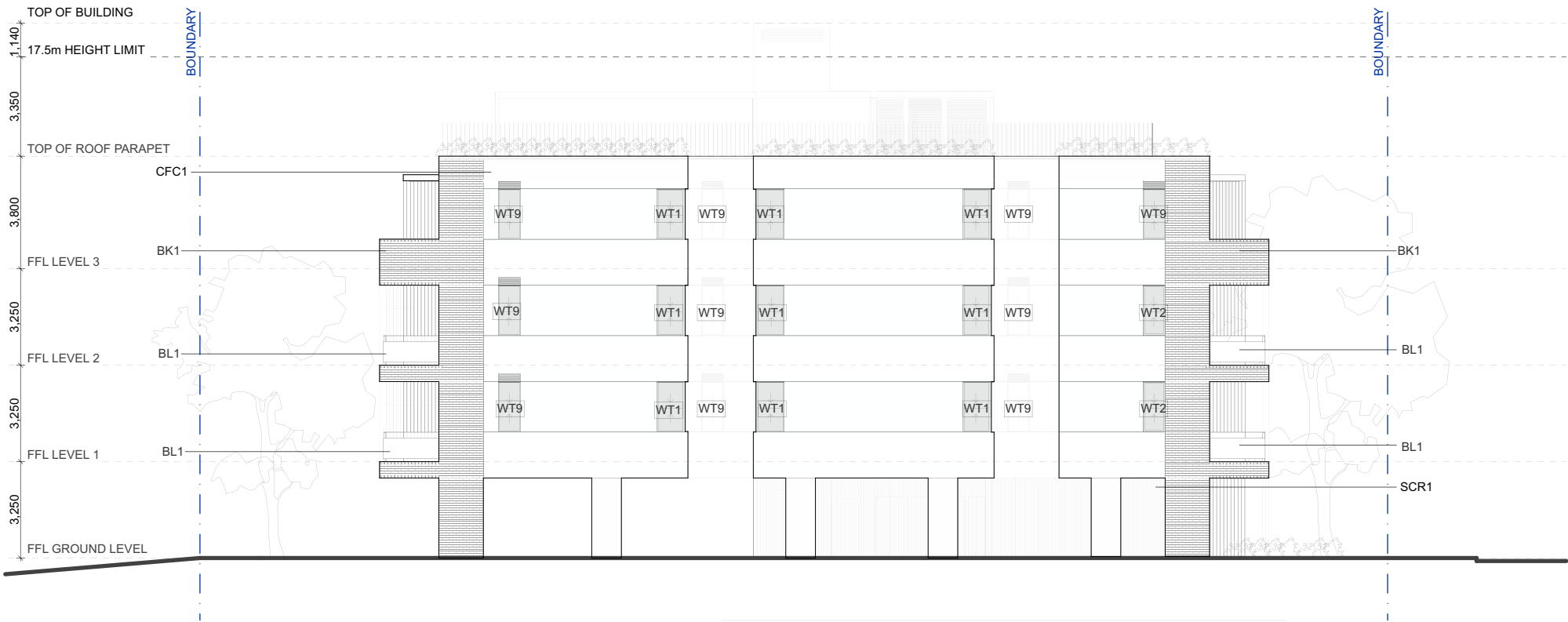
Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

Drawing No.	A-360-2
Name	S/E Orientation (Basement Parking arrangement)
Scale	1:200 @ A3



STREET ELEVATION



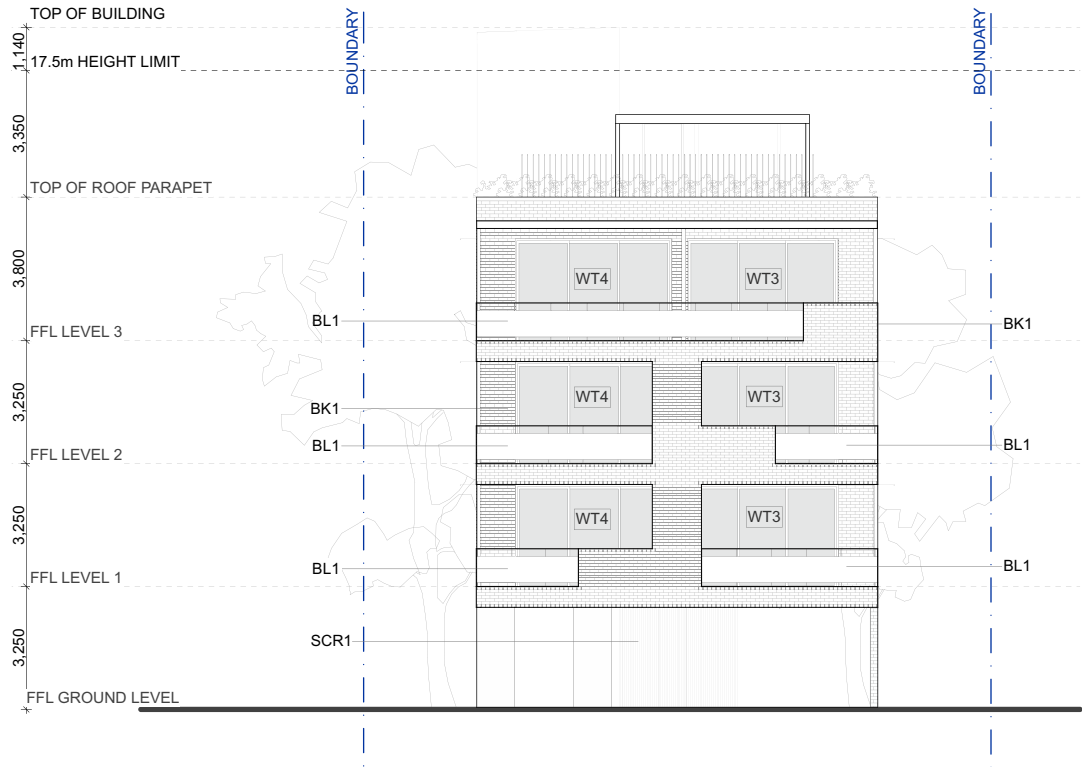
LEFT ELEVATION



Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

Drawing No.	A-361-1
Name	N/W Orientation (On-grade Parking arrangement)
Scale	1:200 @ A3



REAR ELEVATION



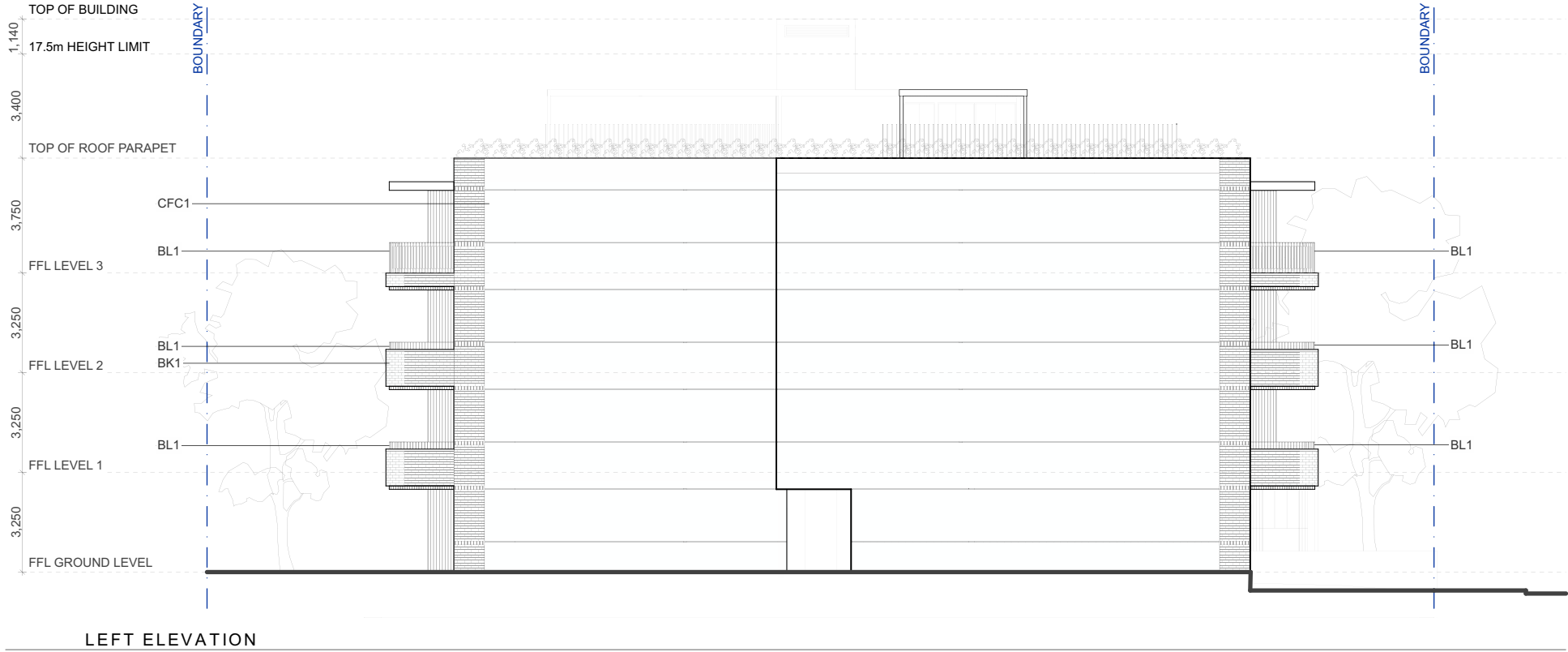
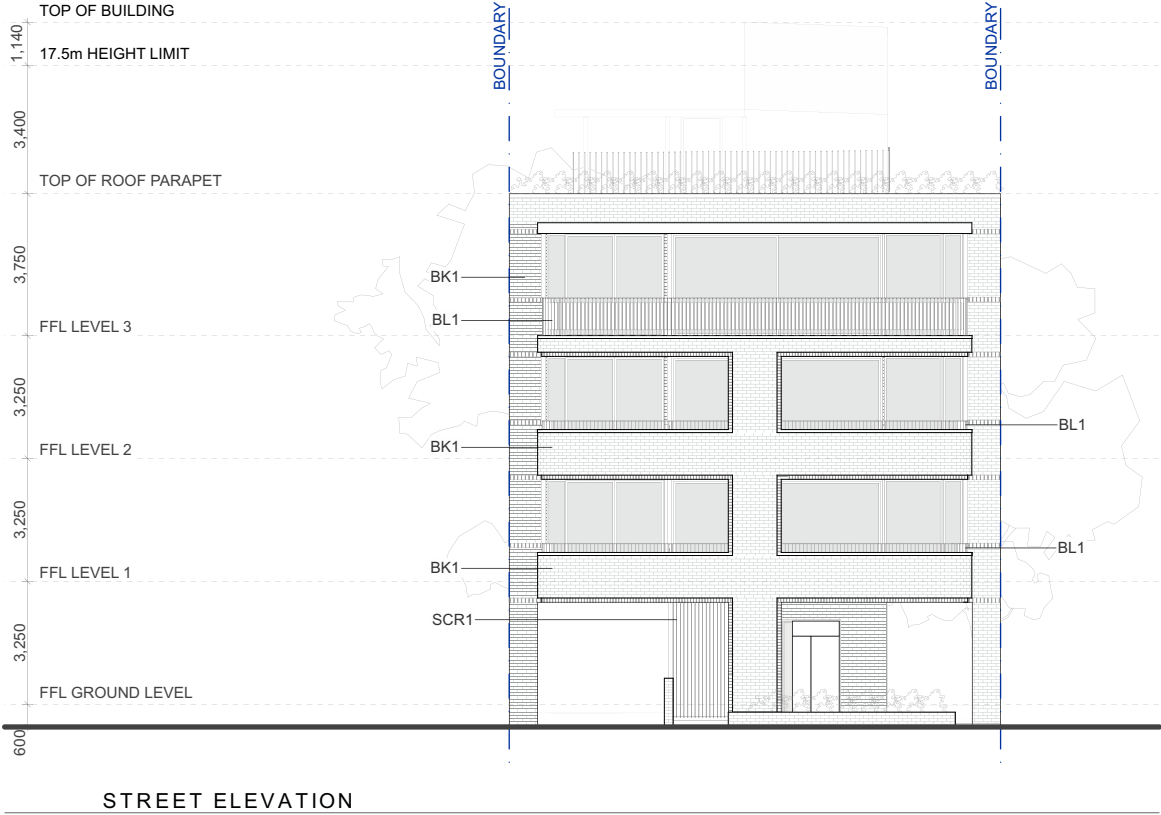
RIGHT ELEVATION



Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

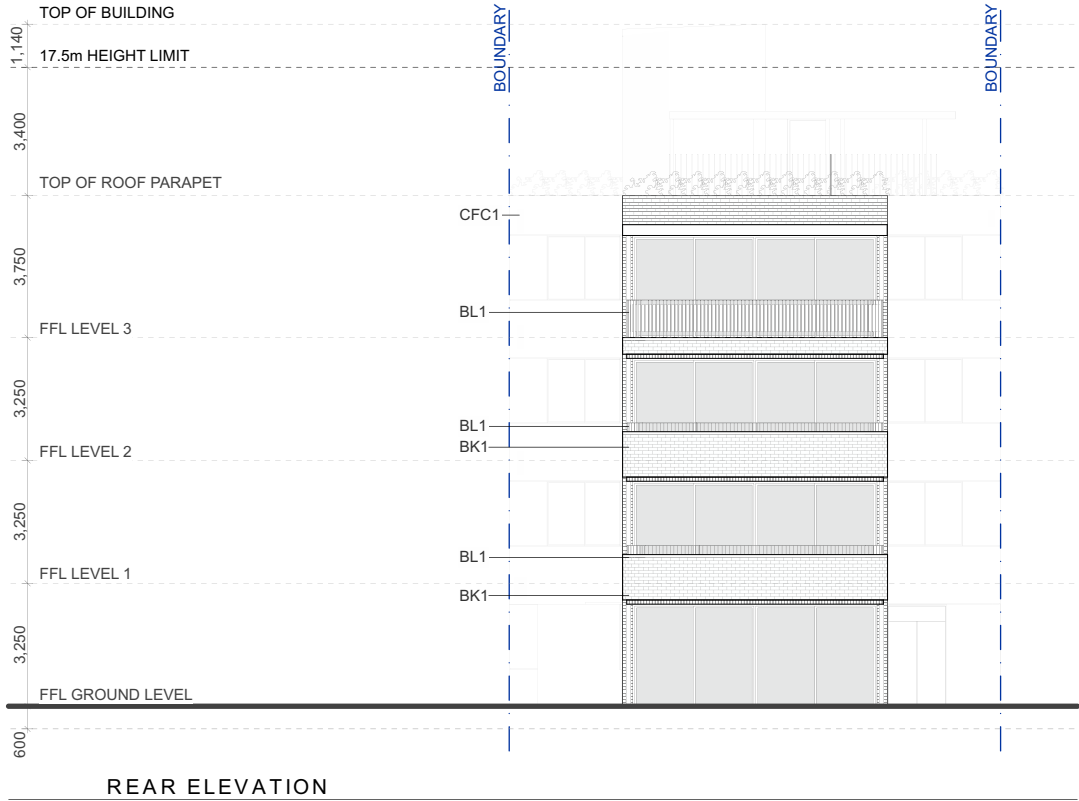
Drawing No.	A-361-2
Name	S/E Orientation (On-grade Parking arrangement)
Scale	1:200 @ A3



Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

Drawing No.	A-363-1
Name	N/W Orientation 0m setback adaptation
Scale	1:200 @ A3



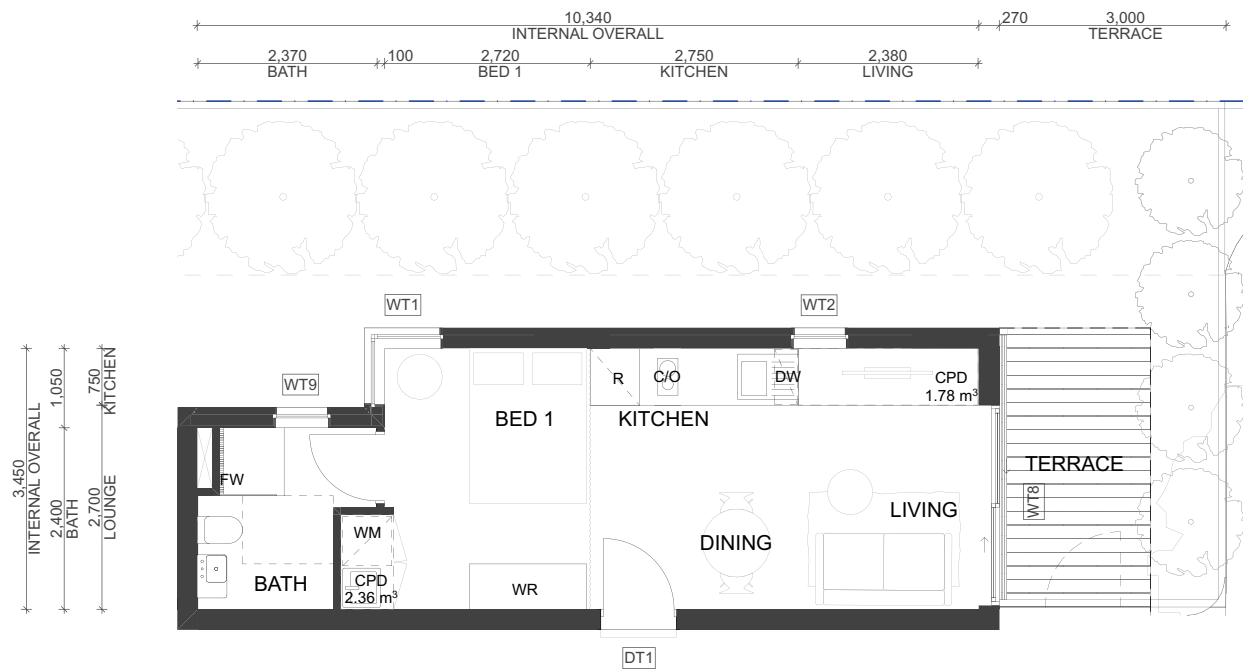
Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

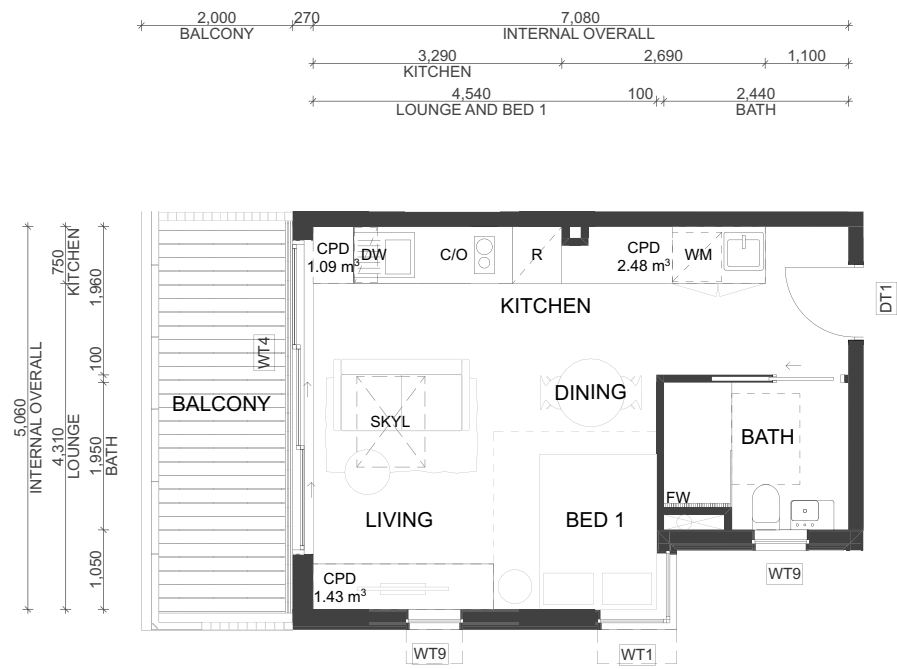
Drawing No.	A-363-2
Name	S/E Orientation 0m setback adaptation
Scale	1:200 @ A3

Technical drawings

Typical apartments



Apartment Type	ST_1
Apartment Type	Studio
Internal Area	33 m²
Terrace Area	54 m²
Internal Storage Volume	4.14 m³
External Storage Volume	0 m³
ABCB Livable Housing Design Standard	Standard for Livable Housing Design
AS 4299 Adaptable	No
Kitchen Type	K_1

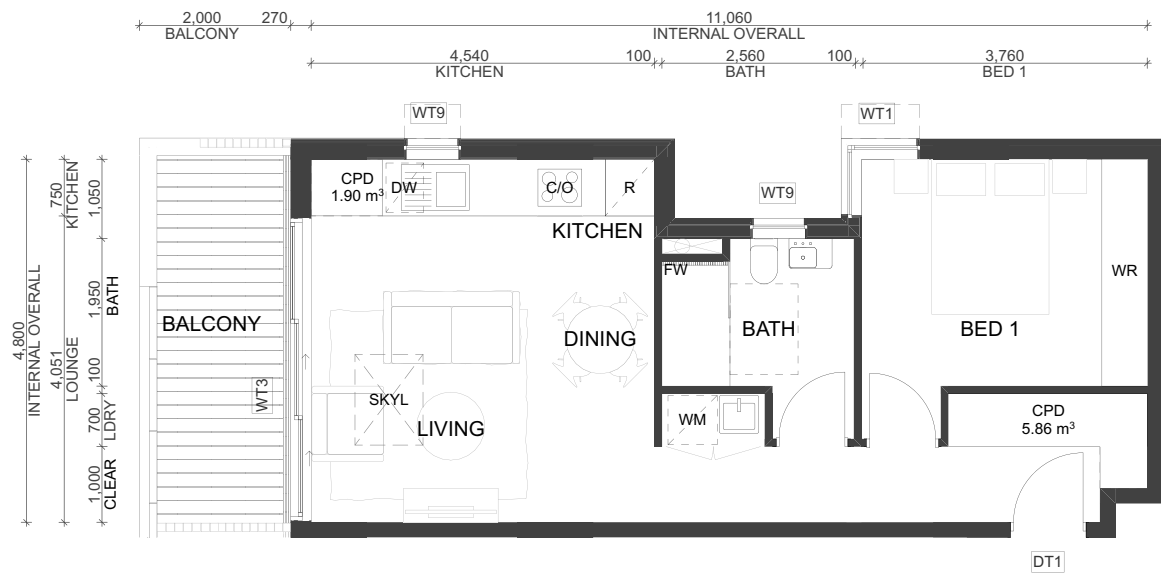


Apartment Type	ST_2
Apartment Type	Studio
Internal Area	33 m²
Balcony Area	10 m²
Internal Storage Volume	5.00 m³
External Storage Volume	4 m³
ABCB Livable Housing Design Standard	Standard for Livable Housing Design
AS 4299 Adaptable	No
Kitchen Type	K_1

Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

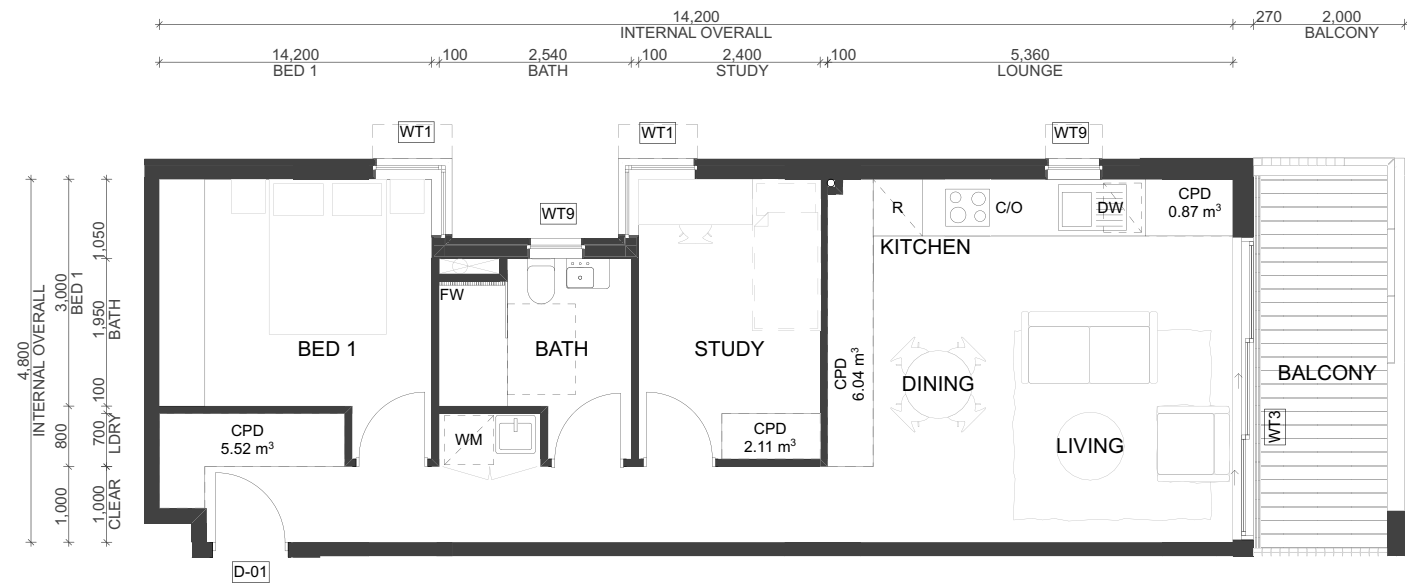
Drawing No.	A-370-1
Name	Apartment Detail Plans
Scale	1:100 @ A3



Apartment Type	1B_1
Apartment Type	1 Bedroom
Internal Area	50 m²
Balcony Area	9 m²
Internal Storage Volume	9.71 m³
External Storage Volume	0 m³
ABCB Livable Housing Design Standard	Standard for Livable Housing Design
AS 4299 Adaptable	No
Kitchen Type	K_2

Apartment Type	1B_2
Apartment Type	1 Bedroom
Internal Area	50 m²
Balcony Area	9 m²
Internal Storage Volume	1.95 m³
External Storage Volume	4 m³
ABCB Livable Housing Design Standard	Beyond Minimum Voluntary Standard
AS 4299 Adaptable	No
Kitchen Type	K_2

Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

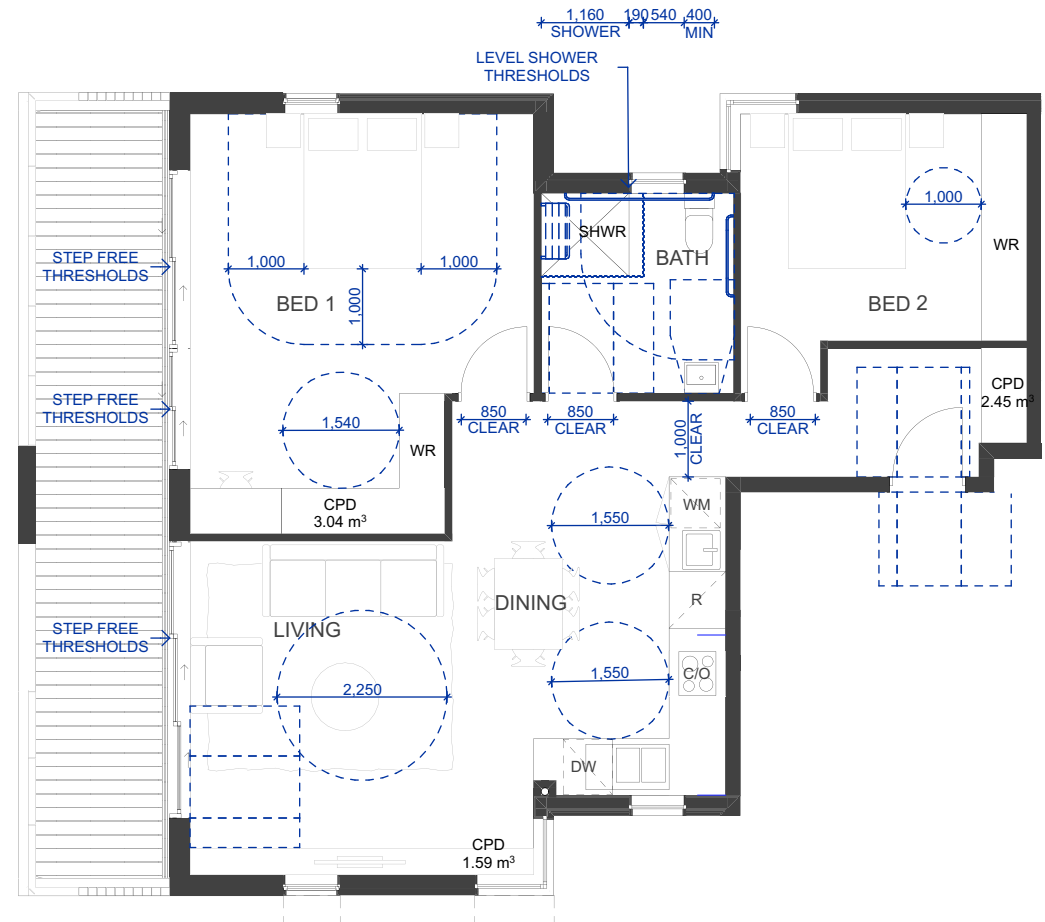
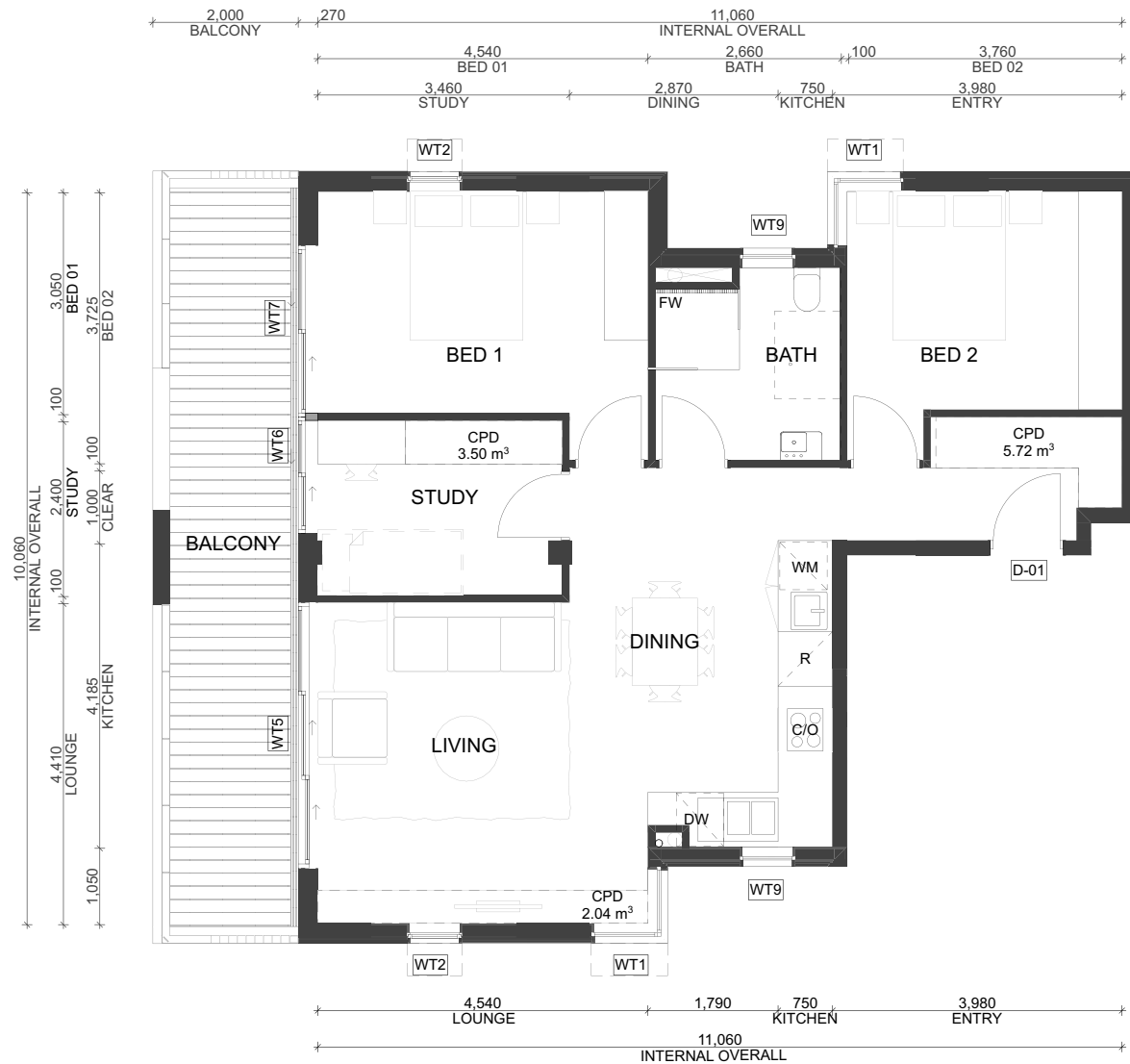


Apartment Type	1B_3
Apartment Type	1 Bedroom + Study
Internal Area	65 m²
Balcony Area	9 m²
Internal Storage Volume	14.54 m³
External Storage Volume	0 m³
ABCB Livable Housing Design Standard	Standard for Livable Housing Design
AS 4299 Adaptable	No
Kitchen Type	K_2

Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

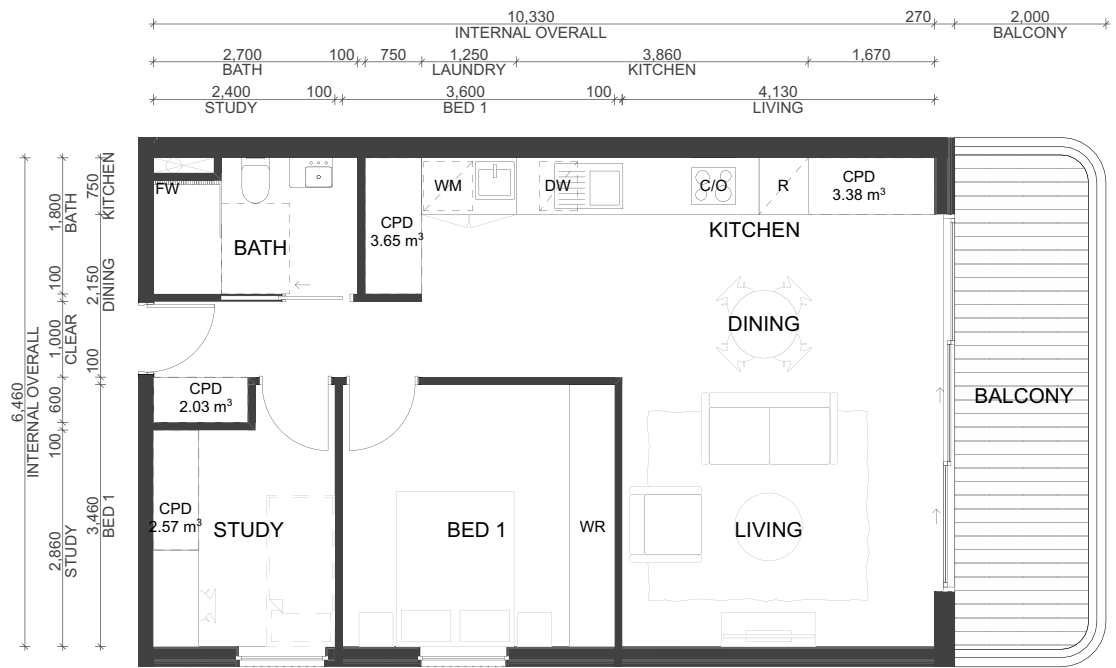
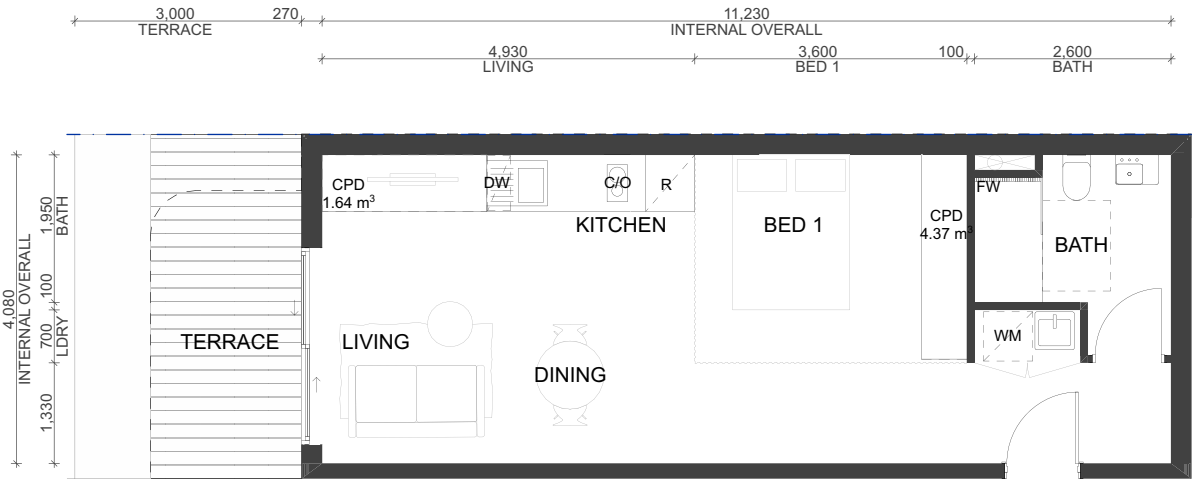
Drawing No.	A-370-3
Name	Apartment Detail Plans
Scale	1:100 @ A3



Apartment Type	2B_1 (Pre Adaptable)
Apartment Type	2 Bedroom + Study
Internal Area	84 m ²
Balcony Area	20 m ²
Internal Storage Volume	11.26 m ³
External Storage Volume	4 m ³
ABCB Livable Housing Design Standard	Standard for Livable Housing Design
AS 4299 Adaptable	Yes
Kitchen Type	K_3

Apartment Type	2B_1 (Post Adaptable)
Apartment Type	2 Bedroom
Internal Area	84 m ²
Balcony Area	20 m ²
Internal Storage Volume	7.08 m ³
External Storage Volume	4 m ³
ABCB Livable Housing Design Standard	Standard for Livable Housing Design
AS 4299 Adaptable	Yes
Kitchen Type	K_3

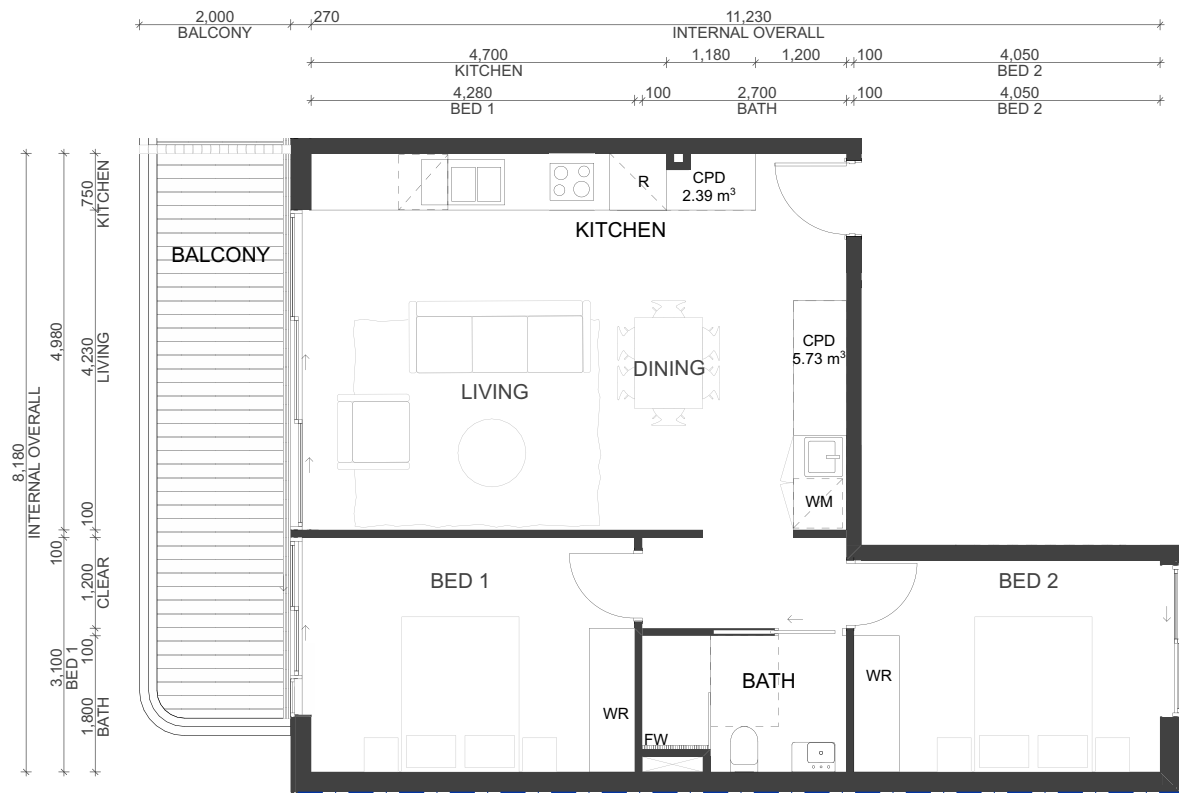
Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue



Apartment Type	ST_1
Apartment Type	Studio
Internal Area	46 m ²
Balcony Area	9 m ²
Internal Storage Volume	6.01 m ³
External Storage Volume	0 m ³
ABCB Livable Housing Design Standard	Standard for Livable Housing Design
AS 4299 Adaptable	No
Kitchen Type	K_1

Apartment Type	1B_1
Apartment Type	1 Bedroom
Internal Area	67 m ²
Balcony Area	14 m ²
Internal Storage Volume	6.11 m ³
External Storage Volume	0 m ³
ABCB Livable Housing Design Standard	Standard for Livable Housing Design
AS 4299 Adaptable	No
Kitchen Type	K_2

Rev	Date	Description
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Apartment Type	2B_1
Apartment Type	2 Bedroom
Internal Area	70 m ²
Balcony Area	15 m ²
Internal Storage Volume	8.12 m ³
External Storage Volume	4 m ³
ABCB Livable Housing Design Standard	Beyond Minimum Voluntary Standard
AS 4299 Adaptable	No
Kitchen Type	K_2

Rev	Date	Description
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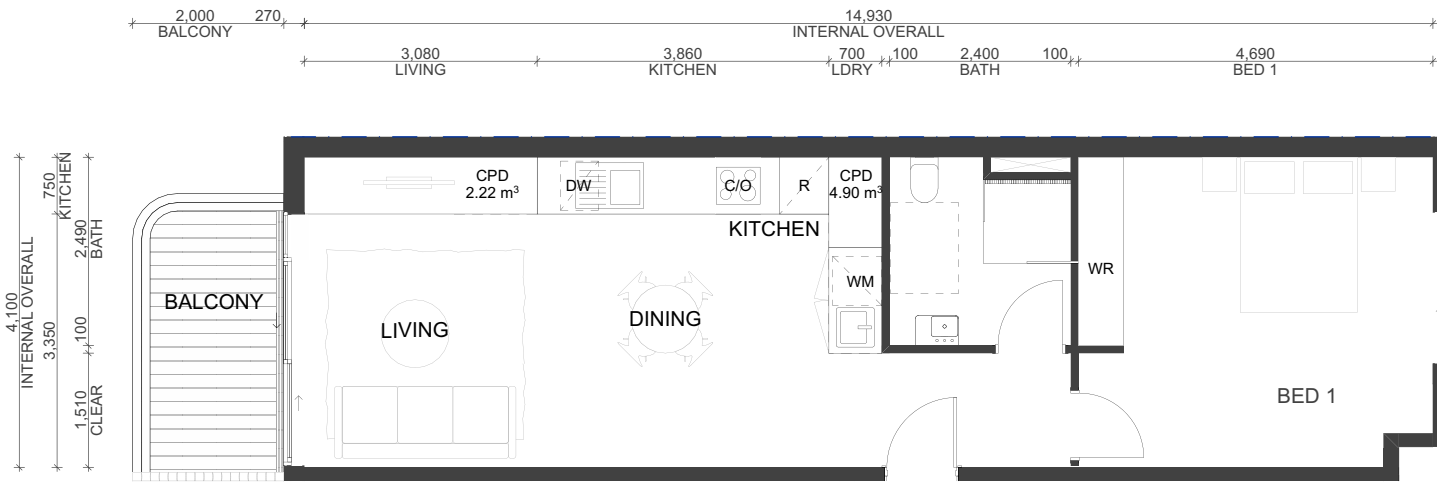
Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

Drawing No.	A-370-6
Name	Apartment Detail Plans 0m setback adaptation
Scale	1:100 @ A3

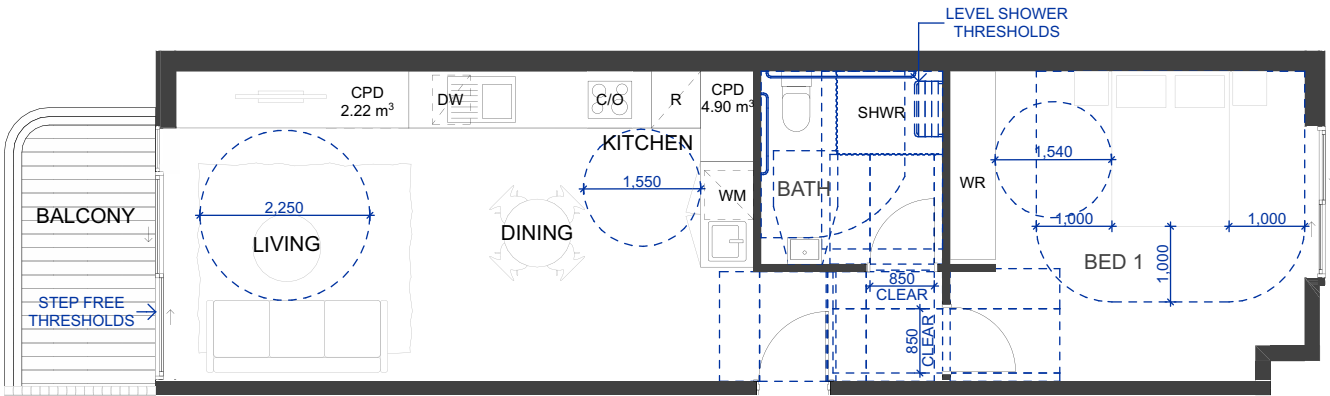
Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

Pattern Code	SLA01
Name	Small Lot Apartments 01 by Collins & Turner

Drawing No.	A-370-7
Name	Apartment Detail Plans 0m setback adaptation
Scale	1:100 @ A3



Apartment Type	1B_2
Apartment Type	1 Bedroom
Internal Area	60 m²
Balcony Area	8 m²
Internal Storage Volume	7.12m³
External Storage Volume	3 m³
ABCB Livable Housing Design Standard	Beyond Minimum Voluntary Standard
AS 4299 Adaptable	Yes
Kitchen Type	K_2



Apartment Type	1B_2
Apartment Type	1 Bedroom
Internal Area	60 m²
Balcony Area	8 m²
Internal Storage Volume	4.46 m³
External Storage Volume	3 m³
ABCB Livable Housing Design Standard	Beyond Minimum Voluntary Standard
AS 4299 Adaptable	Yes
Kitchen Type	K_2