

NSW Housing Pattern Book

SMALL LOT APARTMENTS 02

by Nguluway DesignInc

A sculptural apartment building with earthy material palette and thoughtful in-between spaces for neighbours to connect with Country and each other

November 2025



GOVERNMENT
ARCHITECT
NEW SOUTH WALES

About this document

This document explains the specific requirements for the pattern called **Small Lot Apartments 02 by Nguluway DesignInc.** This pattern is part of the NSW Housing Pattern Book as referred to in the State Environmental Planning Policy (Housing) Amendment (Mid-rise housing patterns) 2025.

The document provides an overview of what this pattern offers. It explains where housing based on this pattern can be located and how the design can be adjusted to suit user preferences and site requirements within the development standards defined for this pattern.

The technical drawings describe the pattern design in detail. Once you have selected a suitable pattern and paid the administrative fee, you can download the digital drawing package in DWG format for use by your architect or accredited designer to prepare your development application.

Using the pattern book

- 1

You are here:
Explore patterns and engage a designer

Explore the patterns available on the NSW Housing Pattern Book website and identify which ones might be suitable to your site and requirements. If you decide to proceed, engage an architect or building designer who will be able to support you through the pattern book development process.
- 2

Select a pattern and adapt it to your site and preferences
- 3

Prepare drawings and information for a planning application
- 4

Understand the streamlined development application pathway
- 5

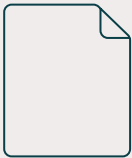
Lodge your application through the streamlined development application process

Related documents and supporting information

NSW Housing
Pattern Book website

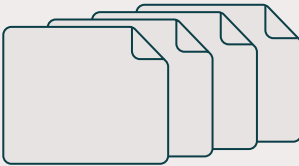


Website

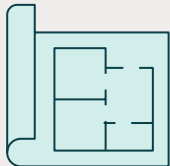


Legislation

Mid-rise pattern packs



Mid-rise pattern packs



Mid-rise pattern
DWG drawings

Supporting documents



Design
verification
statement



NSW Housing
Pattern Book Landscape
design guide



Terms and
conditions



Mid-rise pattern
technical guide

Highlighted content is available after purchase

Contents

1. Small Lot Apartments 02 by Nguluway DesignInc	4	2. Requirements and adaptations	7	3. Technical drawings		4. Technical information	
About this pattern	4	Planning overview	8	Drawing list		Services	A-400 series
Easy to live in	5	Development standards and planning information for Small Lot Apartments 02 by Nguluway DesignInc	9	Pattern adaptations	A-200 series	Services diagrams	
For everyone and every place	5	Concept design	10	Floor plans	A-300 series	Structural diagrams	
Sustainable and energy efficient	6	Design features	11	Basement plans*		Building elements	A-410 series
Smart and flexible	6	Siting	12	Floor plans*		Window and door schedules	
		Pattern adaptations	13	Roof plans*		Details	A-420 series
		Material summary	14	Adaptation plans*		Character details	
		Pattern selections template	15	Sections and elevations		Construction details	
		Technical considerations	16	Sections*	A-350 series	Areas and yield	A-430 series
		Waste	17	Elevations*	A-360 series	Area calculations	
		Parking and traffic	18	Typical apartments		Landscape calculations	
				Apartment types*	A-370 series	Supplementary drawings	A-500 series
				Renders and materials		Solar studies	
				Material palettes	A-380 series	Typical joinery and wet areas	
				Render illustrations	A-390 series	Typical wall types	

Note: When you pay the fee you will receive technical drawings in PDF and DWG formats, technical guidance, an editable design verification statement and your unique identification number.

**Drawing will be available in DWG format.*

SMALL LOT APARTMENTS 02

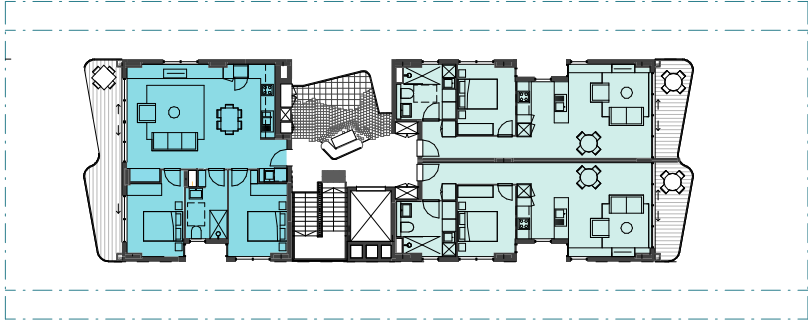
by Nguluway DesignInc

- The architects designed:**
- A family-friendly apartment building that is adaptable to a range of settings in NSW
- Earthy materials and colours that reflect and respond to local Country
- A mix of generous 1-bedroom, 2-bedroom and 3-bedroom homes designed for comfortable living
- Communal spaces on each level that act as ‘brackish’ spaces that support connecting to Country and foster neighbourly ties
- Integrated sustainability including solar access, cross-ventilation, rainwater tanks and rooftop solar panels
- Homes that reflect and respond to the NSW Apartment Design Guide for the benefit of future residents

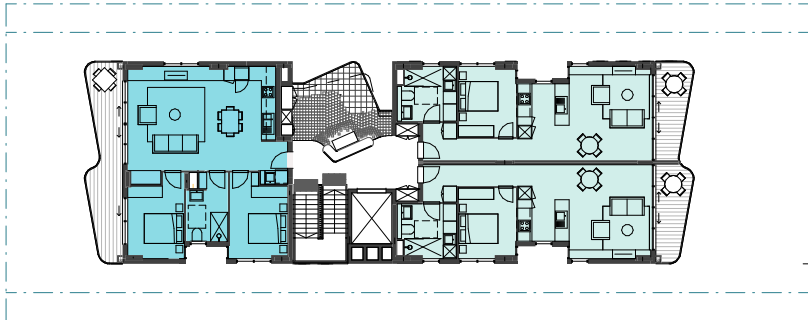
About this pattern

- Site suitability** – Suits an infill mid-block site
- Optimal orientation** – Designed to adapt to a range of orientations
- Development type** – Residential flat building
- Permissibility** – Transport-oriented development areas and in low and mid-rise housing areas
- Ownership** – Suitable for strata, company title or build to rent
- No. of storeys** – 3 or 4
- No. of dwellings** – 6 to 14
- Mix of dwelling types** – 1 to 3-bedrooms
- Site width** – Suits minimum lot width between 13.6–16.6 m
- Site length** – Suits minimum lot length between 42–52 m
- Site area** – Suits lot area between 571–863 m²

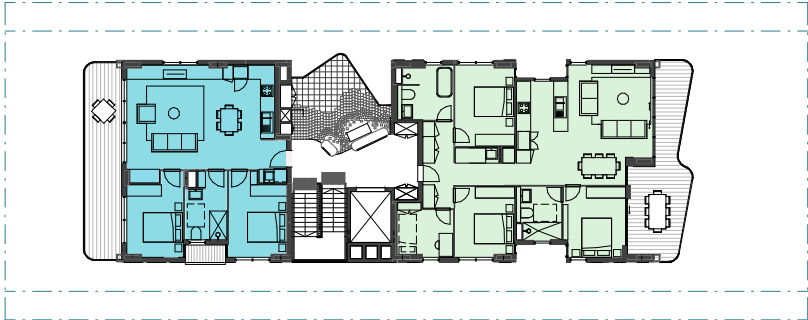
Third floor



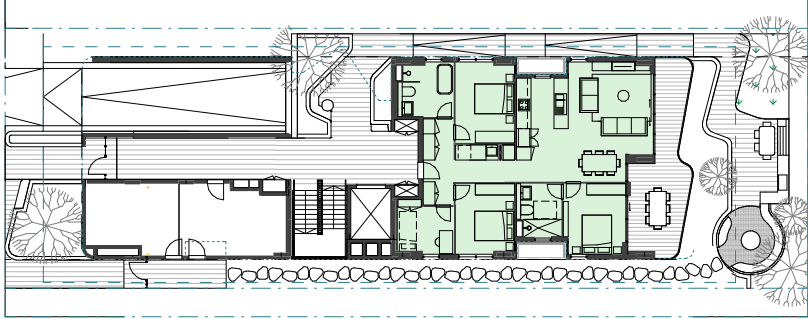
Second floor



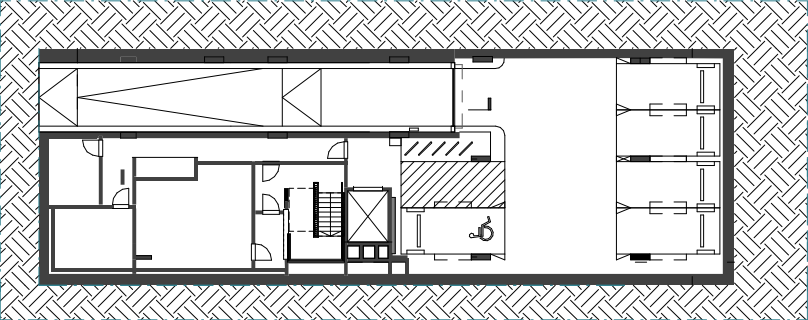
First floor



Ground floor



Basement



- Studio
- One bedroom
- Two bedroom
- Three bedroom

Not to scale



Front view of the design from the street



Interior view of the kitchen and living areas looking onto the balcony

Easy to live in

The pattern is designed for a wide range of households and lifestyles, with a strong focus on community and shared common areas within the apartment building. This pattern would suit:

Single and couples – spacious 1-bedroom apartments and good communal space to connect with neighbours

New parents and families – well-designed 2-bedroom apartments with generous balconies and 3-bedroom apartments with flexible rooms that could be used as a nursery or playroom

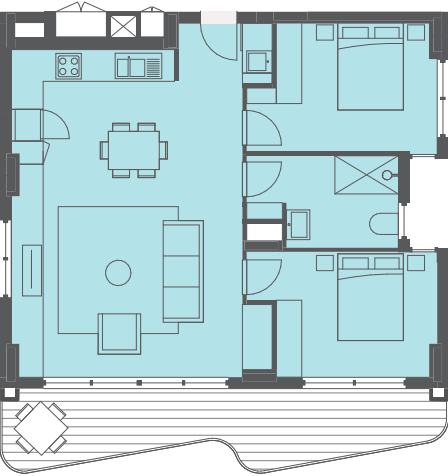
Co-living and multigenerational families – the compact building design would suit families living side by side in their own self-contained apartment

Downsizers – several apartments are designed for easy adaptation to support mobility, access and aging in place

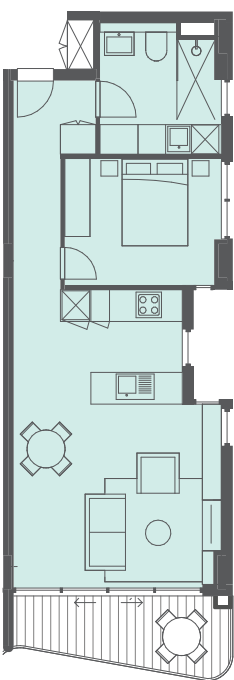
► Refer to A-370 series for full range of apartment types

Base pattern mix	Studio	1-bed	2-bed	3-bed	4-bed
Number of dwellings	—	4	3	2	—
Bedrooms per dwelling	—	1	2	3	—
Bathrooms per dwelling	—	1	1	2	—
Floor area per dwelling	—	63.5m ²	75m ²	118m ²	—

Example 2-bed apartment



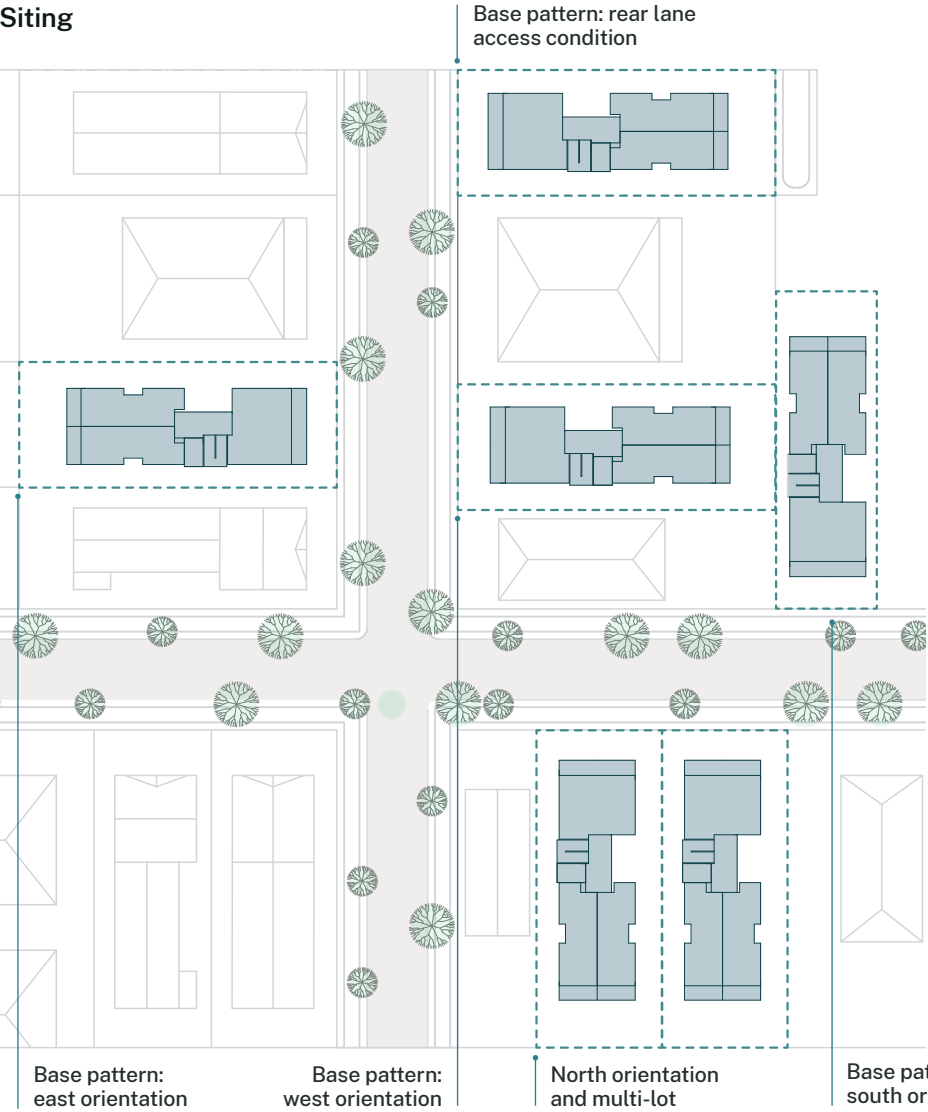
Example 1-bed apartment



Not to scale

For everyone and every place

Siting



Designed for compact lots in infill or greenfield locations, with one primary street frontage

The earthy facade colours are derived from the clay of the Country where the building is situated

Two material options in brick or compressed fibre cement can suit different local characters

Metal balustrades, screens, awnings and window frames should be finished with similar tones to the primary materials

Brick in variable, earthy colours



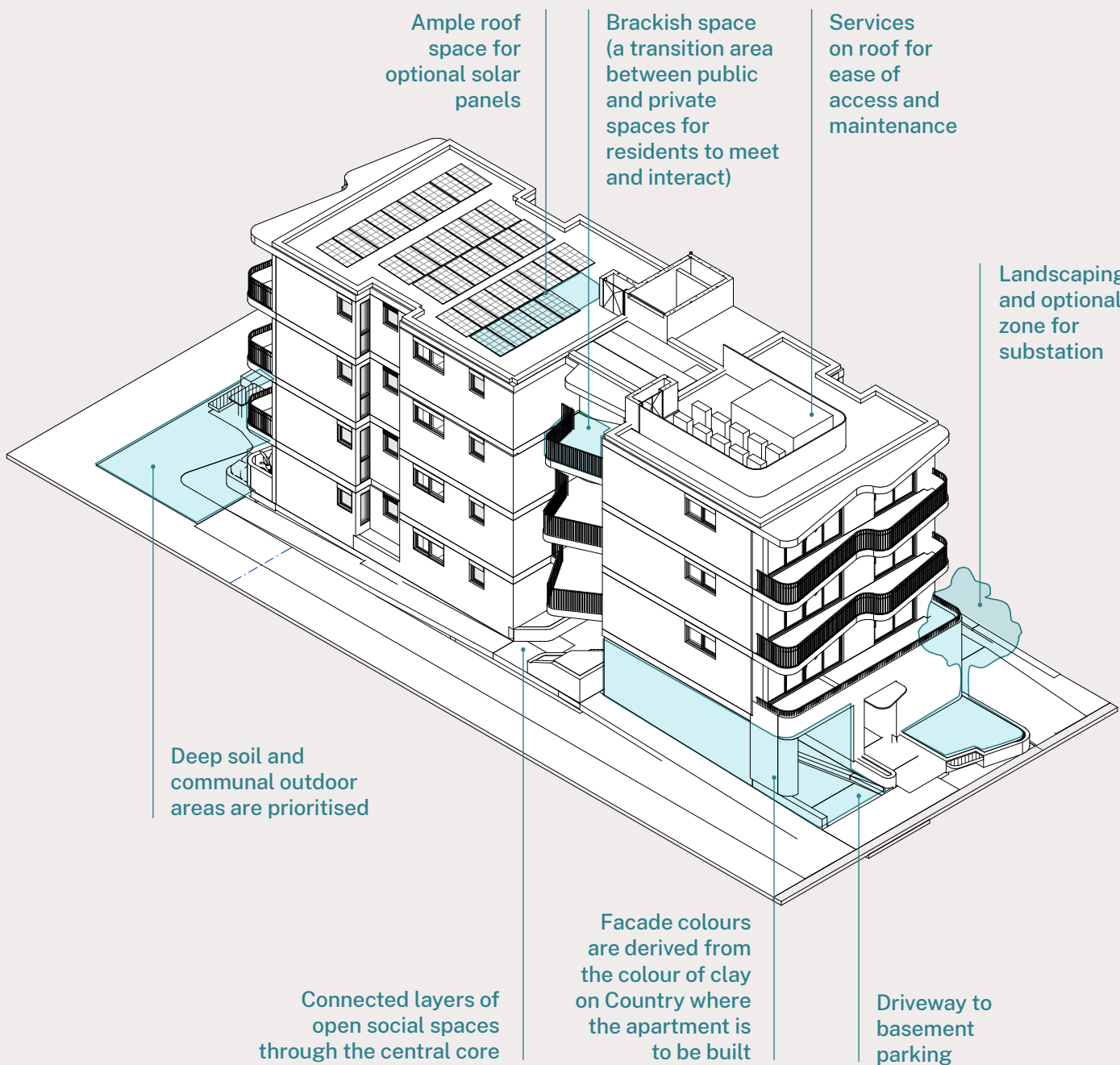
Compressed fibre cement sheet in variable colours



Sustainable and energy efficient

- Designed for compact sites and ideal for infill development
- Passive solar design keeps homes comfortable and lowers energy bills
- Daylight and cross-ventilation create healthy homes
- The roof area allows for extensive solar panel installation

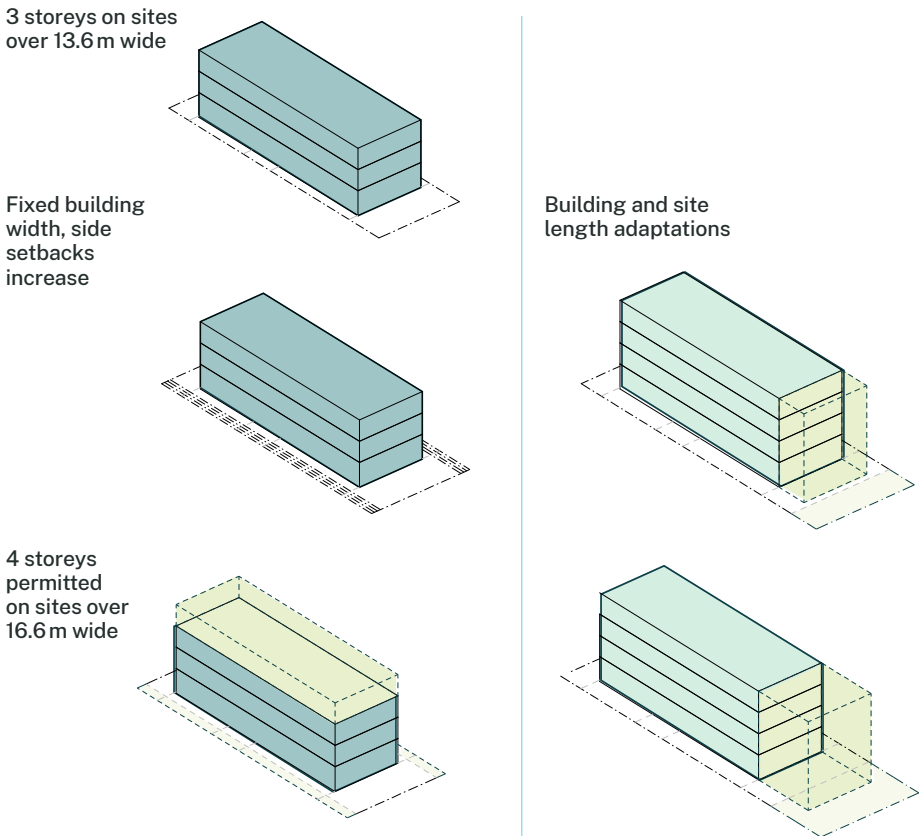
- External materials have longevity for an enduring and low-maintenance home
- Rainwater tanks collect and reuse roof water
- Ceiling fans improve comfort and energy efficiency
- All-electric dwellings provide healthier indoor environments, lower energy bills, and a smaller carbon footprint



Smart and flexible

'Brackish space' where residents can meet and interact

- This pattern can be built as a 3-storey building with a minimum lot width of 13.6m and 1.5m side setback
- This pattern can also be built as a 4-storey building with minimum lot width of 16.6m and 3m side setback
- Basement parking provided to suit site conditions and user preference
- Two earthy material palettes draw on the colours of local clays
- The design can accommodate slopes of up to 1.66m and adapt to longer sites up to 52m
- Joinery elements are indicative and can be adapted to suit the end user



SMALL LOT APARTMENTS 02

by Nguluway Design Inc

Requirements
and
adaptations



Planning overview

Planning pathways for pattern book developments

Developments using the mid-rise housing patterns must be submitted under Chapter 7 Pattern book development in State Environmental Planning Policy (Housing) 2021 (the Housing SEPP). This chapter includes provisions for mid-rise housing pattern development to be eligible for a reduced assessment period for development application (DA).

Excluded land

The proposed SEPP does not apply to land affected by certain hazards and constraints that have been identified by the Department as unsuitable for the policy. This land includes: bushfire-prone and certain flood-prone land in high risk locations, State heritage items, local heritage items and heritage conservation areas. To understand the full list of exclusions refer to Chapter 7 Pattern book development in the Housing SEPP.

Design verification statement

Pattern book development applications must include a written statement known as the NSW Housing Pattern Book design verification statement mid-rise (DVS mid-rise) completed by a qualified designer (i.e. an architect) in accordance with *Environmental Planning and Assessment Regulation 2021*. A template of this statement can be found on the NSW Housing Pattern Book website and is included in the download package when purchasing a pattern.

The DVS mid-rise must confirm the proposed development will comply with the development standards, location requirements, technical drawing set and technical information specific to the proposed pattern. The architect must confirm that all fixed and adaptable design features required by the pattern are evident in the submitted development application.

The statement will help the consent authority to determine whether a proposed development complies with the original pattern design and is eligible to be considered pattern book development.

Qualified designer

The design verification statement (mid-rise housing patterns) must be completed by a qualified designer which is defined as an architect registered by the NSW Architects Registration Board under the *Architects Act 2003*. They must include their professional registration details in the statement.

Note to assessors

To be considered pattern book development, a development application using a mid-rise housing pattern must meet the required planning obligations. This includes complying with development standards, location requirements, and technical drawing set and technical information included in the pattern, as verified in the design verification statement (mid-rise housing patterns).

Design integrity

The design integrity of the pattern must be reflected in the submitted design. The submitted design should not be modified beyond the defined adaptations and parameters of the pattern.

Apartment Design Guide

This pattern design has been developed with reference to the Apartment Design Guide (ADG) and having undergone rigorous review has been endorsed as having considered the ADG. The development standards and pattern requirements in this document ensure that developments using this pattern can achieve the 9 design quality principles identified in Schedule 9 of the housing SEPP. Further assessment against Schedule 9 or the ADG is therefore not required for pattern developments.

Landscape and significant trees

As well as meeting landscape-related development standards set out below, pattern book developments must show how they have considered the NSW Housing Pattern Book *Landscape design guide* which provides advice on creating a landscape plan for the patterns and includes suggested planting lists. This includes consideration of tree canopy requirements.

Sites requiring change or removal or pruning of significant trees or vegetation must seek any necessary approvals from the relevant council in accordance with their requirements.

The NSW Housing Pattern Book Landscape design guide can be downloaded from the NSW Housing Pattern Book website for additional information.

Privacy

Privacy has been addressed within the pattern designs with solutions provided including fixed and optional screening and required setbacks to accommodate appropriate building separation.

Cross-ventilation

All apartments achieve cross-ventilation in accordance with guidance in the ADG.

Sustainability

Consistent with all residential developments in NSW, pattern book developments must demonstrate how they meet Building Sustainability Index (BASIX) and Nationwide House Energy Ratings Scheme (NatHERs) targets and compliance. Each pattern includes guidance on how to achieve these requirements, along with optional sustainability features such as solar panels and upgraded performance features.

► [Refer to the Mid-rise pattern book technical guide for details.](#)

Height and density bonuses under environmental planning instruments

Any application of height or density bonuses under an environmental planning instrument, such as the Affordable Housing Bonus (State Environmental Planning Policy (Housing) 2021), must be accommodated within the maximum height variation of this pattern.

Development standards and planning information for Small Lot Apartments 02 by Nguluway DesignInc

Planning requirements

Developments applying this design from the pattern book must adhere to the planning requirements specified below to be eligible to be assessed as pattern development under Chapter 7 Pattern Book Development in the Housing SEPP. The development standards and location requirements for this pattern prevail in the case of any inconsistency with equivalent development standards in other relevant environmental planning instruments (i.e. SEPP or LEP) or equivalent requirements in a Development Control Plan.

Development type

Residential flat building

Applicability

Permitted in low and mid-rise (LMR) housing areas under section 163 of the Housing SEPP and transport-oriented development (TOD) housing areas under Chapter 5 of the Housing SEPP where this type of development is permissible with consent.

Development standards

The following development standards are specific to Small Lot Apartments 02 by Nguluway DesignInc. They apply where this pattern is proposed as pattern book development under Chapter 7 Pattern Book Development in the Housing SEPP.

Location requirements (site response)

Solar access

All pattern book developments need to demonstrate that adequate solar access to 70% of residential apartments (2 hours of direct sunlight to living spaces between 8am to 4pm) can be achieved in response to site conditions. This pattern can achieve at least 70% solar access between 8am to 4pm and has been tested under a common set of conditions which are explained in siting and technical information sections of this document.

Overshadowing

All pattern book developments need to minimise overshadowing impacts to neighbouring sites. Neighbouring sites should receive a minimum 3 hours of sunlight to at least 50% of private open space areas between 9am and 3pm on 21 June. Overshadowing impacts must be evidenced in the DA submission through sun shadow diagrams.

Setbacks may need to be increased to maximise solar access and to minimise overshadowing from adjoining buildings.

Site type

This pattern can only be used in a mid-block site and is not adaptable to corner lots.

Development standards

Maximum no of storeys 4

Maximum no of dwellings	14 no more than 75% of which to be a single type
Maximum building height (m) from ground level (existing)	17.5 m See exclusions in notes (to right) Pattern development must also comply with maximum building height requirements of the relevant EPI See exclusions in notes (to right)

	3 storeys minimum pattern	4 storeys base pattern
Minimum lot size	571m ²	863m ²
Minimum lot width	13.6 m	16.6 m
Minimum side setbacks	1.5 m	3.0 m
Minimum front setback (primary street frontage)	4.0 m	4.0 m
Minimum rear setback	6.0 m	6.0 m
Minimum floor to ceiling height in dwellings	2.7 m (habitable areas) 2.4 m (non-habitable)	
Minimum deep soil area	7% = <650 m ² site area 10% = 650 – 1,500 m ² site area 15% = >1,500 m ² site area	
Waste collection (minimum requirement)	Mode: kerbside Frequency: weekly	

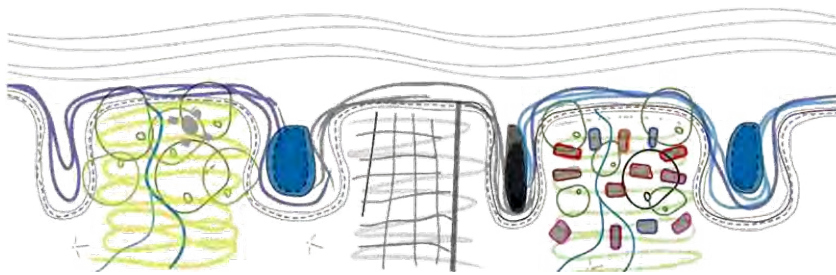
Notes on development standards for this pattern

These notes are intended to be read in conjunction with the pattern adaptations and technical drawings for this pattern.

Storeys	The maximum number of storeys for this pattern refers to habitable storeys and does not include rooftop facilities.
Height	For the purposes of this pattern the maximum building height does not apply to lift overruns and plant and services equipment. The exclusions from maximum height of building (lift overrun etc) will require additional 1.84 m of height. These are designed to have no overlooking or overshadowing impact on neighbouring amenity. The maximum building height for the pattern development standards includes allowance for adaptation to slope on the subject site.
Lot requirements and adaptations	The pattern adaptations in the technical drawings section provide guidance on adapting the base plan for different site sizes, positions (mid-block, laneway), orientations and inclusions.
Irregular lot adaptations	Patterns can be adapted to irregular shaped sites, excluding battle-axe lots, subject to meeting the minimum setback requirements.
Minimum lot width	The minimum lot width is measured at the front of the building line.
Waste	The pattern requires weekly kerbside collection with wheel-out wheel-in by building management to collection area as shown in the technical drawings section. The base pattern accommodates bin and bulky waste room areas in accordance with the calculation rates provided in this document.

Healthy relationships with Country

At its heart, the building personifies the cultural understanding that we are not separate to nature, or each other. Instead, we belong to each other and nature-instilling the truth of Belonging to Country in design.



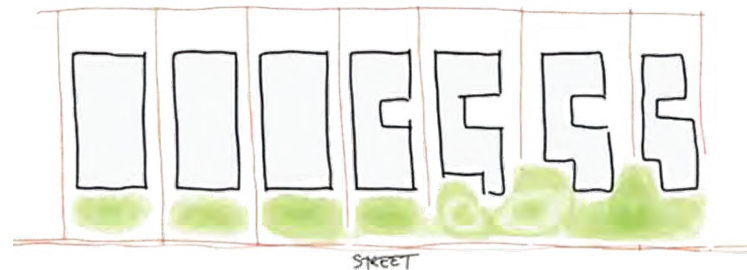
Regenerate and connect natural environments



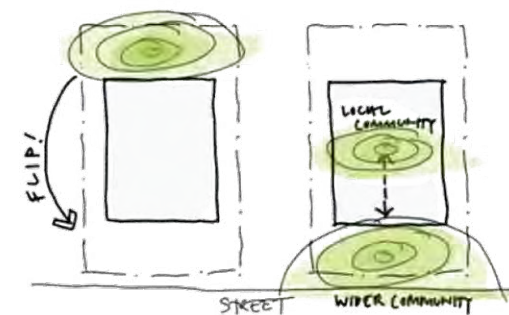
Building grounded in earth, reflect the colours of Country

Threshold magic

The building examines the opportunities that arise from blurring boundaries between neighbours, creating connected communities and ecosystems, and blurring boundaries between indoors and outdoors, creating spaces where people can connect and interact with nature and with each other.



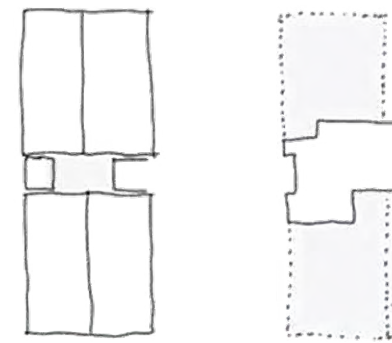
Blur boundaries between neighbours



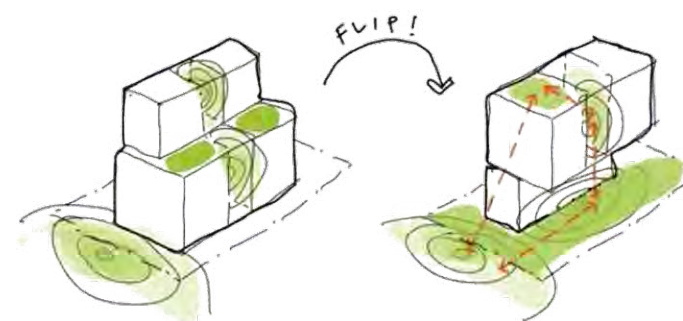
Blurring boundaries between indoors and outdoors

Communal 'brackish spaces'

The design interprets 'brackish spaces' as communal meeting spaces provided on every level of the building. The stairwells, breezeways, courtyards and gardens invite incidental encounters and purposeful gathering, facilitating connection, and countering isolation.



Make remnant circulation spaces active communal spaces



Connect layers of communal space throughout the building

Concept design

This page provides an overview of the design concepts that underpin this pattern. It includes key features of the structure and form, provision of communal space, approach to adaptation and any other matters highlighted by the architects.

An old Dharawal story speaks of the confluence of Freshwater and Saltwater Country, known as 'brackish space' and of the magic that unfolds in their meeting. This page provides an overview of this story has been embedded into the design of this pattern.

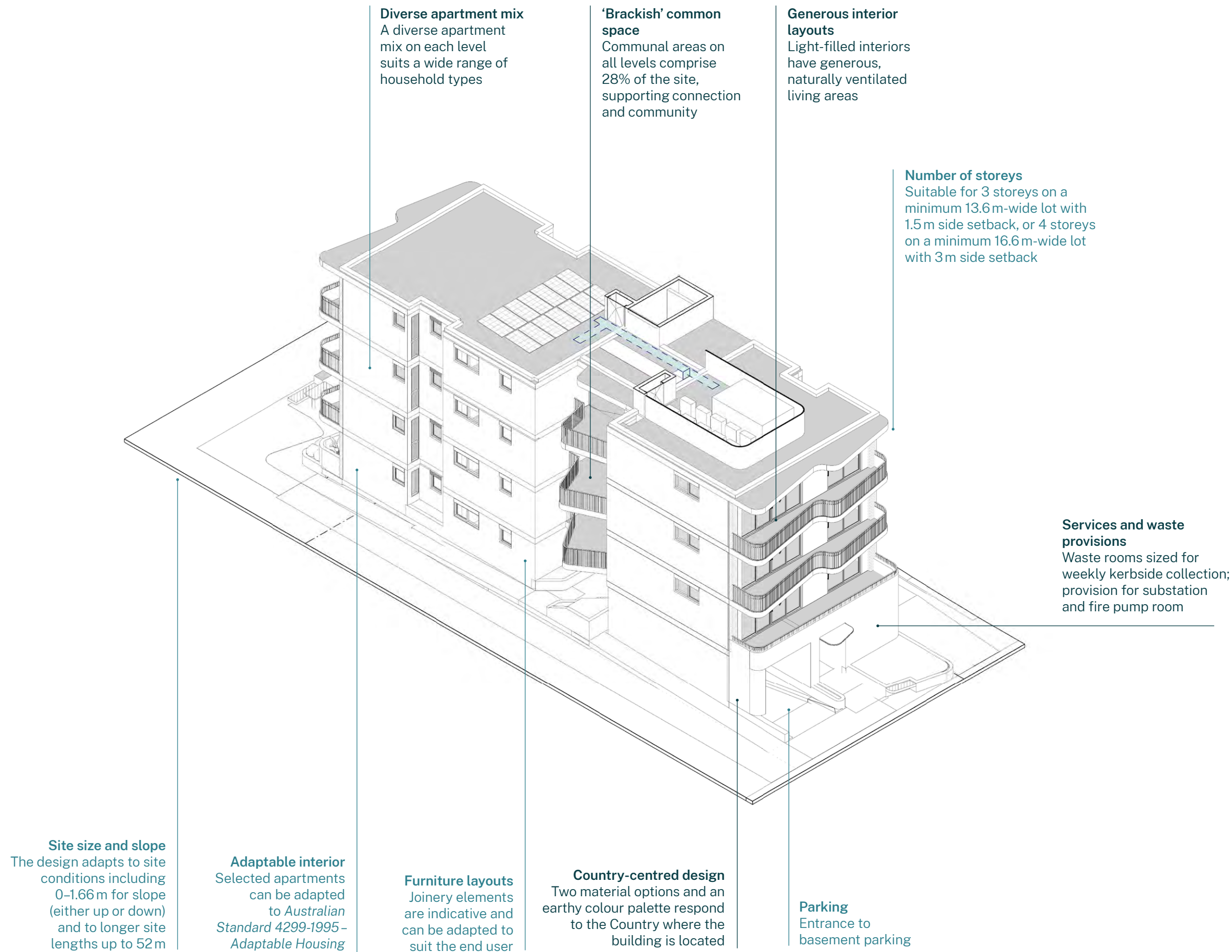
Design features

This page shows key features of the pattern including form and structure, services, communal space, sustainable features and any other matters highlighted by the architects.

The features on this page are coloured to show the following:

- **Fixed features** – these must be strictly retained in the planning application.
- **Flexible features** – these items can be modified within the agreed parameters shown in the drawings.

Any changes to the pattern design, including flexible features, must be declared in the design verification statement as part of the planning application.



Siting

This drawing demonstrates the various urban arrangements that are available for this pattern. Pattern sites must:

- meet suitable lot type requirements (e.g. mid-block, corner, rear lane)
- meet suitable solar orientation requirements.

Refer to the planning pages of this document for further detail on the development standards of this pattern.

Find the urban arrangement that is most relevant to your site and select a suitable pattern adaptation for the site size and solar orientation.

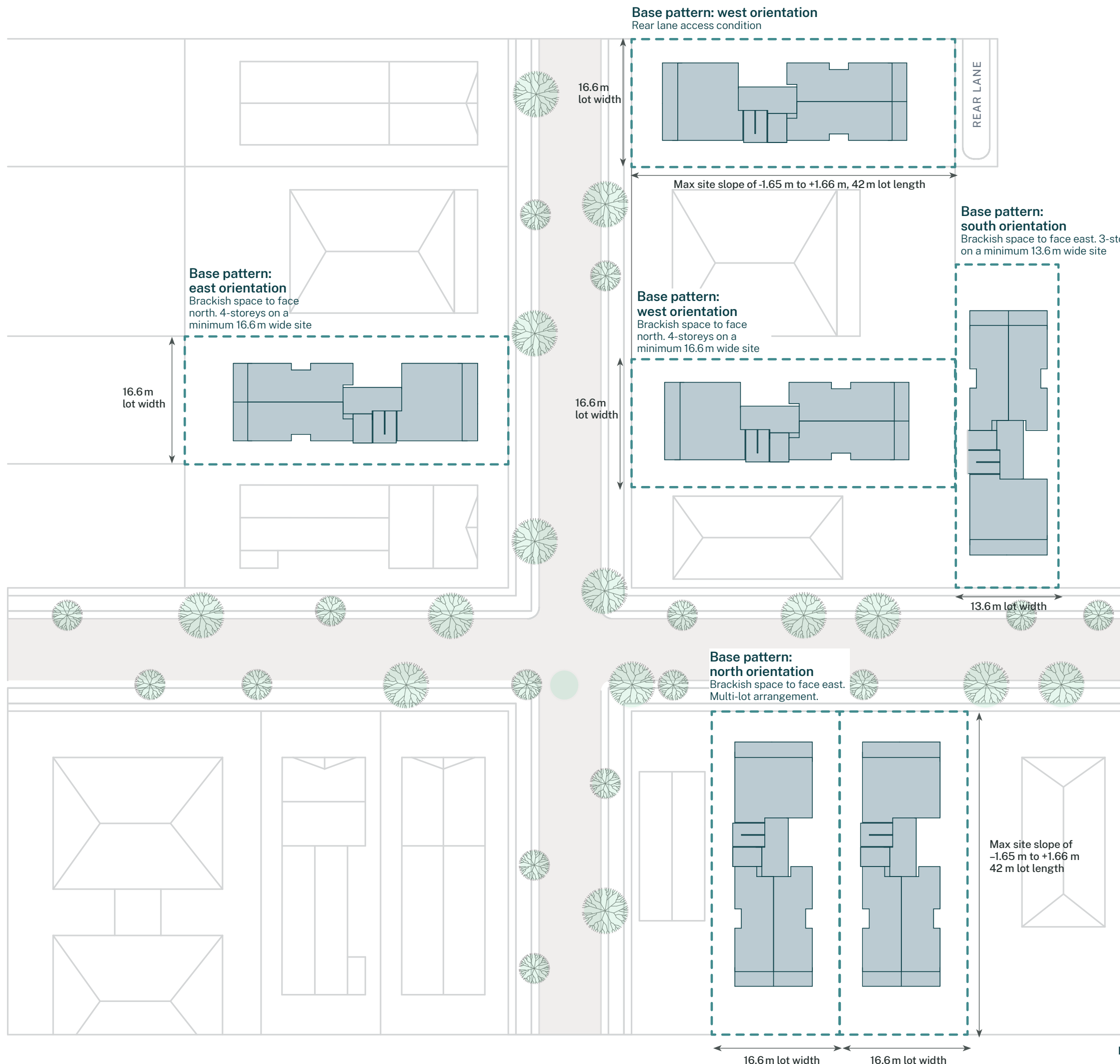
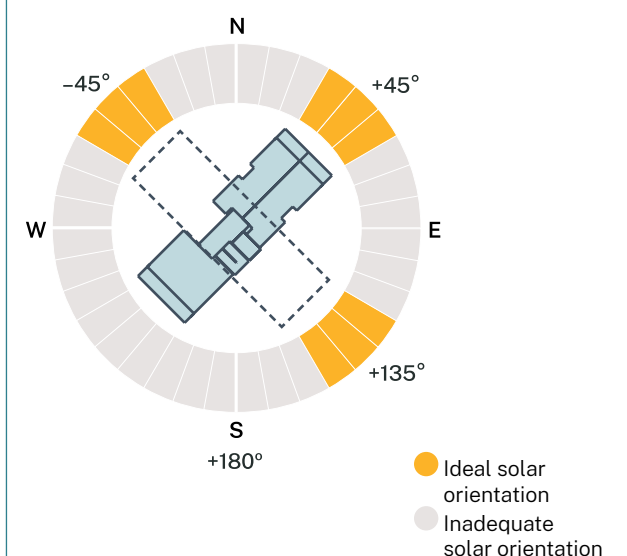
► [Refer to A-200 series for siting variants](#)

Urban arrangements and orientation

This drawing shows the orientations and block types that can use the pattern. It also indicates what a replicated pattern would look like across an urban block.

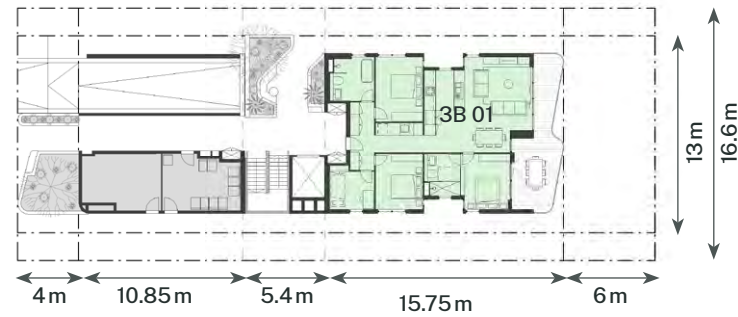
Solar orientation

Orientations where the pattern will achieve appropriate solar compliance:

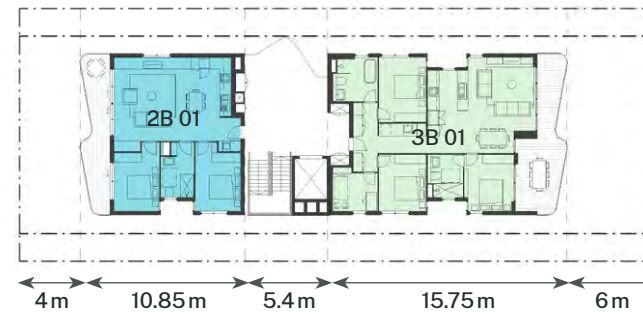


Pattern adaptations

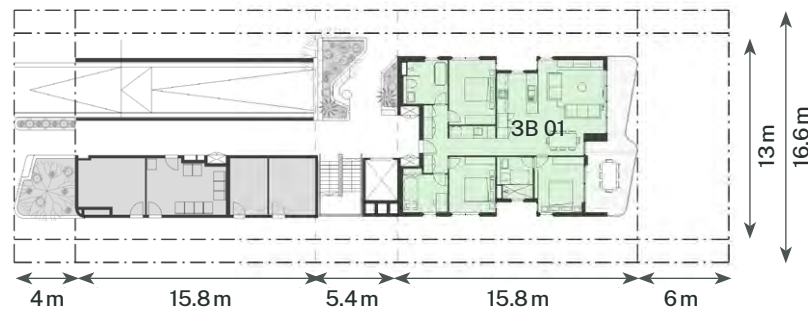
Ground floor
42m long, 13.6–16.6m wide



Typical floor
42m long adaptation



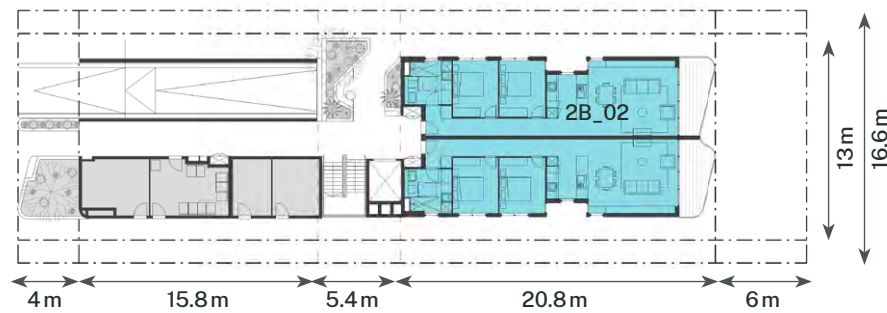
Ground floor
47m long, 13.6–16.6m wide



Typical floor
47m long adaptation



Ground floor
52m long, 13.6–16.6m wide



Typical floor
52m long adaptation



Lot size and minimum setbacks

These plans demonstrate the various lot size adaptations that are available for this pattern. Pattern sites must:

- meet minimum lot width, lot depth and total minimum lot area
- meet minimum setbacks (e.g. front, side, rear).

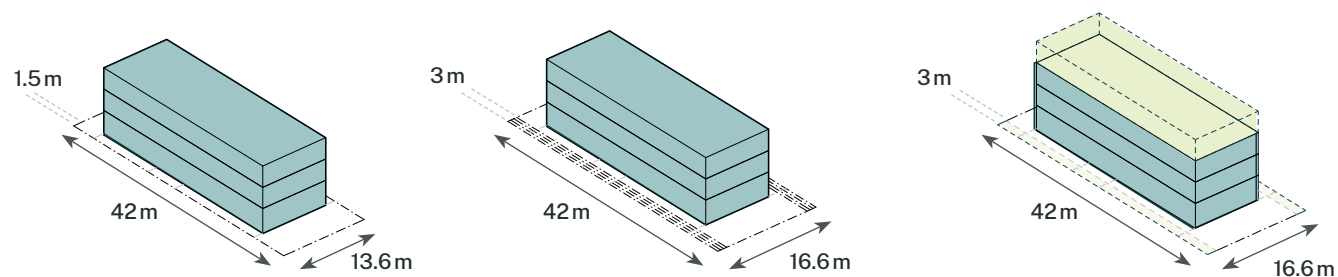
Refer to the planning pages of this document for further detail on the development standards of this pattern.

Analyse the drawing to find the most relevant example for your site, which shows required lot sizes and setbacks. Using this guidance, refer to the site plan to begin adaptation to your site.

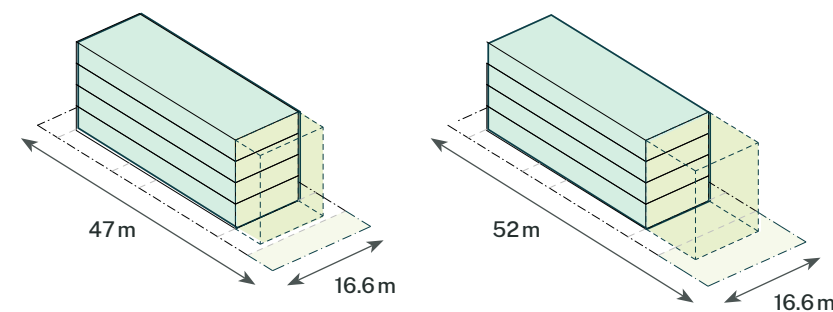
► [Refer to A-200 series for pattern adaptations](#)

- Studio
- One bedroom
- Two bedroom
- Three bedroom

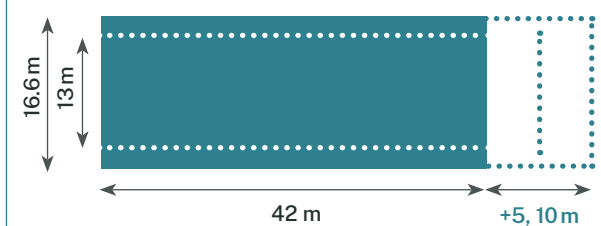
Variable side setback: 3-storeys on a minimum 13.6m-wide lot with 1.5m side setback, or 4-storeys on a minimum 16.6m-wide lot with 3m side setback



Variable site length:
3-or 4-storeys between 42-5m.setback



Site dimensions





Country

Project's colour scheme is informed by the Country where the project is situated.

The intent is that each strata is read as a uniform coloured block. Where a finish is part of the base, it should match the base colour material i.e. brick selection, mortar joints, metalwork (including window frames), paintwork etc. Where a finish is part of the 'upper', it should similarly be coloured to match the lighter tone, with the exception of metalwork which should be consistent across both base and upper.

How to use

Find the local colours of Country and adapt the colour palette according to the strategy as shown. NSW Government's eSPADE soil map index comprises a statewide dataset of soil profiles, freely available to view.

Upper

Levels 1–3 materiality employs lighter tone of Country colour, with the exception of metalwork



Base

Ground floor materiality employs darker tone of Country colour. There should be an approximate colour difference of 50% between base and upper material.



Brick palette



WF1 - Brick walls
Face brick - darker base
Colour-matched mortar



WF2 - Brick walls
Face brick - lighter top
Colour-matched mortar



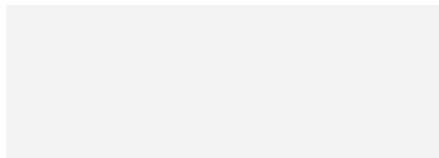
WF3 - Concrete
Planter beds, lift core, slab edges base
Paint finish - earthy red colour



WF4 - Concrete
Slab edges upper levels
Paint finish - light earth colour



MW1 - Metalwork
Aluminium powdercoat finish - dark red
(match to window framing)



CF1 - Soffit lining - Brackish space
CFC sheet
Paint finish - white



Compressed fibre cement palette



WF1 - Brick walls
Face brick - darker base
Colour-matched mortar



WF2 - Brick walls
Face brick - lighter top
Colour-matched mortar



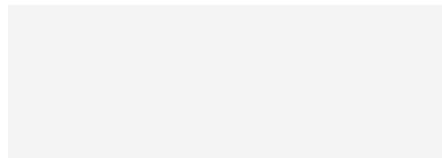
WF3 - Concrete
Planter beds, lift core, slab edges base
Paint finish - earthy red colour



WF4 - Concrete
Slab edges upper levels
Paint finish - light earth colour



MW1 - Metalwork
Aluminium powdercoat finish - dark red
(match to window framing)



CF1 - Soffit lining - Brackish space
CFC sheet
Paint finish - white



Material summary

Material selections

The patterns are available in a variety of material finishes, allowing flexibility to suit both user preferences and the unique character of each location. When selecting a material palette from these variants, consider how it complements the existing streetscape.

► [Refer to A-380 series for material palette information](#)

How geology informs materiality

The building is designed as having a 'base' (ground) and 'upper' (L1 and above). The 'base' and 'upper' stratas should be darker and lighter tones of the primary colour respectively, achieving a noticeable difference between the two.

Pattern selections

Using this guide, users can map how this pattern will be adapted to suit the specific site and meet the needs of future occupants.

Use this page to:

- Confirm the site meets the lot type, minimum frontage and area requirements of this pattern.
- Consider the parking adaptations and ground floor layouts.
- Consider the height adaptations.
- Review the lot features such as orientation and slope to inform which pattern adaptations need to be used.
- Consider the dwelling mix.
- Consider the material palette and character options available.

Refer to instructions for designers pages for the next steps, including how to use this page as part of your application.

Siting location	Lot size	Adapt for suitability	Lot features	Building character
<div><p>Lot type</p><div><input type="checkbox"/> LMR housing area site 571 m² (min) lot area 13.6 m (min) lot width <small>*Allows ABCB livable design standard</small></div><div><input type="checkbox"/> TOD housing area site 571 m² (min) lot area 13.6 m (min) lot width <small>*Allows ABCB livable design standard</small></div></div>	<div><p>Minimum lot size 1.5 m setback</p><div><input type="checkbox"/> 13.6 m (w) x 42 m (l)</div><div><input type="checkbox"/> 13.6 m (w) x 47 m (l)</div><div><input type="checkbox"/> 13.6 m (w) x 52 m (l)</div></div> <div><p>Minimum lot size 3 m setback</p><div><input type="checkbox"/> 16.6 m (w) x 42 m (l)</div><div><input type="checkbox"/> 16.6 m (w) x 47 m (l)</div><div><input type="checkbox"/> 16.6 m (w) x 52 m (l)</div></div> <div><p>Minimum setbacks</p><div><input type="checkbox"/> 4 m front setback</div><div><input type="checkbox"/> 1.5 m side setback <u>or</u></div><div><input type="checkbox"/> 3 m side setback</div><div><input type="checkbox"/> 6 m parallel street or laneway setback</div><div><input type="checkbox"/> 6 m rear setback</div></div>			

Technical considerations

Engaging a design team

To prepare a mid-rise pattern for a site-specific planning application, the user must engage a design team to adapt the pattern drawings and prepare information required for the application. The team may include architects, engineers, quantity surveyors and other specialists.

It is the responsibility of the developer to investigate and understand the legal, financial, environmental and planning matters and risks of undertaking pattern book development on a chosen site.

Units and measurement

The pattern designs have been drafted to standard drawing scales. Site measurements are generally identified as a minimum, allowing users to make site specific adjustments. Should discrepancies exist, refer to the development standards table. Measurements for sites have been rounded to the nearest 0.1m. Areas have been rounded up or down to the nearest 5m².

NCC compliance

The mid-rise patterns are capable of compliance with the National Construction Code (NCC) 2022 subject to final technical specifications and details. Additional compliance measures and reporting are required for Class 2 under the *Design and Building Practitioners Act 2020*. For Class 2 development, the proponent is required to engage a practitioner registered with the NSW Design and Building Practitioners (DBP) Scheme.

Universal design

Mid-rise pattern book dwellings must comply with the Australian Building Codes Board (ABCB) Livable Housing Design Standard, which has been adapted from the ‘silver’ level requirements of the Livable Housing Association (LHA) Livable Housing Design Guidelines.

Site slope

The pattern designs can be modified to suit gently sloping sites. The scope for this is documented in Requirements and Adaptations > Siting and Pattern adaptations.

As patterns are adjusted to meet specific site conditions, design considerations include:

- maintaining paths of travel to front doors according to the ABCB Livable Housing Design Standard
- potential for and locations of retaining walls
- stormwater management and drainage systems.

► *Refer to A-200 series for site slope adaptations*

Driveways and crossings

The location of the driveway and driveway crossing is shown on the plans. Proponents must ensure the design meets the requirements of relevant Australian Standards.

Driveways should not be affected by existing structures such as street trees, earth mounds, bus shelters, power poles or other physical features. Removal of such features may be permitted subject to council approval.

A description of parking and traffic approach and assumptions for the development of pattern designs is included in the technical guide to support the further design development of your pattern project for a specific site.

Construction and materials

The construction system for pattern designs provides efficient and coordinated planning, aligning load paths, wet areas and service risers where practical. Specific materials have been selected for the external elevations and character as shown on the materials pages.

Structural design

The pattern designs have been developed with input from structural engineers. A description of their assumptions and advice for the further development of a pattern for a specific site is included in Technical summary.

Facade design

The facade design of the mid-rise patterns designs have been developed with input from specialist consultants. A description of their assumptions and advice for the further development of a pattern for a specific site is included in the technical guide.

Entries

The location of entries into the building, into individual apartments and onto balconies, roof terraces and the like are all set by the pattern and cannot be changed.

Interior layouts

Any changes to apartment interiors must be declared in the design verification statement and cannot exceed the flexibility listed above. The position of all rooms must be in accordance with the apartment layouts provided in the pattern, this can include mirrored layouts where the pattern provides for this.

Fixture and fittings may be selected and positioned at the discretion of the applicant, except for robes and storage sizes and bathroom dimensions and clearances, as these are set by the pattern. Specification of bathroom fixtures (toilets, baths, sinks) are at discretion of the applicant provided that there is no reduction in clearances, including but not limited to those associated with liveability and adaptable apartments.

Services provision

The pattern designs have been developed with input from specialist consultants. A description for each of these disciplines and their assumptions is included in the technical guide to support the development of your pattern project for a specific site.

Fire performance

Fire risks have been discussed with Fire and Rescue NSW (FRNSW). Examples of typical fire performance solutions have been developed to assist project teams in completing fire performance documentation for their development. To ensure the safety and compliance of the development, seek expert advice from a fire consultant and consult with FRNSW as required by relevant legislation.

Services assumptions

Mechanical	1 condenser/apartment; exhausts avoid fire compartments
Electrical	Load <1000 kVA; photovoltaics (PV) roof allocation 20–100%; switchroom 20m ²
Hydraulic	2000 L grease traps; dual pump sets; risers near fixtures
Fire	1–2 hydrants based on area; 215m ² tank room; full smoke detection
Civil	On-site stormwater detention (OSD) 0–470m ³ /ha; 10kL rainwater tanks; 3.5mm/m ² /day irrigation
Rooftop condensers and risers	Per apartment
Substations	External kiosk
Kitchen / bathroom	Risers stacked for efficiency All electric appliances Clearances retained
Fire systems	Coordinated with spatial layouts
Rainwater tanks	Upstream or combined with OSD

► *Refer to Mid-rise pattern book technical guide > Services for details*

Waste

A consistent approach to waste management has been applied to the pattern to support practical and adaptable waste solutions across NSW. The approach has been derived from the NSW Environment Protection Authority (EPA) *Better practice guide for resource recovery in residential developments* and relevant legislation. It has also been informed by a review of 30 council waste guidelines, and spatial assessment of kerbside, wheel-in wheel-out (WIWO) and on-site collection options across all patterns.

Program objectives

The pattern approach to waste management aims to:

- enable consistent, affordable and practical waste management solutions that can suit unknown future sites
- align with the NSW EPA Better practice guide and relevant legislation
- provide a clear planning pathway for waste collection and storage planning in the patterns that can be applied statewide to address variability in council requirements.

Assumptions

The waste design for patterns assumes that:

- Waste collection is council-managed (not private) and there is a weekly pick-up for all streams.
- Low-tech solutions and manual manoeuvring are allowed for as building managers may not be available to operate complex equipment. If equipment (for example bin lifts, compactors) is needed for large lots, this is shown on the drawings.
- Allowance has been made for general, recycling and organic waste streams, as waste consolidation may be impractical for small-scale developments due to spatial and operational constraints. Bulky waste storage has also been provided.
- Basement waste collection has been limited, due to spatial constraints on small lot sites.
- Waste generation estimates and bin room sizing are designed to accommodate weekly and fortnightly collection.

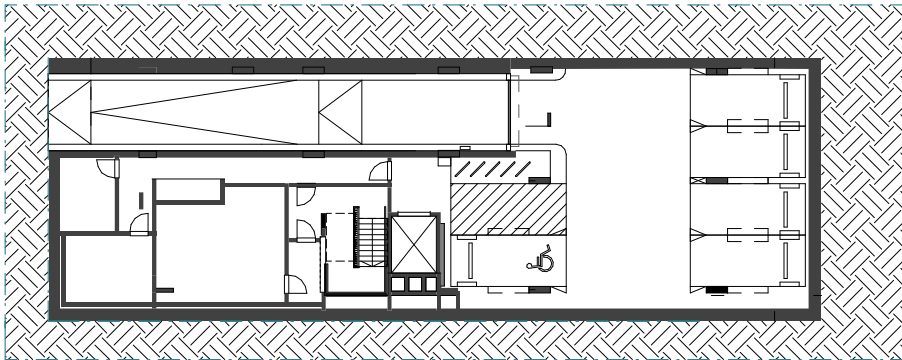
Collection method

- Kerbside: all streams weekly

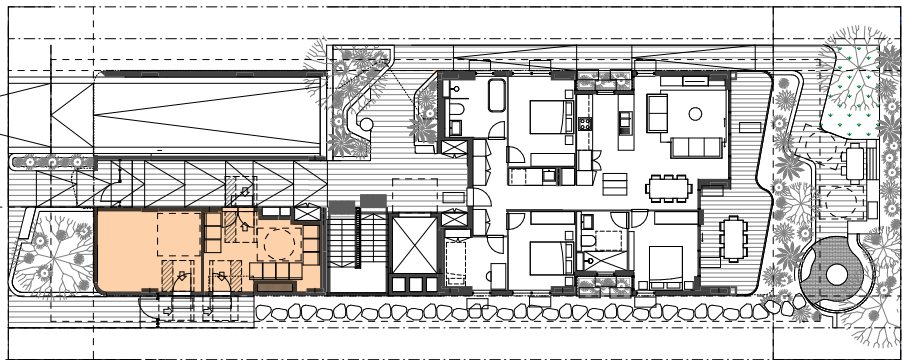
Seek advice

Refer to the NSW EPA Better practice guide early, with advice from a waste consultant as required.

Basement



Ground floor plan – basement parking



Metrics (assumptions)

Waste generation rates per unit

Studio/1-bed	80 L general 80 L recycling 25L organics/week
2-bed	100 L general 100 L recycling 25L organics/week
3-bed	120 L general 120 L recycling 50L organics/week

Bulky waste

Up to 40 dwellings	10 m ²
--------------------	-------------------

Per 10 additional dwellings	+2 m ²
-----------------------------	-------------------

Problem/textile waste	Optional 1 m ²
-----------------------	---------------------------

Waste generation rates for the base pattern

Type 1 (11 units):	1020 L general 1020 L recycling 325 L organics/week
--------------------	---

Nominal bin room sizing	24 m ²
-------------------------	-------------------

Kerbside collection requirements

Weekly collection of all streams

Sizing for the base pattern

Maximum number of 240-L bins to be presented at kerbside every week	9
---	---

Parking and traffic

Approach

There is one option available for off-street parking in this pattern: a basement parking arrangement. The basement parking arrangement complies with Australian Standards. Basements can be replanned as required but must not alter other pattern requirements outlined in this document.

Objectives

- Ensure compliance with Australian Standards (AS2890 series).
- Provide spatial planning guidance for residential and service vehicle parking.
- Address site-specific constraints and public domain interfaces.
- Recommend technical solutions for restricted access scenarios.

Assumptions

- Site interfaces with public roads vary across NSW and influence design.
- Residential parking is primarily Class 1A.
- Heavy vehicle access must be forward in/forward out.
- Ramp designs assume a typical 3m level difference.
- Heavy vehicle parking is ideally placed on ground level, outside building structures.

Brief

- Mid-rise pattern book schemes vary in topography and planning context.
- Basement and at-grade parking options are considered.
- Designs for residential off-street parking consider:
 - space dimensions
 - ramp grades
 - driveway access.
- Recommendations for heavy vehicle parking and service bay dimensions are shown.
- Technical solutions are provided for narrow or restricted access corridors.
- Emphasis on compliance and practical implementation across diverse site conditions.

Seek advice

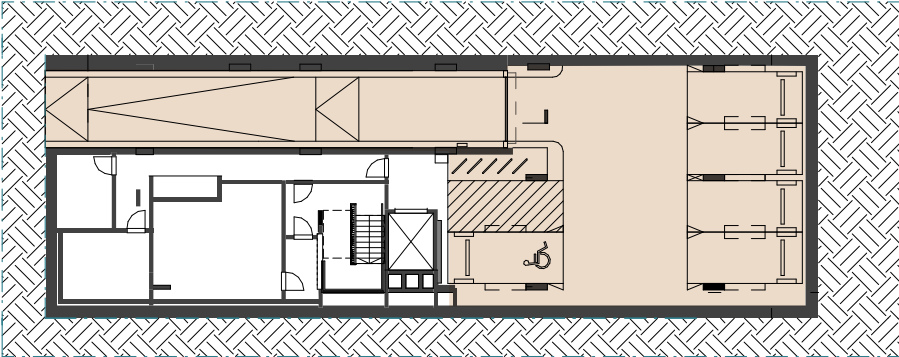
- Further design refinement should consider:
- updated AS2890.1 standards (pending renewal)
 - integration with public domain and pedestrian pathways
 - operational feasibility of vehicle priority systems.

These diagrams demonstrate pattern adaptations available for parking configurations.

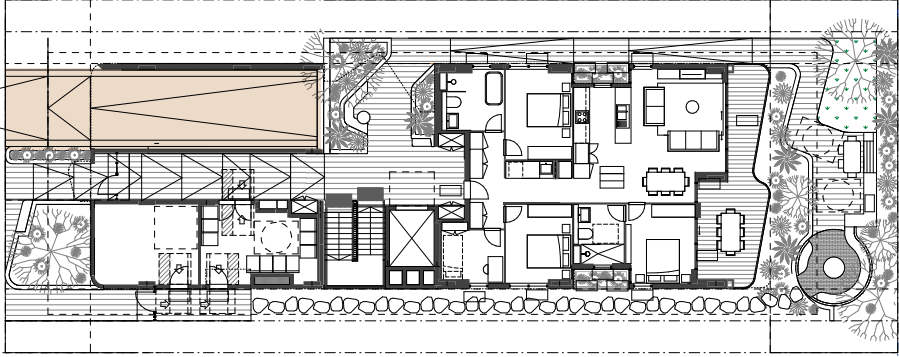
Analyse the diagrams and user requirements to find the most suitable adaptations for your development.

► Refer to A210, A311 and A-350 series for ground floor and basement plans and sections

Basement parking



Ground floor plan – basement parking



Metrics (assumptions)

Residential parking dimensions	90° angled: 5.4 m x 2.4 m (aisle: 5.8 m or 6.1 m with obstruction)
Parallel	2.1 m width (2.4 m with obstruction), 5.9–6.3 m length
Ramp grades	2 m @ 12.5%, 11 m @ 25%, 2 m @ 12.5%
Driveway access	6 m section at 1:20 slope for waiting and pedestrian access
Access ramps accommodated by designs	Single-width
Vehicle priority systems recommended for safe access	Small sites: traffic lights and convex mirror

SMALL LOT APARTMENTS 02

by Nguluway DesignInc



Drawing list

Drawing no.	Drawing title	Scale	Rev
A-100	Sub-cover and list of drawings		01
A-200	Designing with Country principles		01
A-201	Pattern adaptations –base pattern design concepts		01
A-202	Base pattern		01
A-202	Pattern adaptations		01
A-202	Pattern adaptations –siting and orientation		01
A-205	Solar pinwheel diagram		01
A-206	Lot size and mix variants		01
A-207	Pattern adaptations –topography		01
A-310-1	B01 plan –basement parking N/S orientation		01
A-311-1	L00 plan –basement parking N/S orientation		01
A-312	L01 plan –basement parking N/S orientation		01
A-313	L02 plan –basement parking N/S orientation		01
A-314	L03 plan –basement parking N/S orientation		01
A-315	Roof plan –basement parking N/S orientation		01
A-350	Section A–A		01
A-351	Section B–B		01
A-352	Section C–C		01
A-360-1	North elevation and adaptations		01
A-360-2	South elevation		01
A-360-3	Elevations and adaptations		01
A-370-1	Apartment plans		01
A-370-2	Apartment adaptation plans		01
A-370-3	Apartment plans		01
A-370-4	Apartment plans		01
A-380	Material palette guide		01
A-381	Materials palette		01
A-382	Materials palette		01
A-390	Rendered views 01		01
A-391	Rendered views 02		01
A-392	Rendered views 03		01
A-393	Rendered views 04		01
A-394	Rendered views 05		01
A-395	Illustrative axonometric view –key features		01
A-396	Illustrative axonometric view –adaptable elements		01

Drawing no.	Drawing title	Scale	Rev
A-400	Services diagrams		01
A-401	Structure diagrams		01
A-410	Window and door schedule		01
A-411	Key facade element types		01
A-420	Key detail plans		01
A-423	Key details sections		01
A-430	Area calculations		01
A-431	Area calculations		01
A-434	Area calculations		01
A-435	Area calculations		01
A-500	Solar access diagrams		01
A-510	Cross-ventilation		01
A-520	Wet area drawings		01
A-521	Wet area drawings		01
A-522	Wet area drawings		01
A-530	Wall types		01
A-540	Maintenance/access diagram		01

LOT WIDTH ADAPTATION

The base pattern can be adapted to site widths ranging from 13.6m to 16.6m. If the width is:

Between 13.6m to 16.5m: Only 3 storeys is permissible, with a minimum 1.5m side setback.

Above 16.6m: 4 storeys is permissible, with a minimum 3m side setback.

Note: For sites smaller than the base pattern it is noted that the FSR/GFA maximum may not be achievable for both variations of width and lengths.

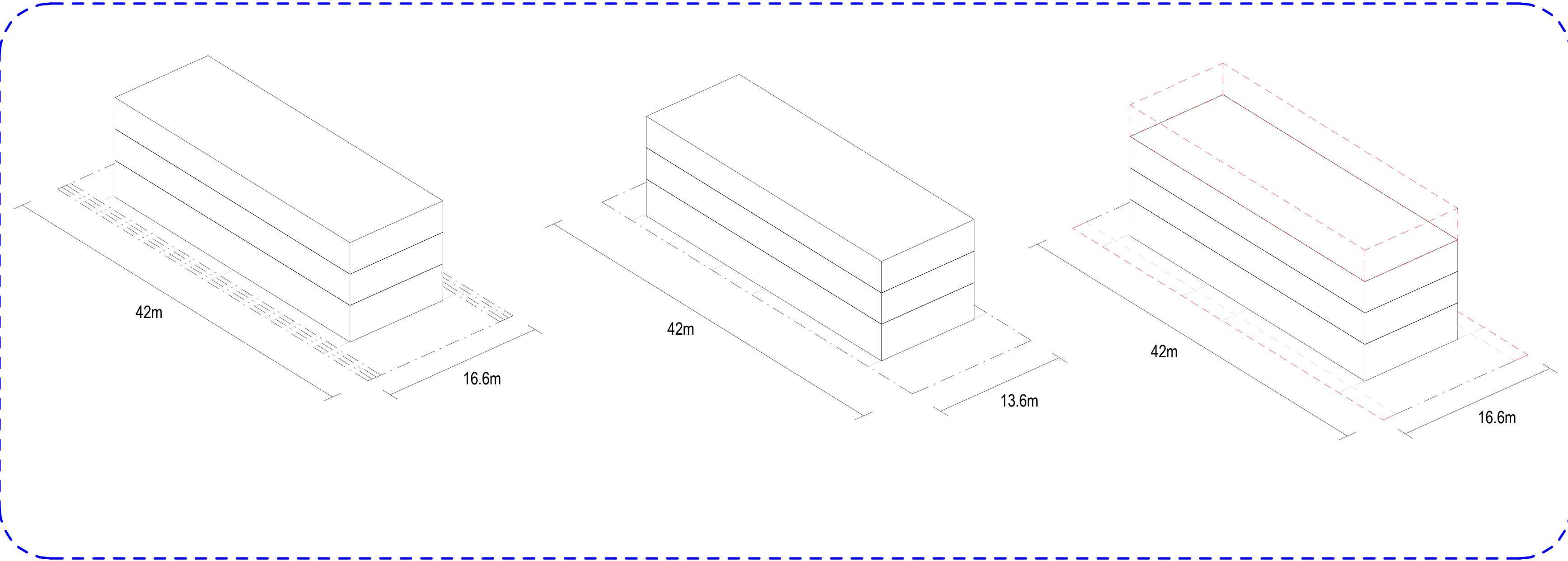
LOT LENGTH ADAPTATION

The base pattern can be adapted to site lengths ranging from 42m to 52m, variations in building length are shown in the diagram below.

If the site width is:

Shorter than the base pattern: Car park basements are not recommended and only on-street parking with a two studio configuration is preferred. Should a substation be required, this would be embedded into the building in the form of a kiosk substation located in the front landscaped zone.

Longer than the base pattern: Apartment configurations can be varied to increase yield and size.

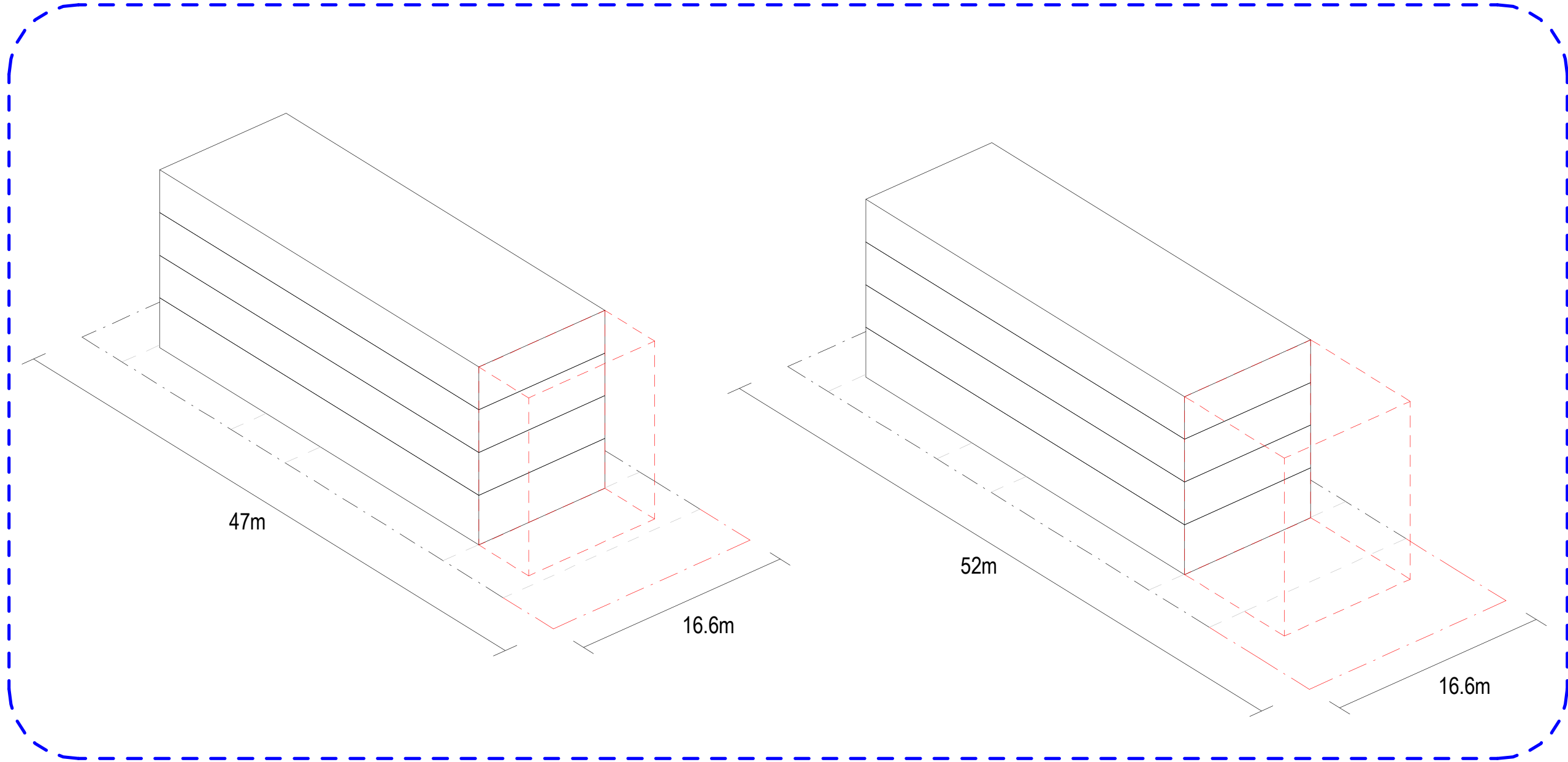


The building does not widen, instead setbacks increase as follows:

Site width	Minimum side setback
13.6m	1.5m
14.6m	2.0m
15.6m	2.5m
16.6m	3.0m

3 storeys are permitted on minimum site width of 13.6m

4 storeys are permitted on minimum site width of 16.6m

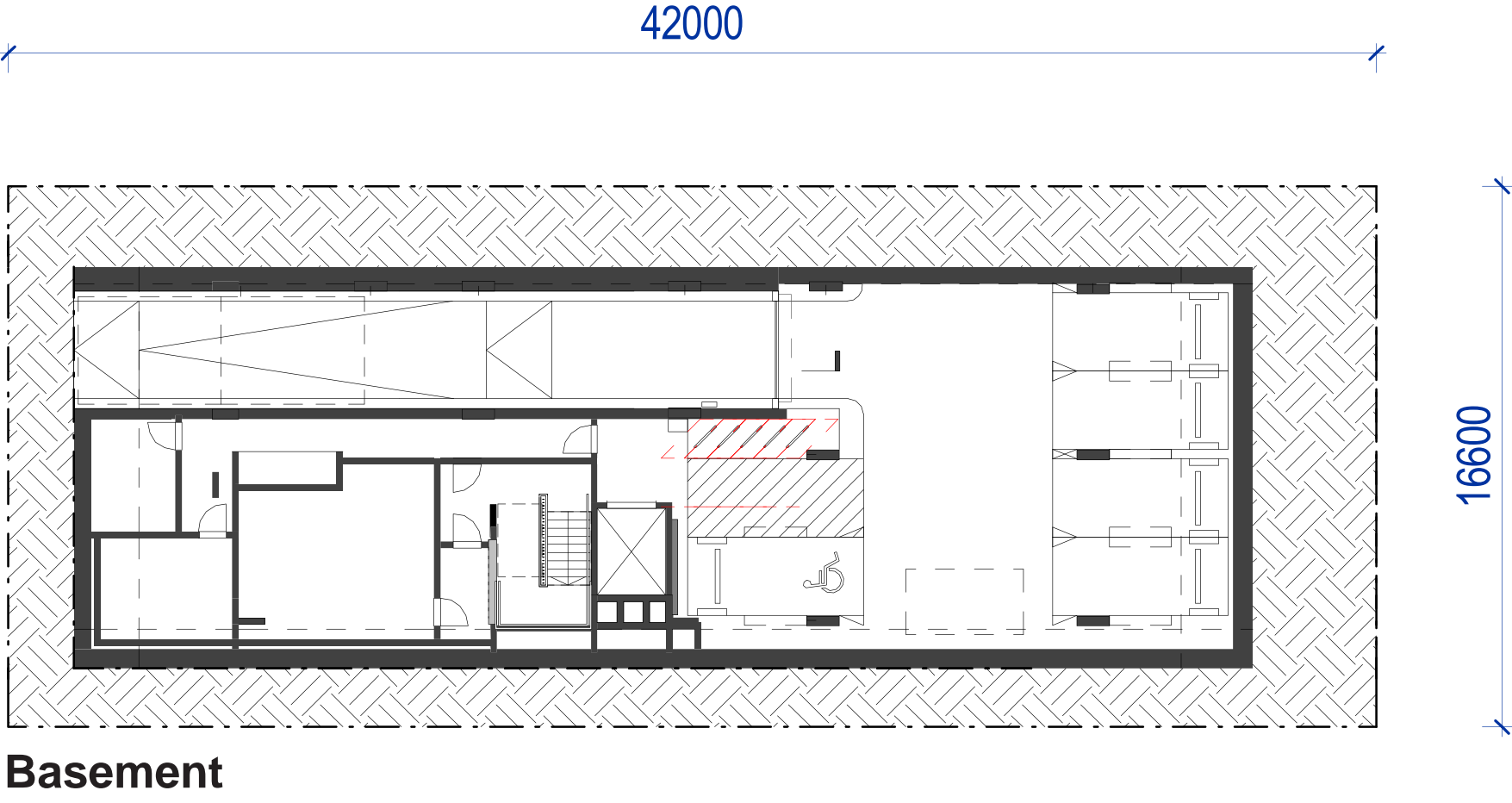


Length adaptations are as follows:

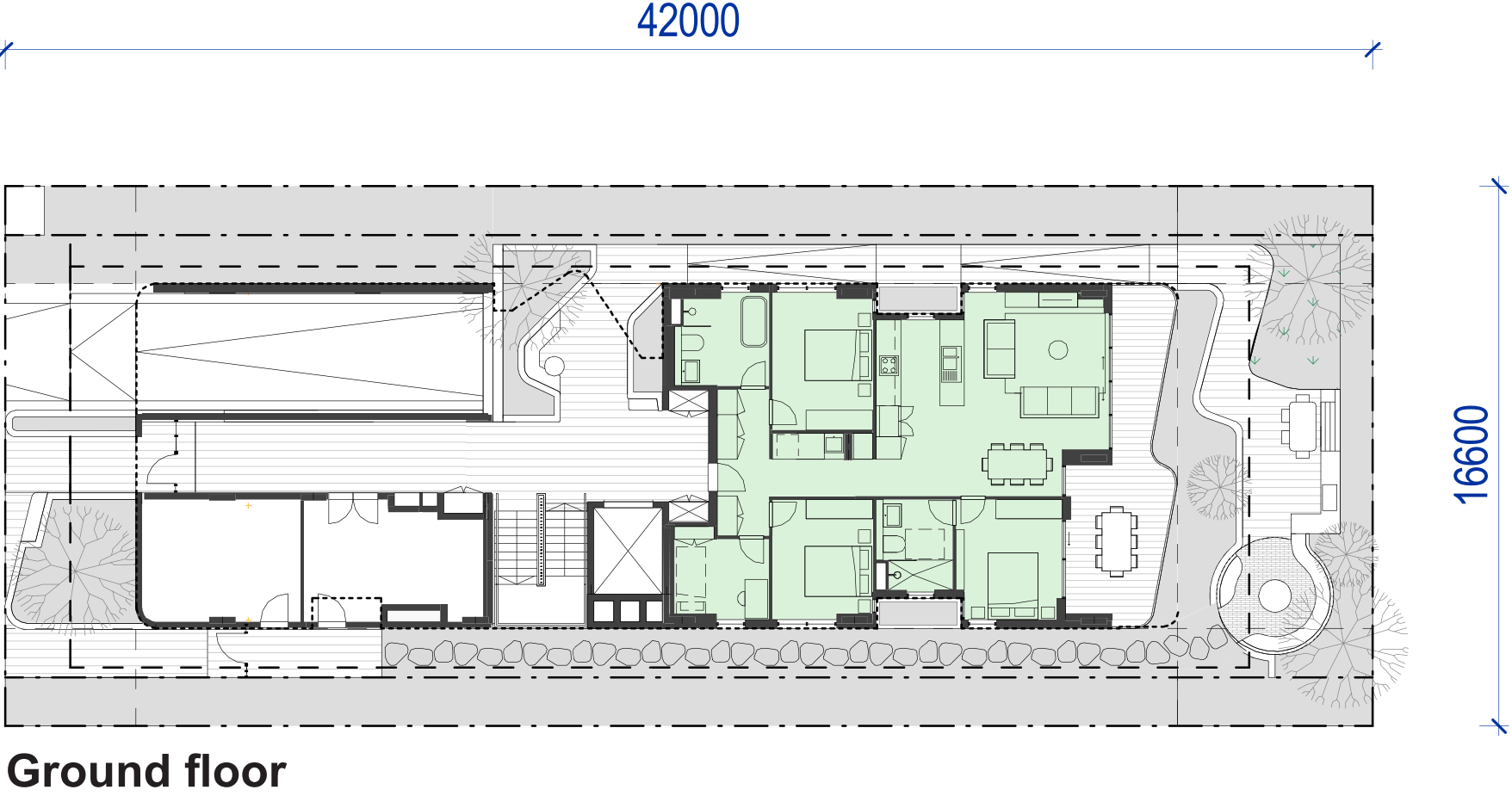
Site length	Building length
42m	32m
47m	37m
52m	42m

Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

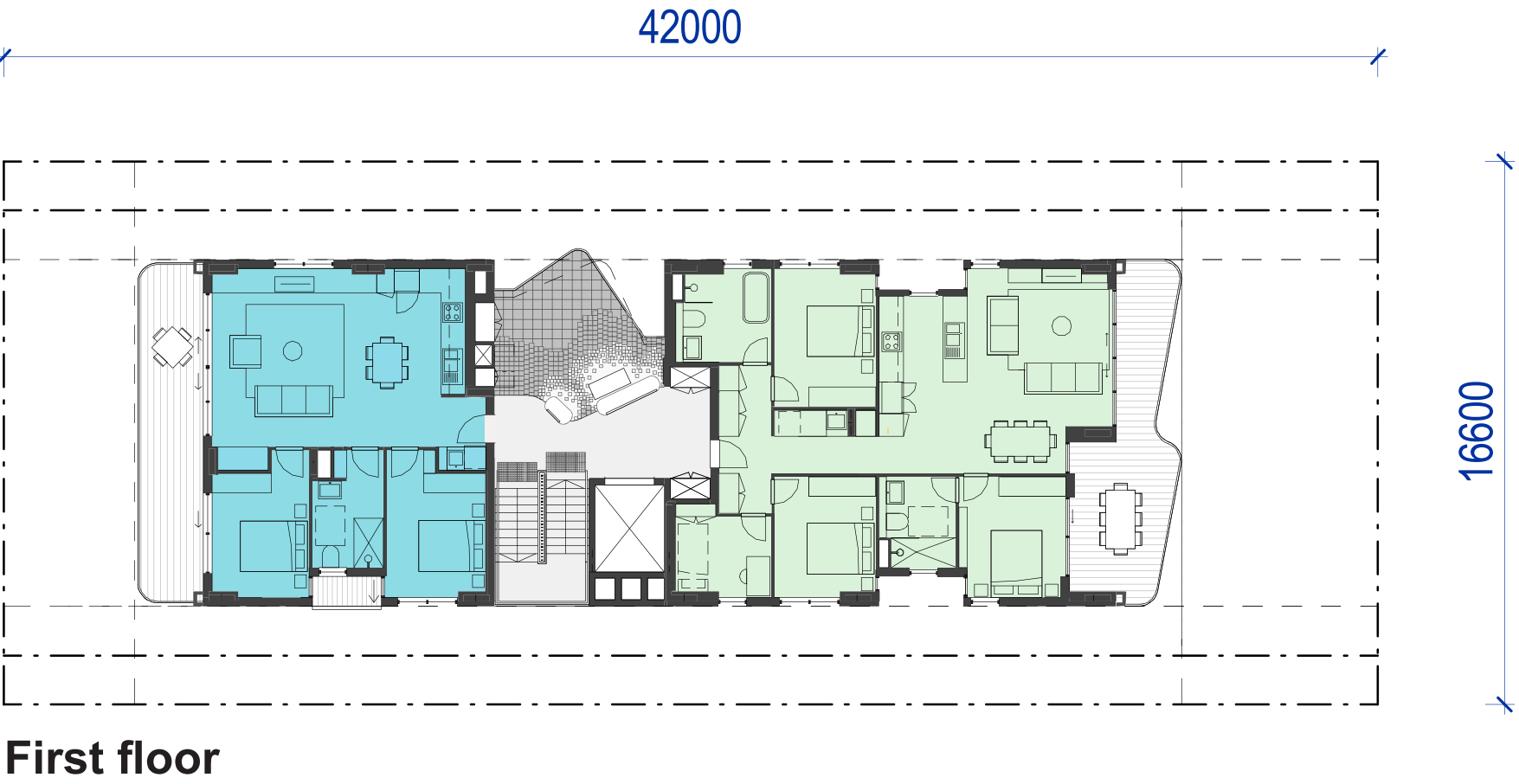
Adaptations



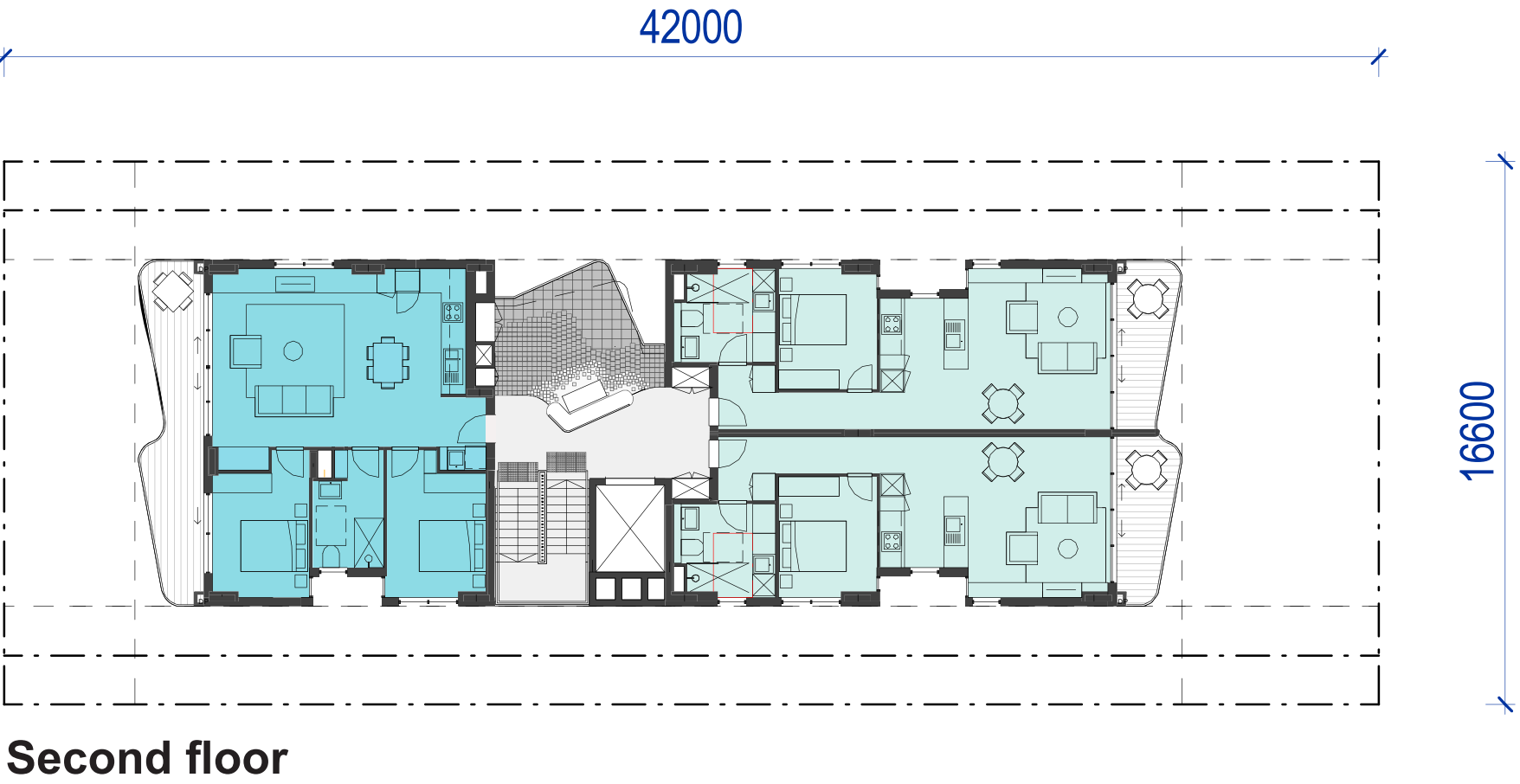
Basement



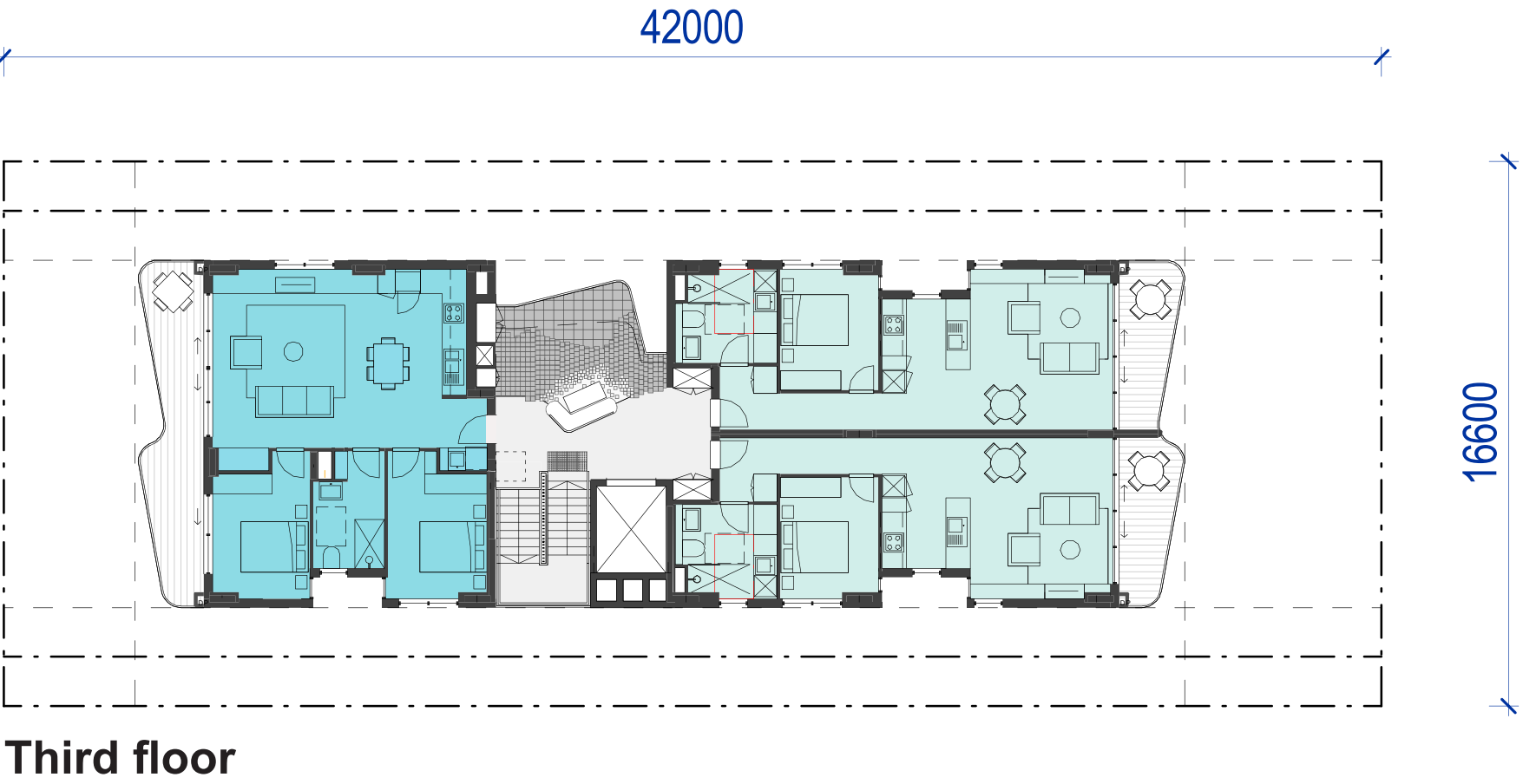
Ground floor



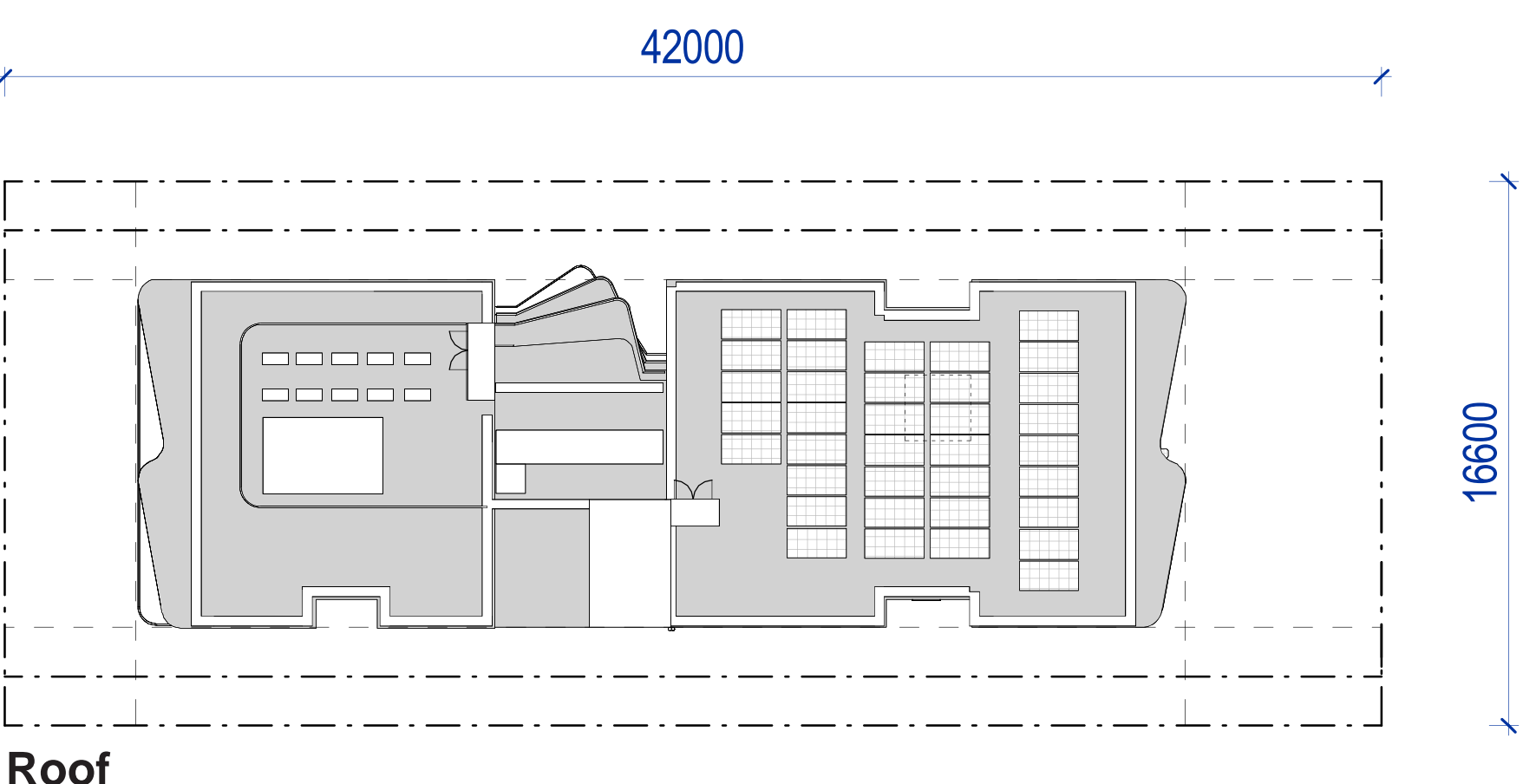
First floor



Second floor



Third floor



Roof

BASE PATTERN METRICS

Site dimensions & setbacks:

- Minimum lot area: 697m²
- Minimum lot width: 16.6m
- Minimum lot length: 42m
- Minimum front setbacks: 4m
- Minimum side setbacks: 3m
- Minimum rear setbacks: 6m

Height & storeys

- Maximum building height: 17.5m
- Storeys: 4

GFA & FSR

- GFA: 873m²
- FSR:1.25:1

Basement

- Parking for cars and bicycles
- Plant rooms & services

Ground floor

- Front, central and rear communal 'brackish' spaces
- 1 3-bed

First floor

- 1 2-bed
- 1 3-bed
- Central communal 'brackish' spaces

Second floor

- 1 2-bed
- 2 1-bed
- Central communal 'brackish' spaces

Third floor

- 1 2-bed
- 2 1-bed
- Central communal 'brackish' spaces

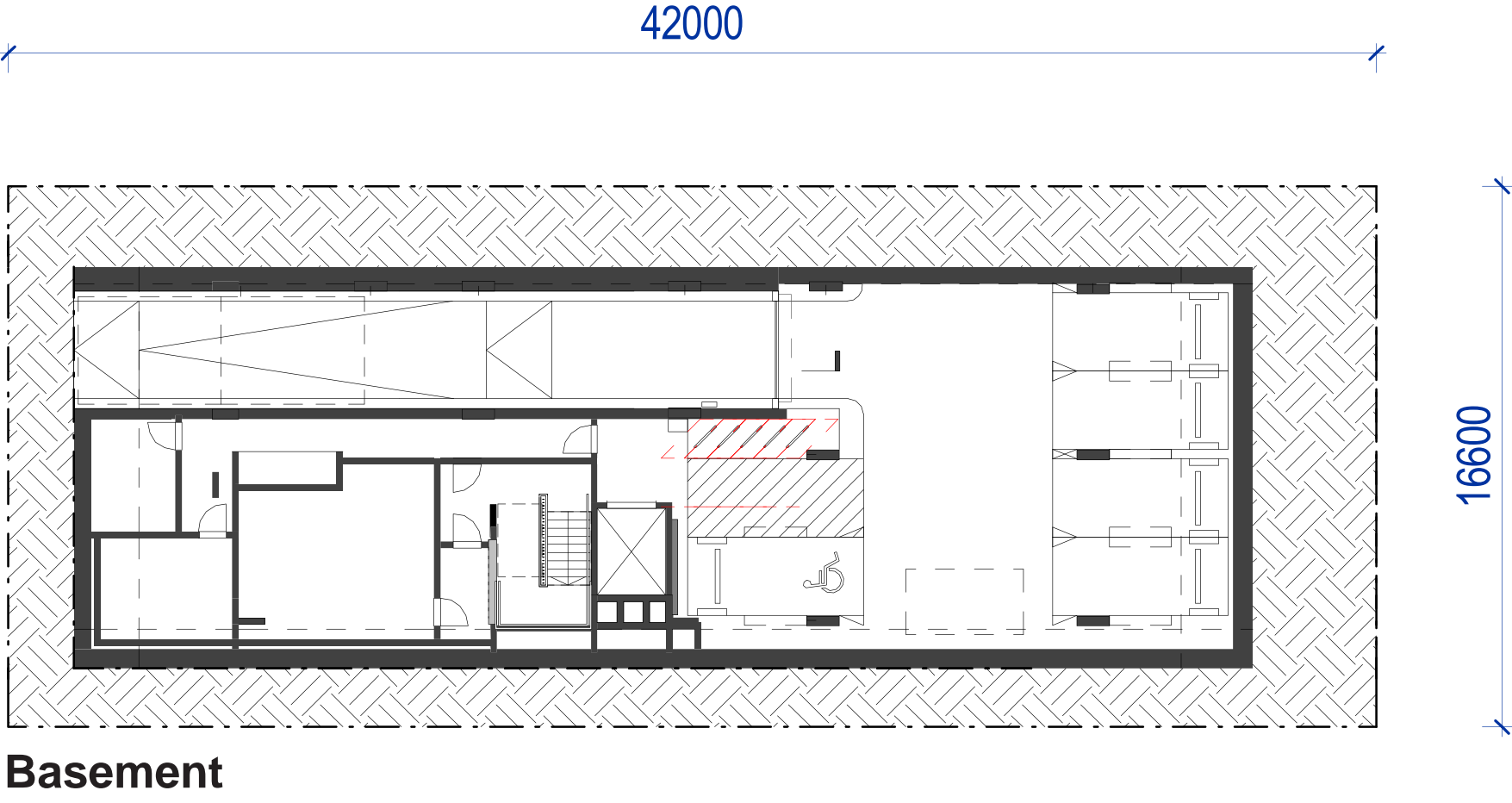
Roof

- Services

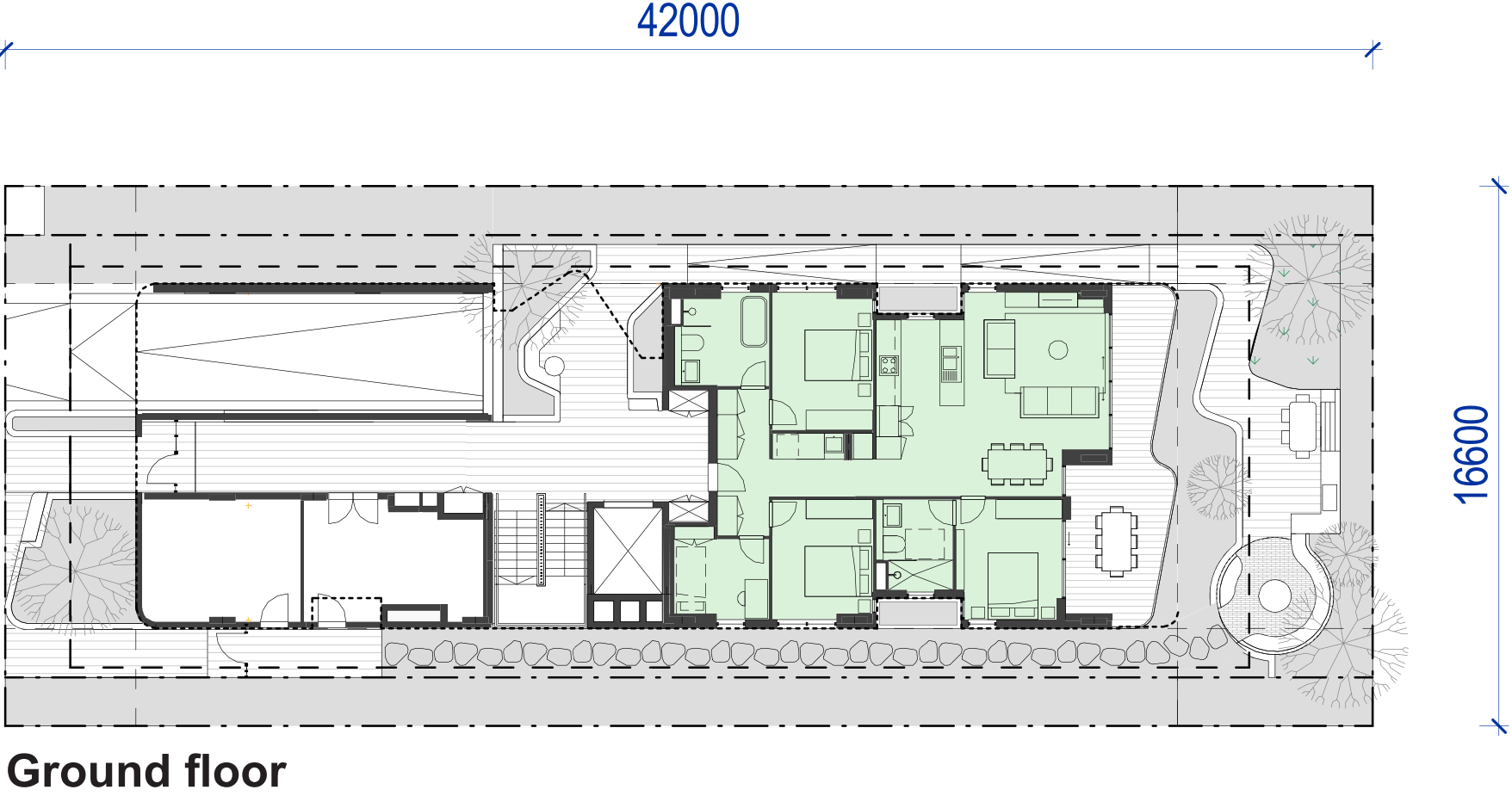
Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

Pattern Code	SLA02
Name	Small Lot Apartments 02 by Nguluway DesignInc

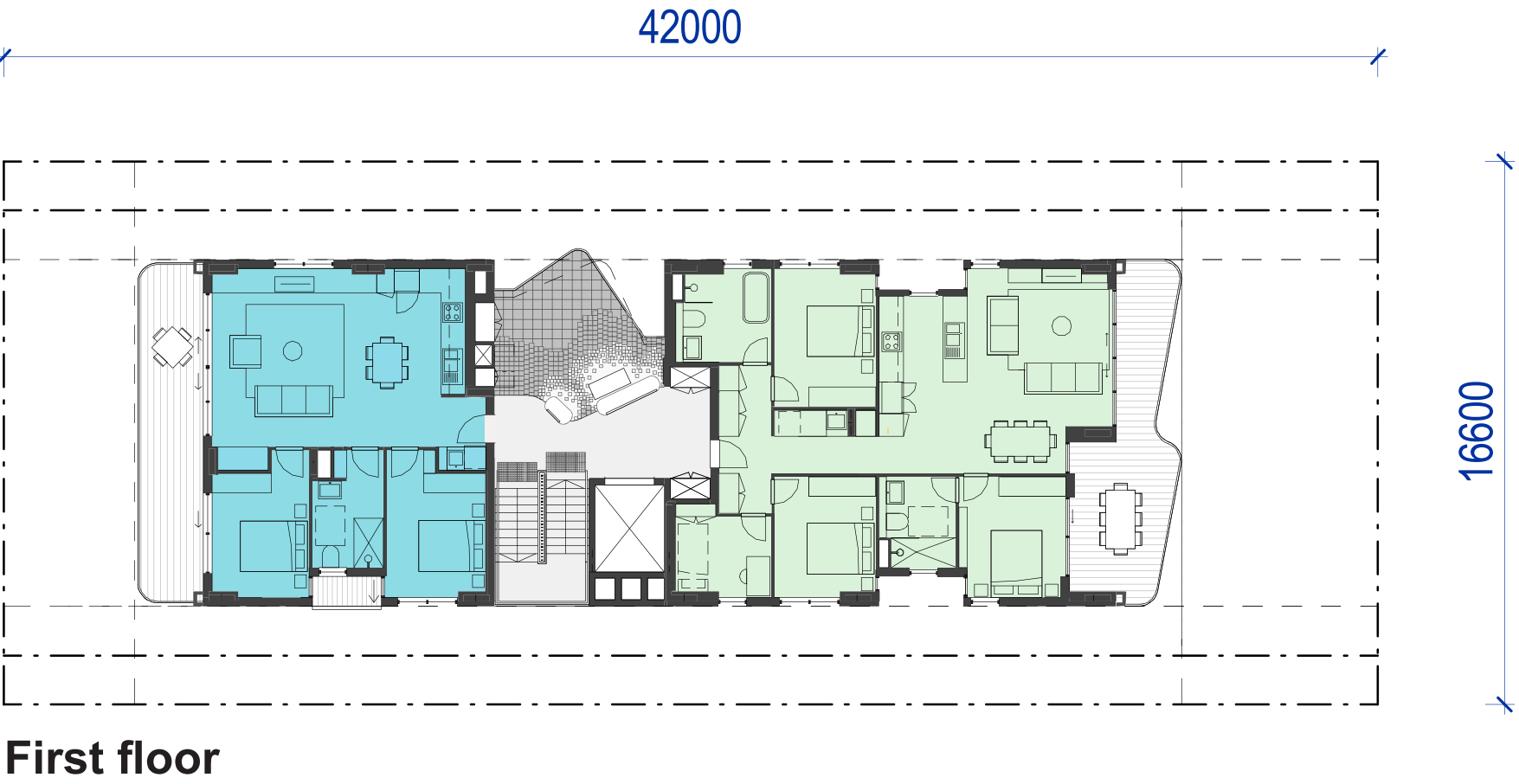
Drawing No.	A-202
Name	BASE PATTERN
Scale	NTS



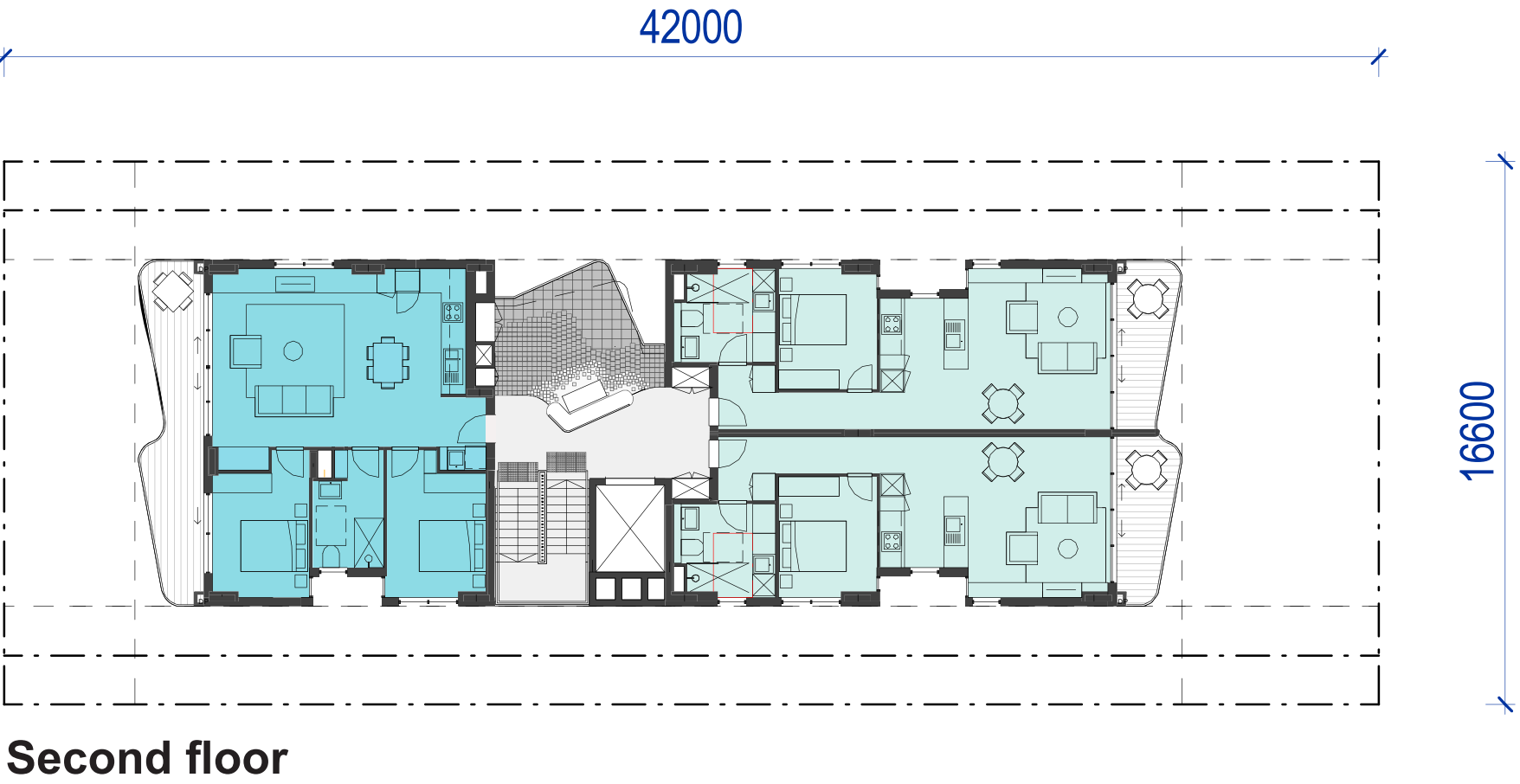
Basement



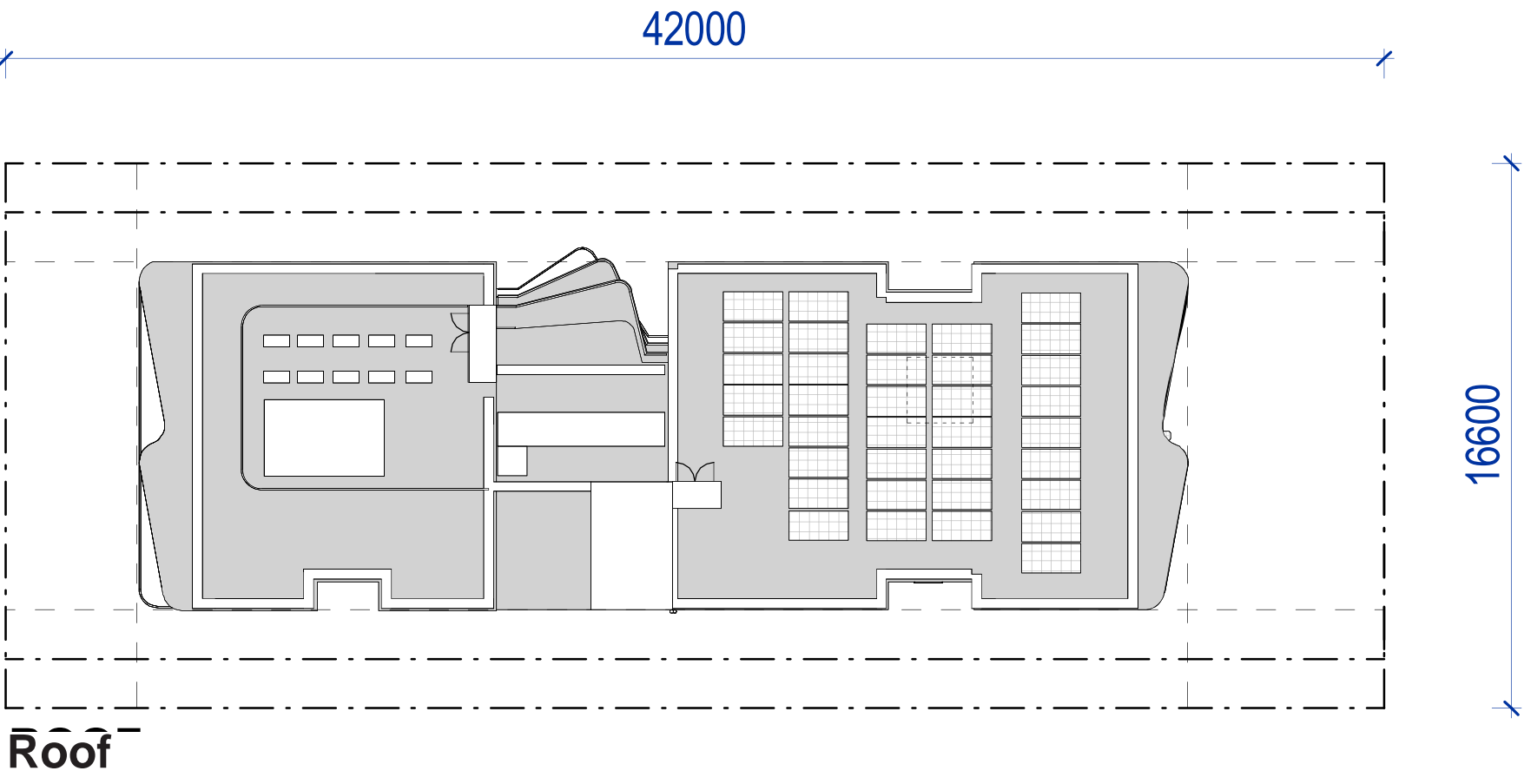
Ground floor



First floor



Second floor



Roof

ADAPTATION METRICS

Site dimensions & setbacks:

- Minimum lot area: 697m²
- Minimum lot width: 16.6m
- Minimum lot length: 42m
- Minimum front setbacks: 4m
- Minimum side setbacks: 3m
- Minimum rear setbacks: 6m

Height & storeys

- Maximum building height: 17.5m
- Storeys: 3

GFA & FSR

- GFA: 642m²
- FSR:0.92:1

Basement

- Parking for cars and bicycles
- Plant rooms & services

Ground floor

- Front, central and rear communal 'brackish' spaces
- 1 3-bed

First floor

- 1 2-bed
- 1 3-bed
- Central communal 'brackish' spaces

Second floor

- 1 2-bed
- 2 1-bed
- Central communal 'brackish' spaces

Roof

- Services

Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

Pattern Code	SLA02
Name	Small Lot Apartments 02 by Nguluway DesignInc

Drawing No.	A-203
Name	BASE PATTERN
Scale	NTS

SITING AND ORIENTATION

Possible adaptations of the base pattern to different site orientations are show on the left. The design of the base pattern with its ventilation notches, communal spaces, window and balcony orientations allow for adaptation to varying arrangements of neighbouring buildings without affecting quality and amenity offered. Depending on the orientation of the site, the central brackish space would be adapted to face either north or east; this is to maximise solar access to the space.



Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

NGULUWAYDesignInc

Gadigal Country
Level 12, 125 Phillip Street, Sydney NSW 2000
+61 2 9955 7100 Reception@nguluwaydesigninc.com.au

Nominated Architects
Ian Armstrong 7260
Craig Kerslake 7789

Cathryn Drew-Bredin 7269
Mary Anne McGirr 10946

Pattern Code	SLA02
Name	Small Lot Apartments 02 by Nguluway DesignInc

Drawing No.	A-204
Name	PATTERN ADAPTATIONS - SITING AND ORIENTATION
Scale	1:300 @ A1

Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

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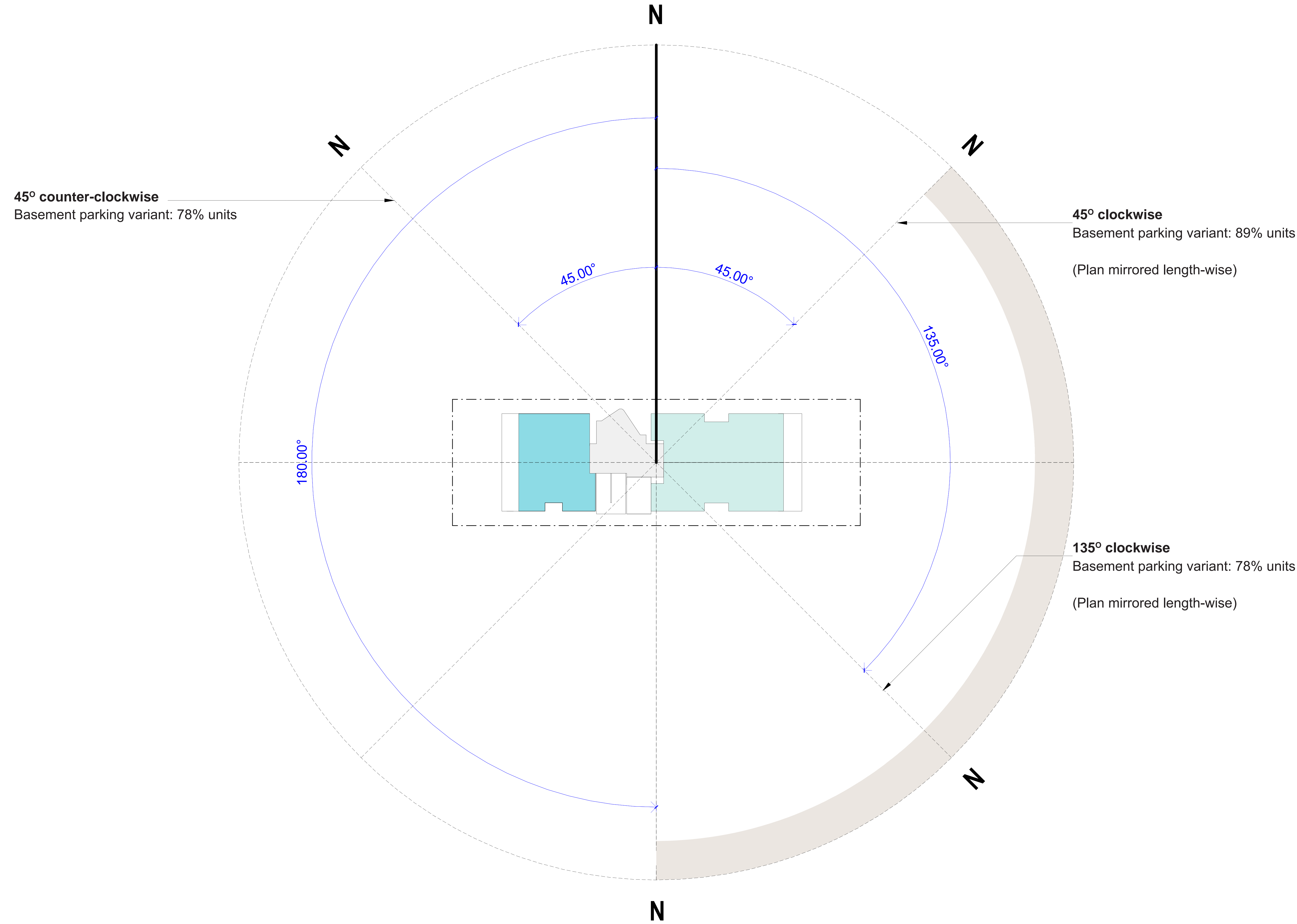
Gadigal Country
Level 12, 125 Philip Street, Sydney NSW 2000
+61 2 9955 7100 Reception@nguluway.designinc.com.au

Nominated Architects

Ian Armstrong 7250
Craig Kerslake 7789
Cathryn Drew-Bredin 7269
Mary Anne McGirr 10946

Pattern Code	SLA02
Name	Small Lot Apartments 02 by Nguluway DesignInc

Drawing No.	A-205
Name	SOLAR DIAGRAM
Scale	NTS



SOLAR ACCESS

Solar study based on sunlight to living spaces received on June 21 determined at a range of north orientations.

Based on future context built up to the same development standards as proposed Base Pattern.

Solar access by orientation (number of units receiving minimum 2 hours sunlight to living spaces at winter solstice (June 21)):

45° clockwise
Basement parking variant: 8/9 units

135° clockwise
Basement parking variant: 7/9 units

45° counter-clockwise
Basement parking variant: 7/9 units

Key

- Rotation from Base Pattern orientation (east-west)
- Orientation requiring building plan to be mirrored

BASE PATTERN: 42M SITE LENGTH



SITE AREA 697.2m²

GFA		GFA		UNIT MIX	
RESIDENTIAL GFA		COMMUNAL & WASTE ROOM		STUDIO	0 - 00.0%
GROUND	118m ²	GROUND	71m ²	1B	4 - 44.4%
LEVEL 01	197m ²	LEVEL 01	25m ²	2B	3 - 33.3%
LEVEL 02	206m ²	LEVEL 02	25m ²	3B	2 - 22.2%
LEVEL 03	206m ²	LEVEL 03	25m ²		
ROOF	N/A	ROOF	N/A	TOTAL	9
TOTAL	727m ²	TOTAL	146m ²		

TOTAL GFA 873m²
FSR 1.25:1

PATTERN VARIANT: 47M SITE LENGTH

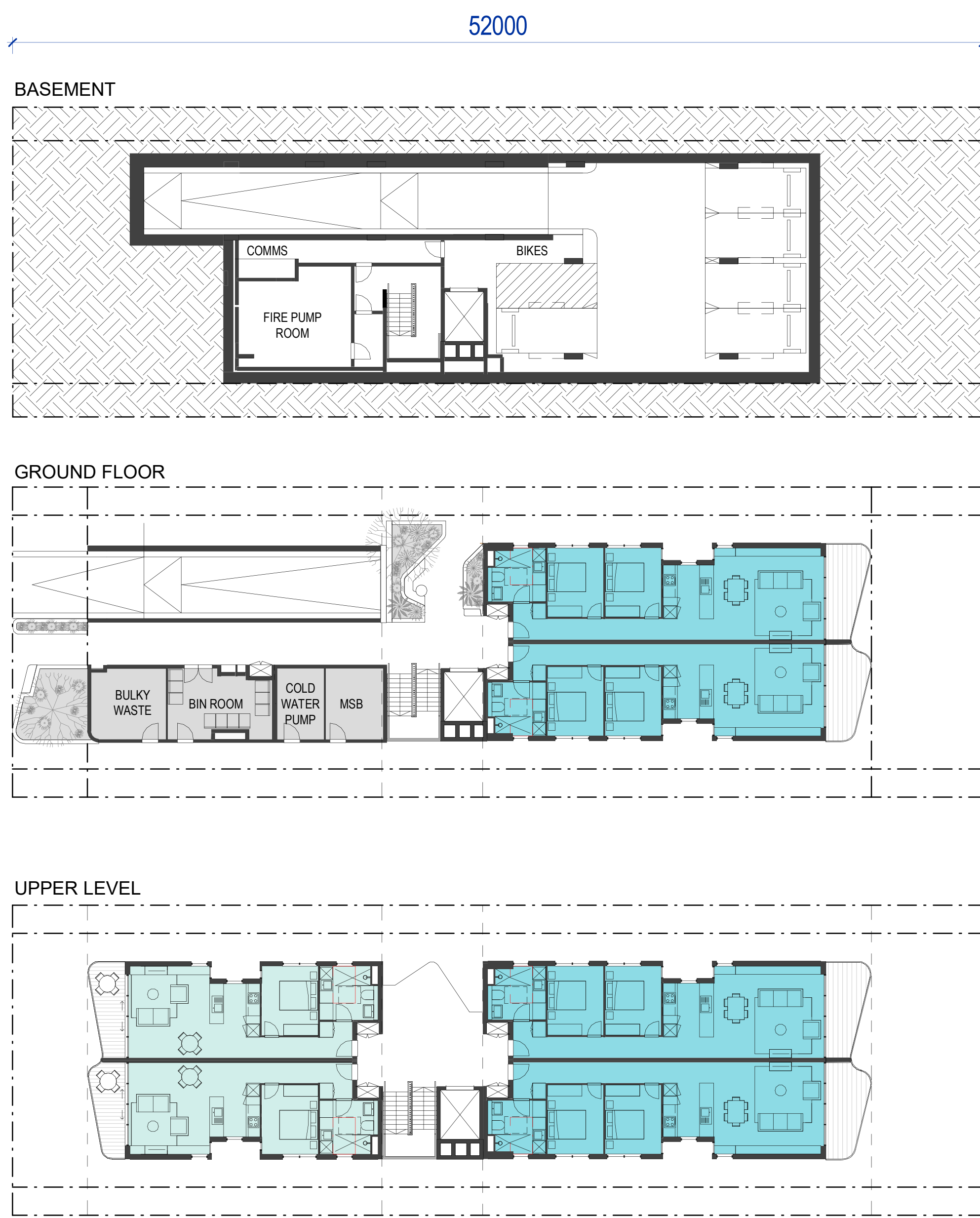


SITE AREA 780.2m²

GFA		GFA		UNIT MIX	
RESIDENTIAL GFA		COMMUNAL & WASTE ROOM		STUDIO	0 - 00.0%
GROUND	118m ²	GROUND	91m ²	1B	6 - 60.0%
LEVEL 01	245m ²	LEVEL 01	25m ²	2B	0 - 00.0%
LEVEL 02	245m ²	LEVEL 02	25m ²	3B	4 - 40.0%
LEVEL 03	245m ²	LEVEL 03	25m ²		
ROOF	N/A	ROOF	N/A	TOTAL	10
TOTAL	853m ²	TOTAL	166m ²		

TOTAL GFA 1019m²
FSR 1.31:1

PATTERN VARIANT: 52M SITE LENGTH



SITE AREA 863.2m²

GFA		GFA		UNIT MIX	
RESIDENTIAL GFA		COMMUNAL & WASTE ROOM		STUDIO	0 - 00.0%
GROUND	164m ²	GROUND	91m ²	1B	2 - 18.2%
LEVEL 01	291m ²	LEVEL 01	25m ²	2B	8 - 72.6%
LEVEL 02	291m ²	LEVEL 02	25m ²	3B	2 - 18.2%
LEVEL 03	291m ²	LEVEL 03	25m ²		
ROOF	N/A	ROOF	N/A	TOTAL	11
TOTAL	1037m ²	TOTAL	166m ²		

TOTAL GFA 1203m²
FSR 1.39:1

Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

SLOPE ADAPTATION

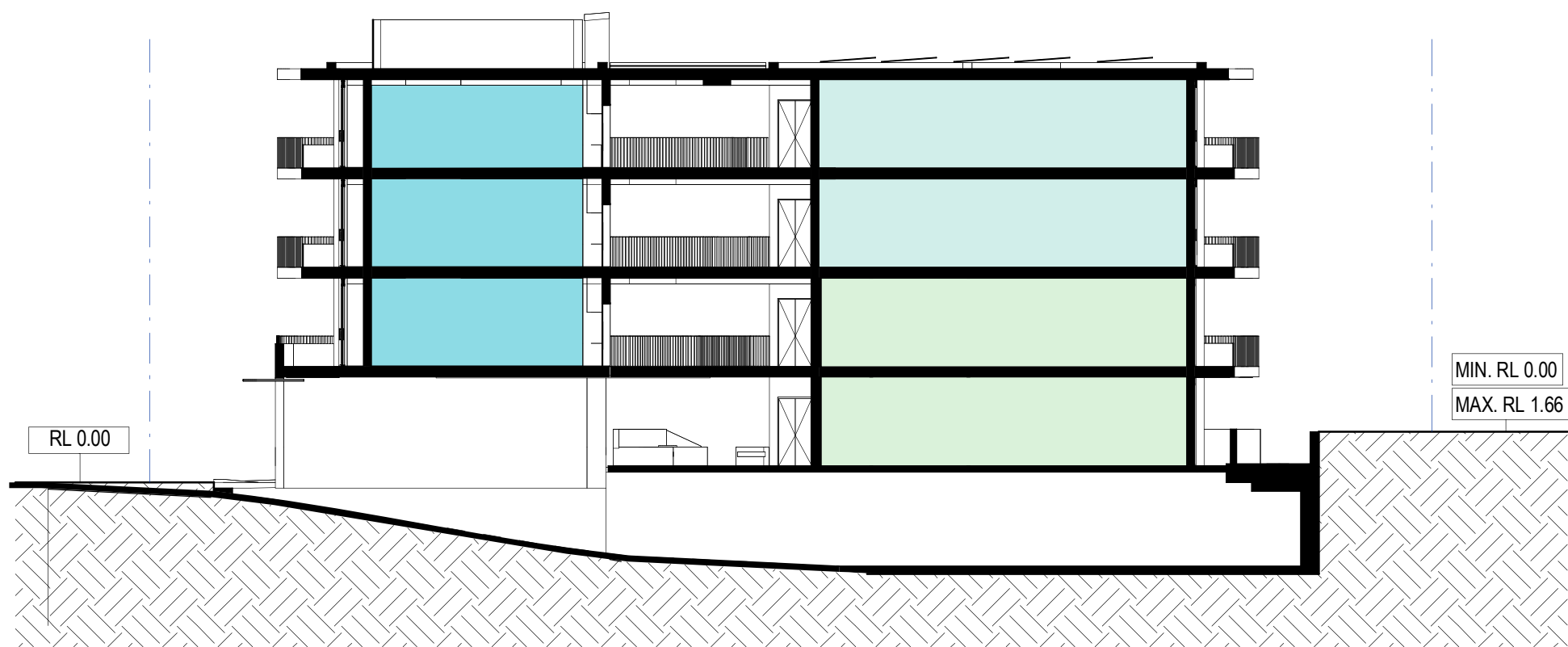
The base pattern can be adapted for level variations on site as shown.

Upslope adaptations (front-to-back)

This references sites where the level at the rear sits higher than the base level at the street frontage.

Downslope adaptations (front-to-back)

This references sites where the level at the rear sits lower than the base level at the street frontage.

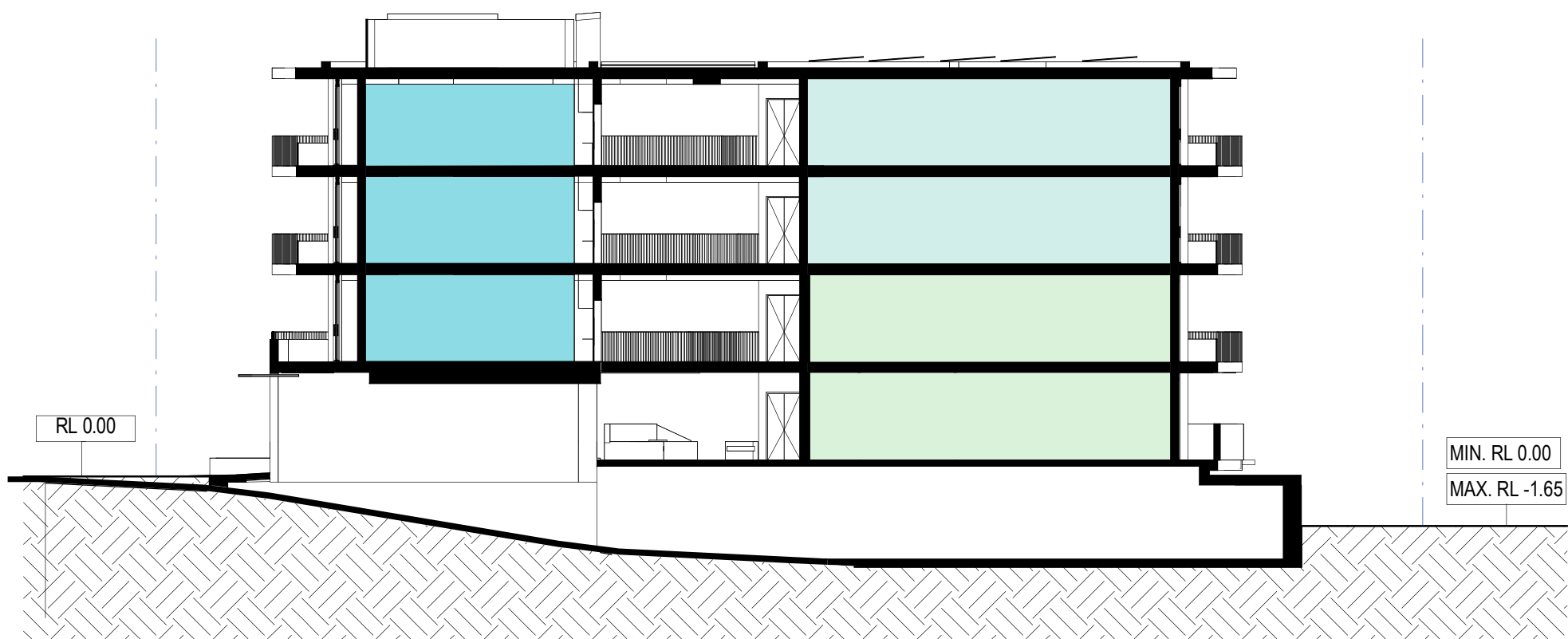


SECTION

Upslope adaptations (front-to-back)

Range: 0 to +1.66m

Basement parking ramp gradient unchanged from Base Pattern.



SECTION

Downslope adaptations (front-to-back)

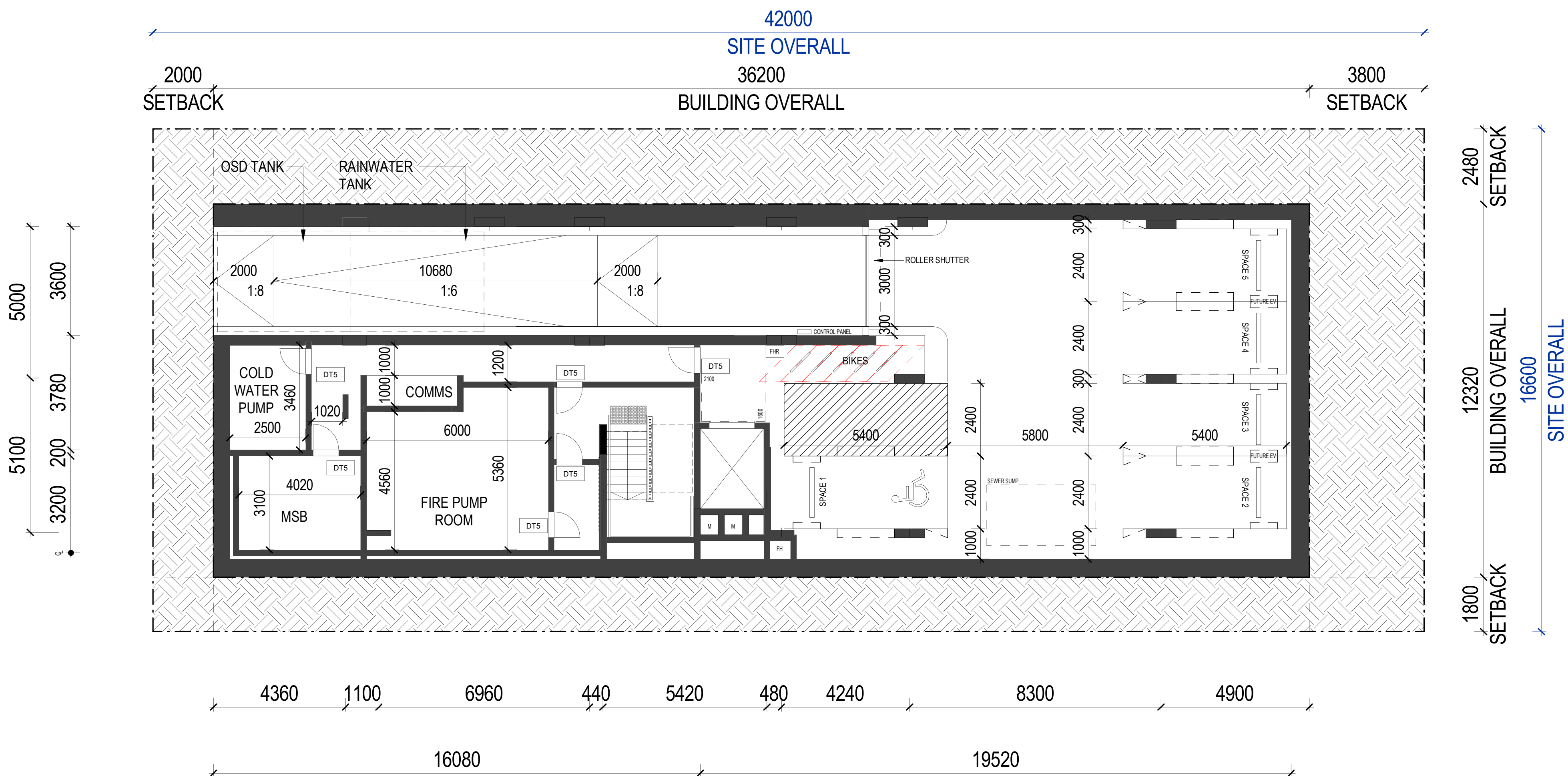
Range: 0 to -1.65m

Basement parking ramp gradient unchanged from Base Pattern.

Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

Pattern Code	SLA02
Name	Small Lot Apartments 02 by Nguluway DesignInc

Drawing No.	A-207
Name	PATTERN ADAPTATIONS - TOPOGRAPHY
Scale	1:200 @ A1



Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

NGULUWAYDesignInc

Gadigal Country
Level 12, 125 Philip Street, Sydney NSW 2000
+61 2 9955 7100 Reception@nguluwaydesigninc.com.au

Nominated Architects

Ian Armstrong 7260
Craig Kerslake 7789
Cathryn Drew-Bredin 7269
Mary Anne McGirr 10946

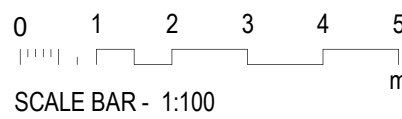
Pattern Code SLA02

Name Small Lot Apartments 02
by Nguluway DesignInc

Drawing No. A-310-1

Name B01 PLAN – BASEMENT
PARKING N/S
ORIENTATION

Scale 1:100 @ A1



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Level 12, 125 Phillip Street, Sydney NSW 2000
+61 2 9555 7100
Reception@nguluwaydesigninc.com.au

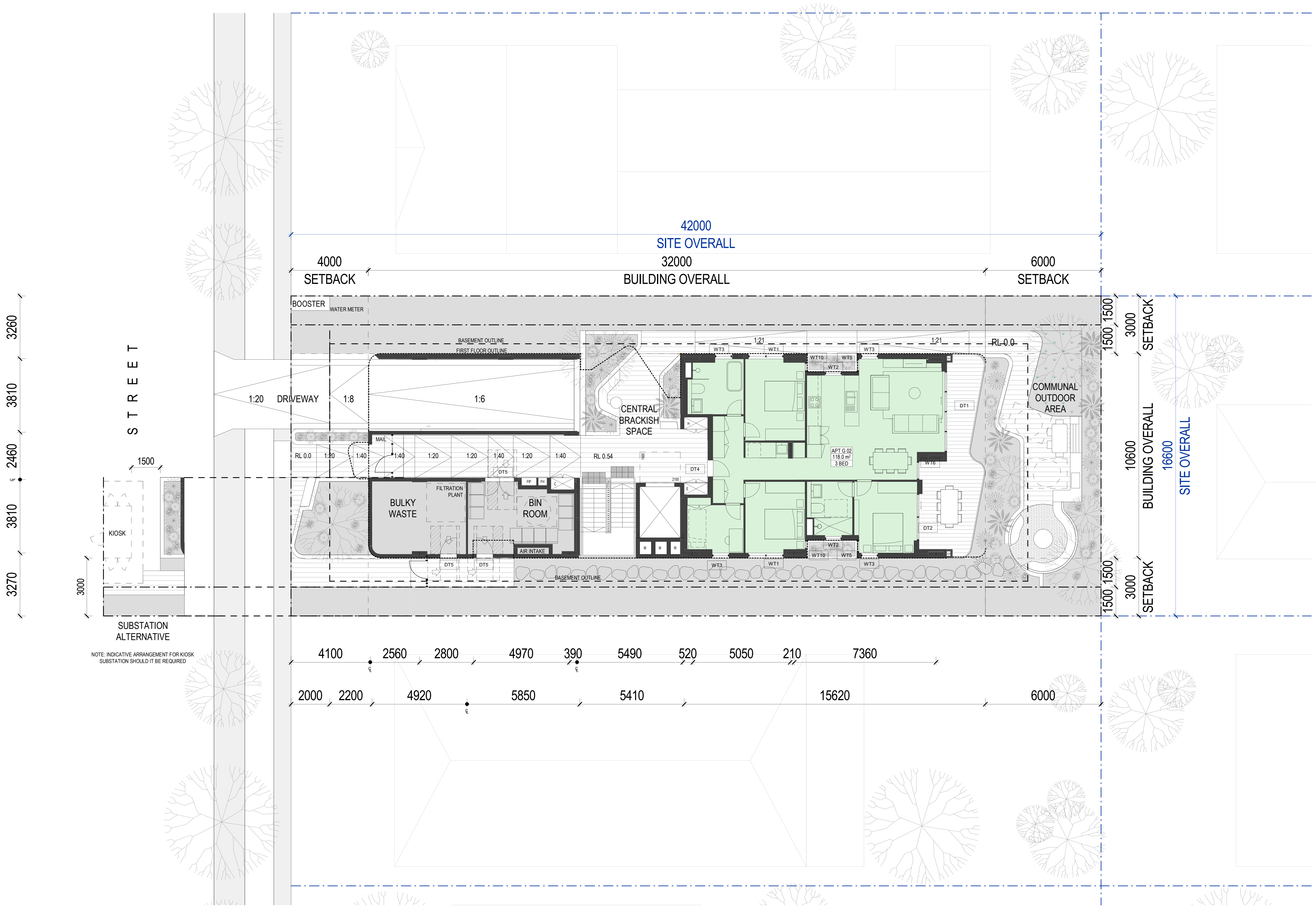
Nominated Architects

Ian Armstrong	7250	Cathryn Drew-Bredin	7269
Craig Kerslake	7789	Mary Anne McGirr	10946

Pattern Code SLA02

Name Small Lot Apartments 02
by Nguluway DesignInc

Drawing No.	A-311-1
Name	L00 PLAN – BASEMENT PARKING N/S ORIENTATION
Scale	1:100 @ A1



0 1 2 3 4 5
m
SCALE BAR - 1:100

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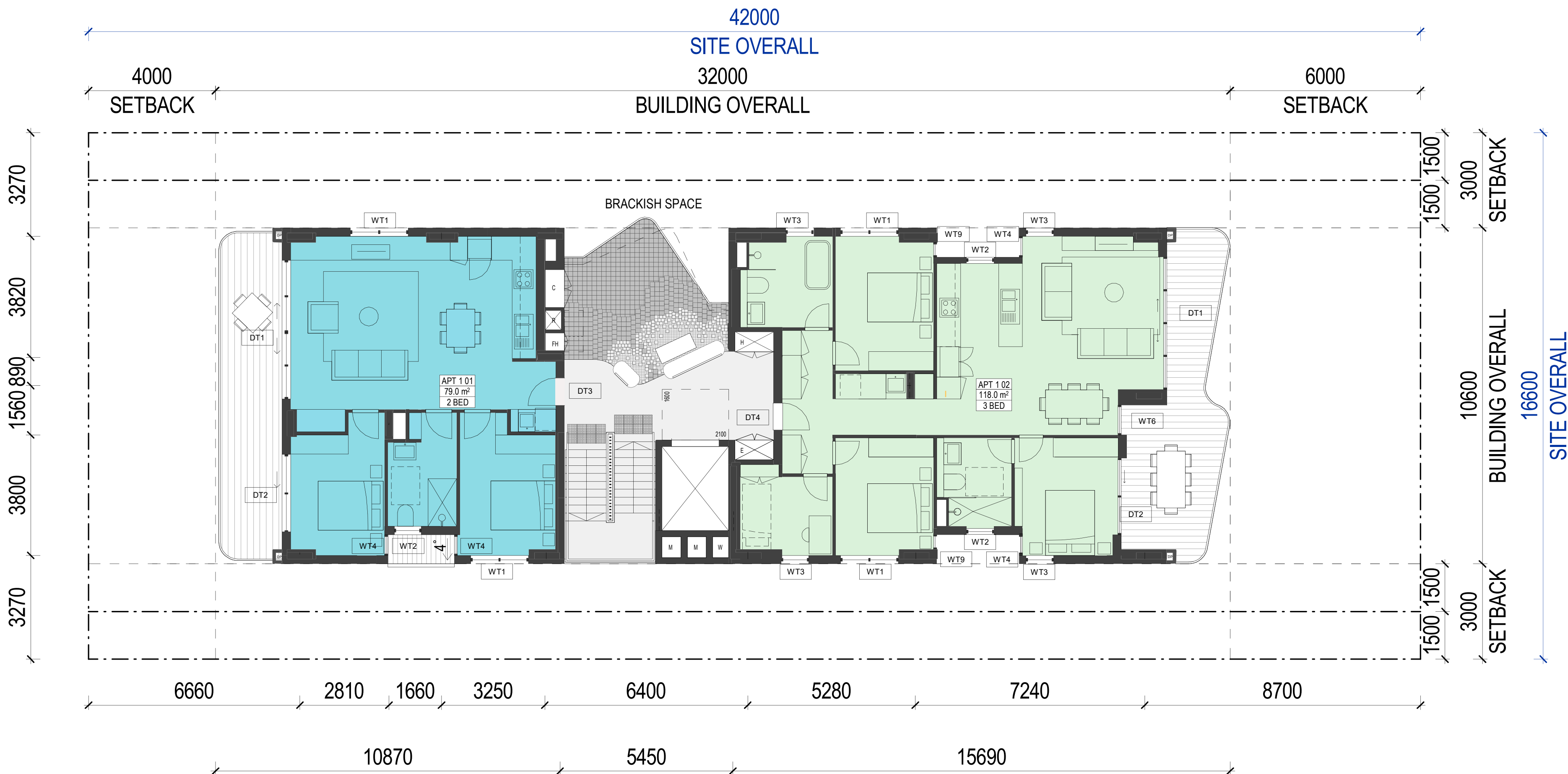
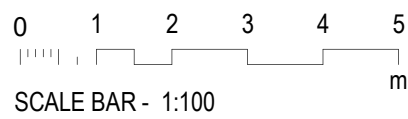
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+61 2 9955 7100 Reception@nguluwaydesigninc.com.au

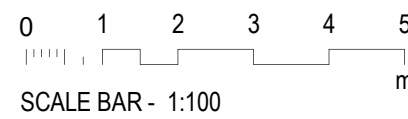
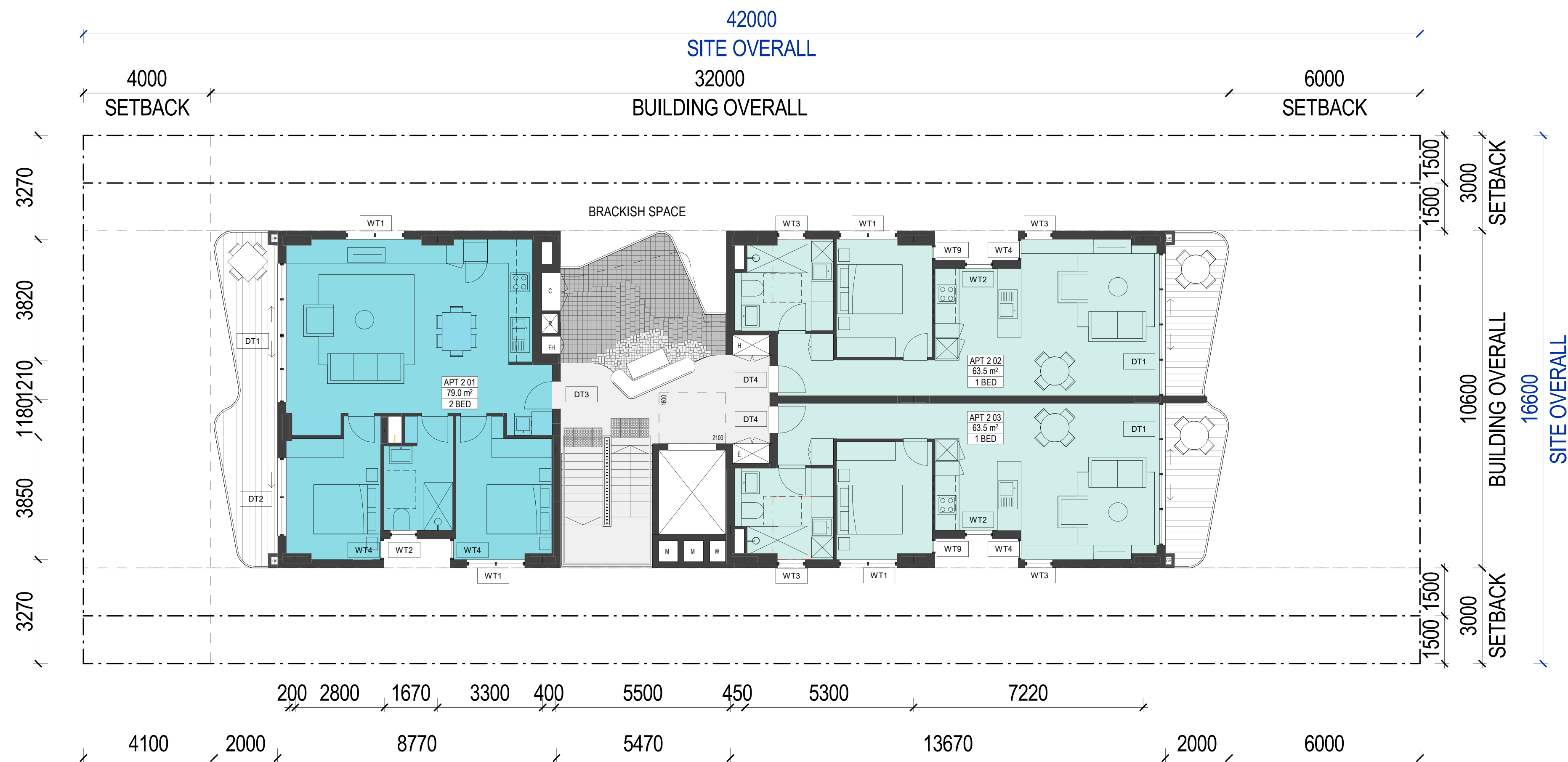
Nominated Architects

Ian Armstrong	7250	Cathryn Drew-Bredin	7269
Craig Kerslake	7789	Mary Anne McGirr	10946

Pattern Code	SLA02
Name	Small Lot Apartments 02 by Nguluway DesignInc

Drawing No.	A-312
Name	L01 PLAN – BASEMENT PARKING N/S ORIENTATION
Scale	1:100 @ A1





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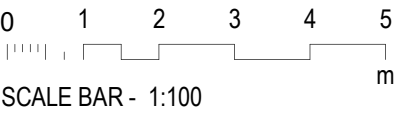
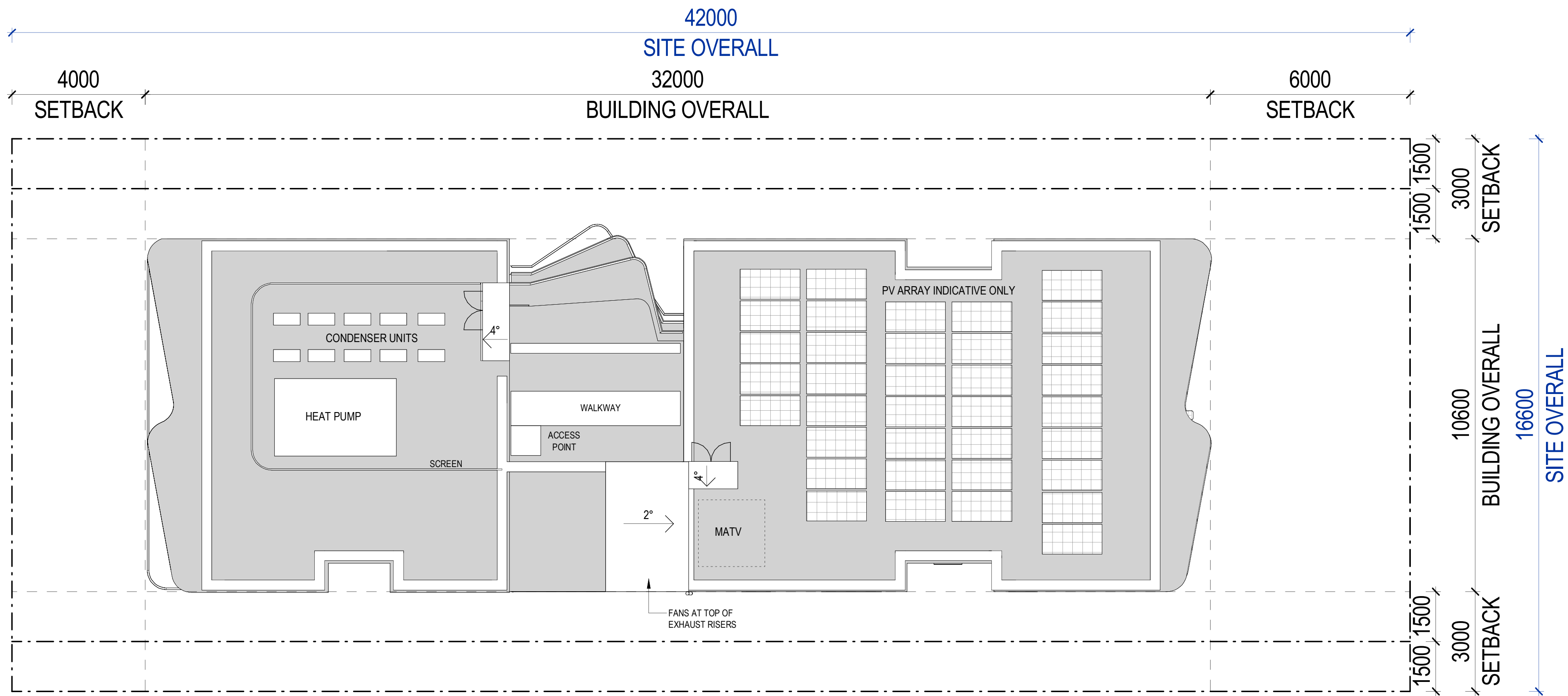
Gadigal Country
Level 12, 125 Philip Street, Sydney NSW 2000
+61 2 9955 7100 Reception@nguluwaydesigninc.com.au

Nominated Architects

Ian Armstrong 7250
Craig Kerslake 7789
Cathryn Drew-Bredin 7269
Mary Anne McGirr 10946

Pattern Code **SLA02**
Name **Small Lot Apartments 02**
by Nguluway DesignInc

Drawing No. **A-313**
Name **L02 PLAN – BASEMENT
PARKING N/S
ORIENTATION**
Scale **NTS**



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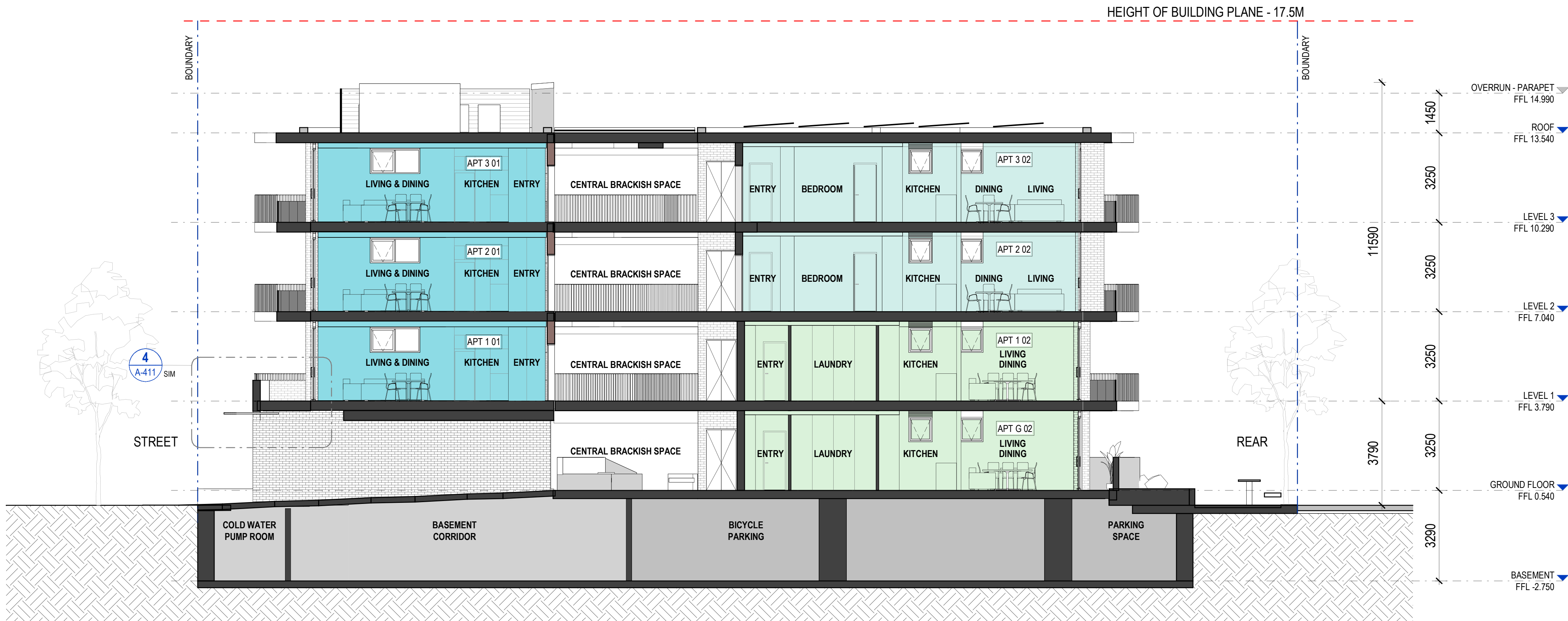
Nominated Architects

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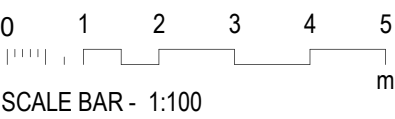
Pattern Code SLA02
Name Small Lot Apartments 02
by Nguluway DesignInc

Drawing No. A-315
Name ROOF PLAN – BASEMENT PARKING N/S ORIENTATION
Scale 1:100 @ A1

Elevations and sections



1 DA - SECTION A-A - BASEMENT PARKING
SCALE 1:100



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+61 2 9555 7100 Reception@nguluway.designinc.com.au

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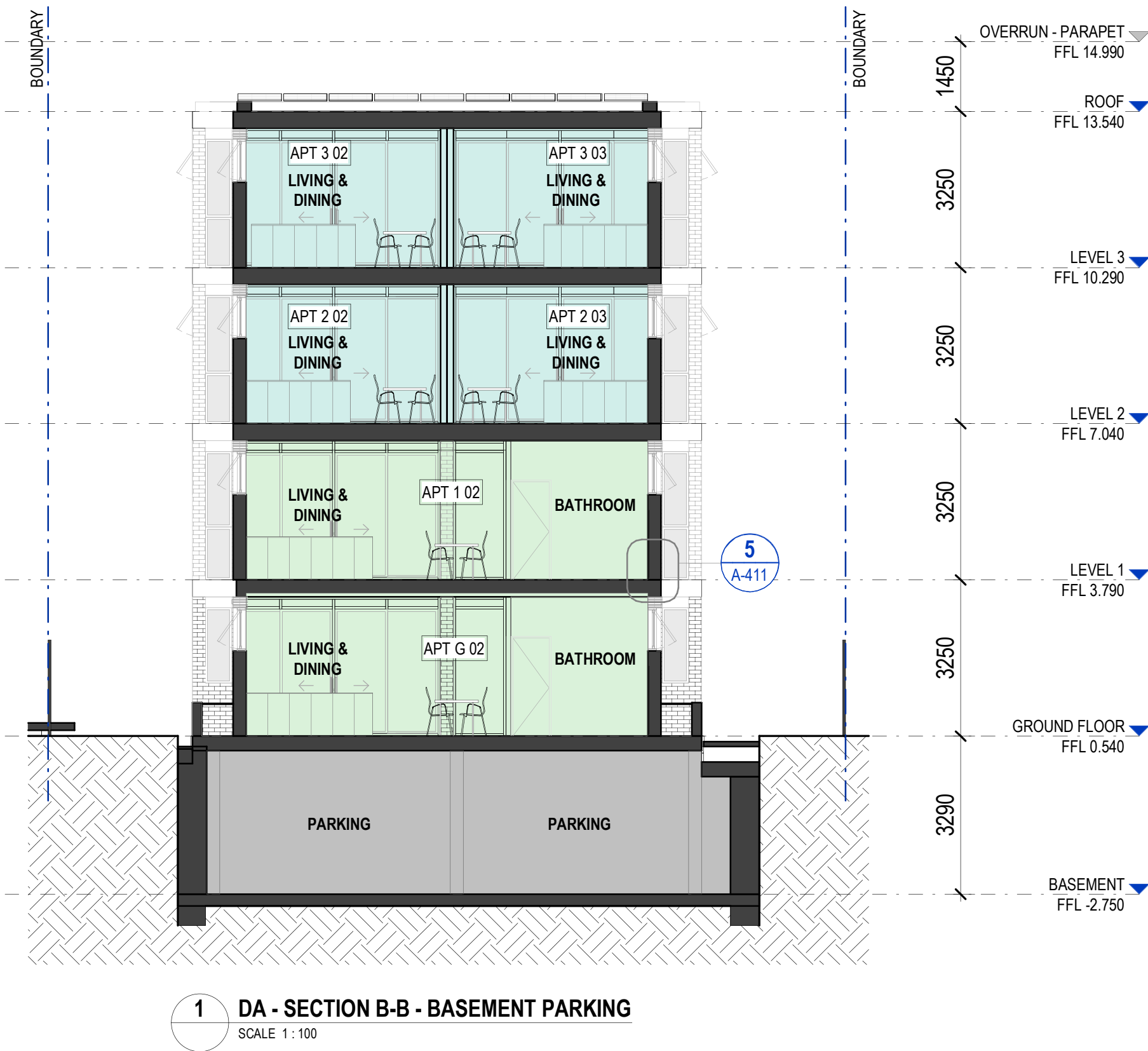
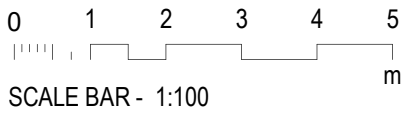
Pattern Code **SLA02**

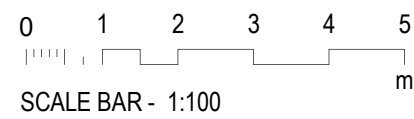
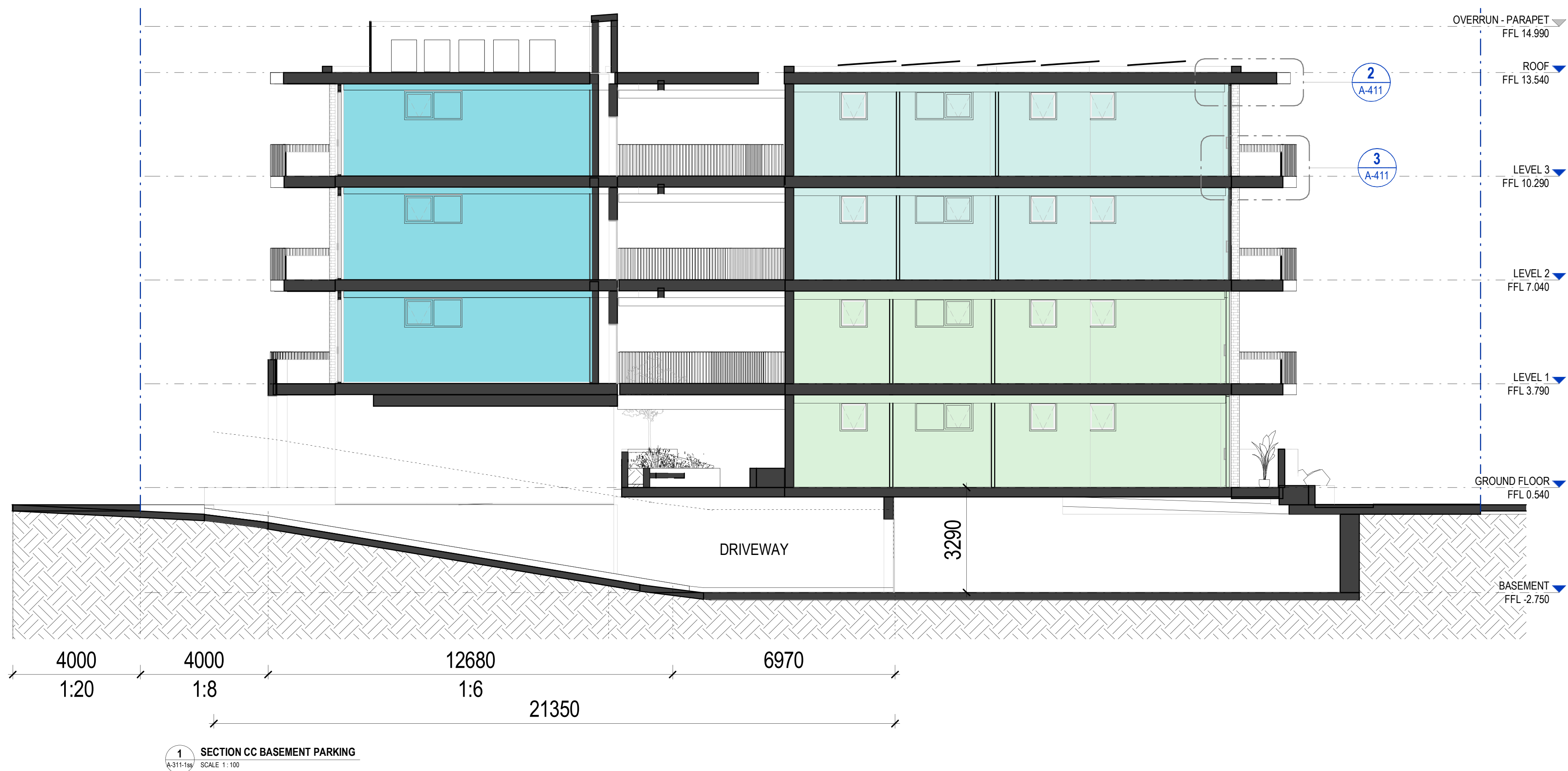
Name **Small Lot Apartments 02**
 by Nguluway DesignInc

Drawing No. **A-351**

Name **SECTION B-B**

Scale **1:100 @ A1**





NSW HOUSING
PATTERN BOOK

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Gadigal Country
Level 12, 125 Philip Street, Sydney NSW 2000
+61 2 9555 7100 Reception@nguluwaydesigninc.com.au

Nominated Architects
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Craig Kerslake 7789

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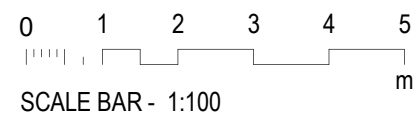
Pattern Code SLA02

Name Small Lot Apartments 02
by Nguluway DesignInc

Drawing No. A-352

Name SECTION C-C

Scale 1:100 @ A1



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Gadigal Country
Level 12, 125 Philip Street, Sydney NSW 2000
+61 2 9555 7100 Reception@nguluwaydesigninc.com.au

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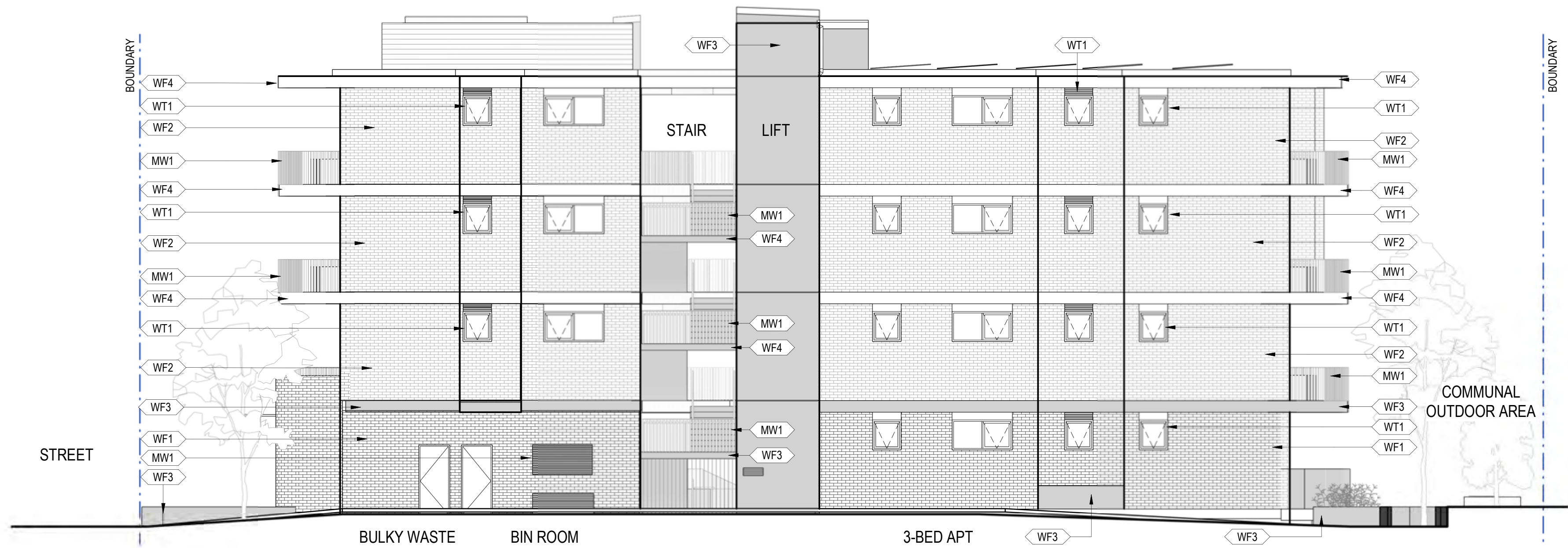
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Name **Small Lot Apartments 02
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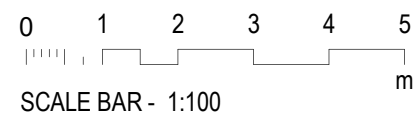
Drawing No. **A-360-1**

Name **NORTH ELEVATION AND
ADAPTATIONS**

Scale **1:100 @ A1**



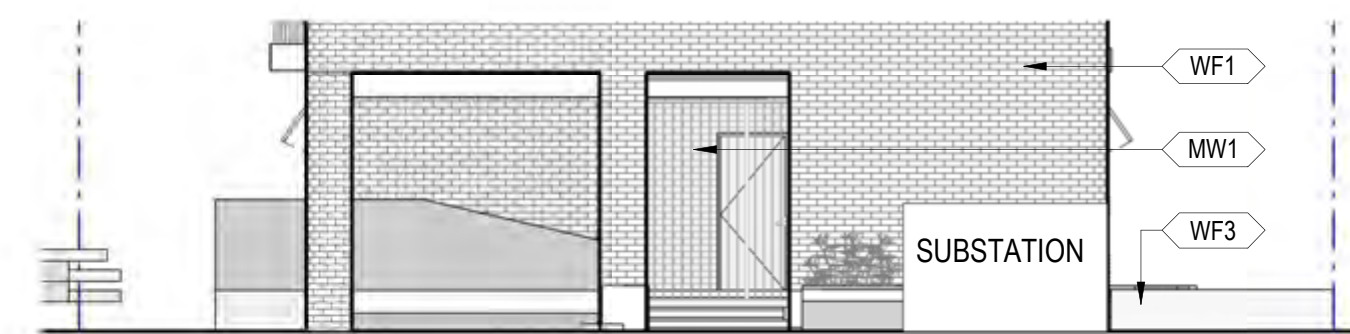
1 SOUTH ELEVATION
SCALE 1:100



Rev	Date	Description
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1 WEST ELEVATION - BASEMENT PARKING
SCALE 1 : 100



3 SUBSTATION
SCALE 1 : 100



5 EAST ELEVATION
SCALE 1 : 100

0 1 2 3 4 5
m
SCALE BAR - 1:100

NSW HOUSING
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Gadigal Country
Level 12, 125 Philip Street, Sydney NSW 2000
+61 2 9955 7100 Reception@nguluwaydesigninc.com.au

Nominated Architects
Ian Armstrong 7250
Craig Kerslake 7789

Cathryn Drew-Bredin 7269
Mary Anne McGirr 10946

Pattern Code SLA02

Name Small Lot Apartments 02
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Drawing No. A-360-3

Name ELEVATIONS AND
ADAPTATIONS

Scale 1:100 @ A1

Typical apartments

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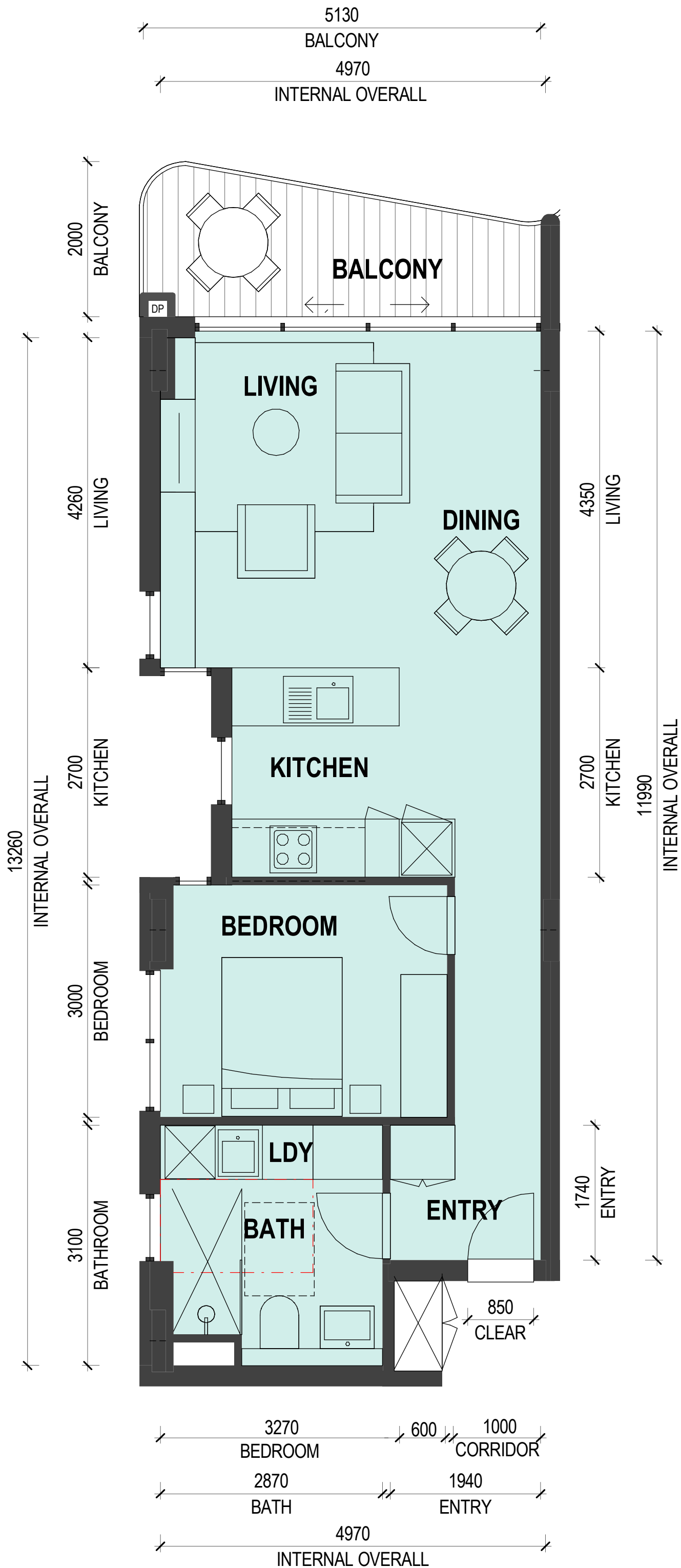
Rev	Date	Description
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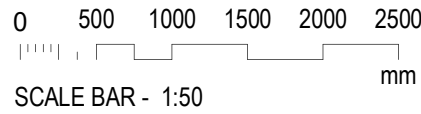
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Level 12, 125 Philip Street, Sydney NSW 2000
+61 2 9555 7100 Reception@nguluway.designinc.com.au

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Ian Armstrong 7250 Cathryn Drew-Bredin 7269
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Apartment Type	1B_1
Apartment Type	1 Bedroom
Internal Area	59m ²
Balcony Area	8.6m ²
Internal storage volume	7m ³
External storage volume	0m ³
ACBC Livable Housing Design standard	Standard for livable housing design
AS4299 Adaptable	
Kitchen Type	K_1



Pattern Code **SLA02**

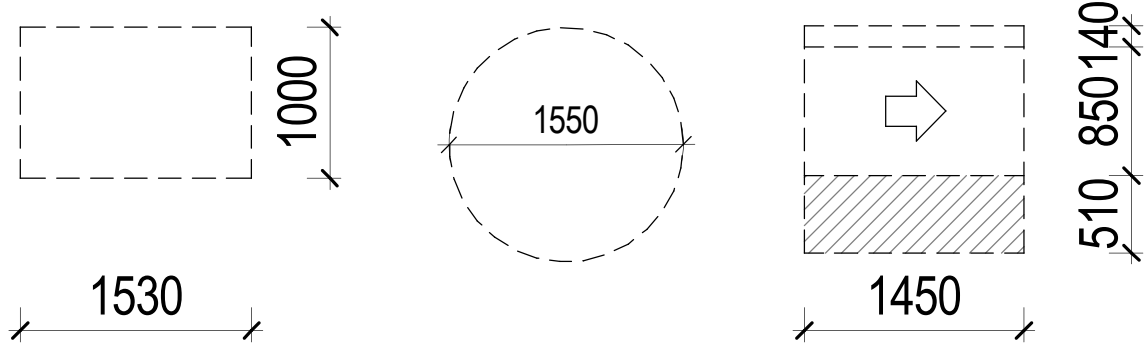
Name **Small Lot Apartments 02
by Nguluway DesignInc**

Drawing No. **A-370-1**

Name **APARTMENT PLANS**

Scale **1:50 @ A1**

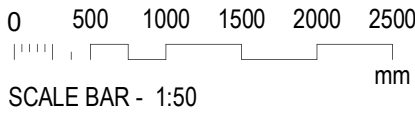
POST ADAPTABLE KEY



Apartment Type	2B_1 Pre-Adaptable
Apartment Type	2 Bedroom
Internal Area	79m ²
Balcony Area	16.8m ²
Internal storage volume	12.7m ³
External storage volume	0m ²
ACBC Livable Housing Design standard	Standard for livable housing design
AS4299 Adaptable	
Kitchen Type	K_2



Apartment Type	2B_1 Post Adaptable
Apartment Type	2 Bedroom
Internal Area	79m ²
Balcony Area	16.8m ²
Internal storage volume	12.7m ³
External storage volume	0m ²
ACBC Livable Housing Design standard	Standard for livable housing design
AS4299 Adaptable	Yes
Kitchen Type	K_2



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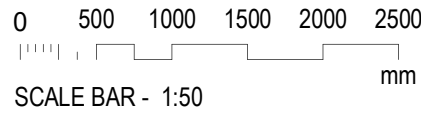
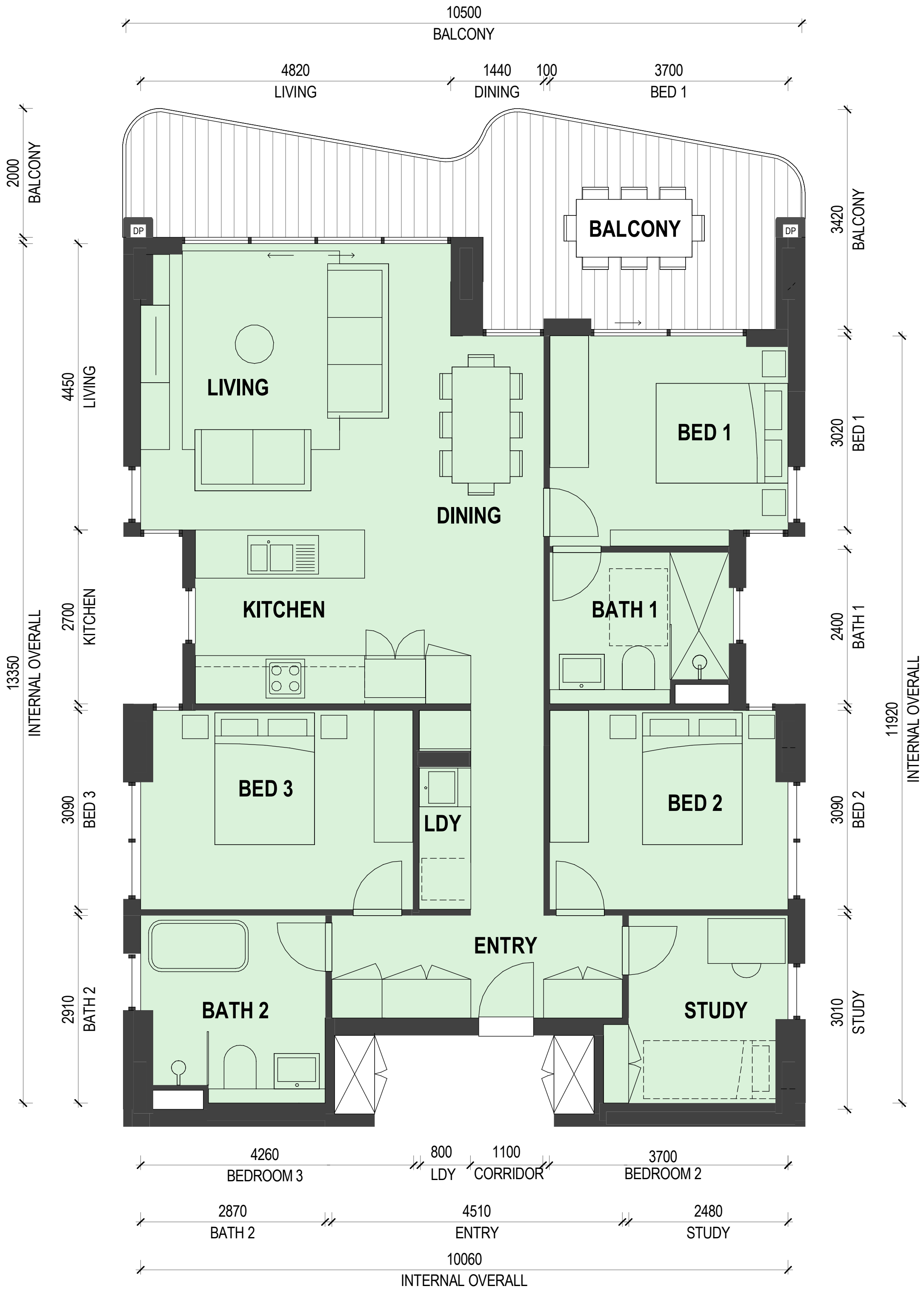
Nominated Architects
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Craig Kerslake 7789

Cathryn Drew-Bredin 7269
Mary Anne McGirr 10946

Pattern Code	SLA02
Name	Small Lot Apartments 02 by Nguluway DesignInc

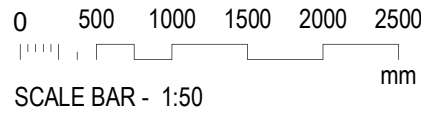
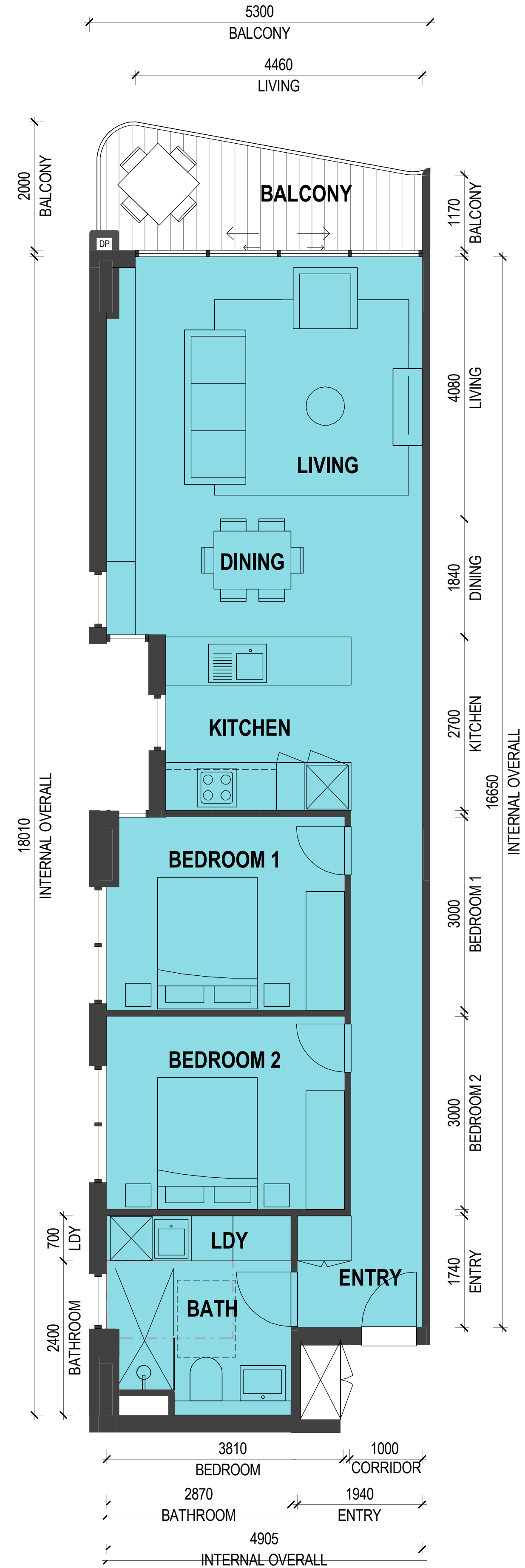
Drawing No.	A-370-3
Name	APARTMENT PLANS
Scale	1:50 @ A1

Apartment Type	3B_1
Apartment Type	3 Bedroom
Internal Area	116m ²
Balcony Area	24m ²
Internal storage volume	10.3m ³
External storage volume	0m ³
ACBC Livable Housing Design standard	Standard for livable housing design
AS4299 Adaptable	
Kitchen Type	K_3



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Apartment Type	2B_2
Apartment Type	2 Bedroom
Internal Area	82m ²
Balcony Area	8.6m ²
Internal storage volume	10m ³
External storage volume	0m ²
ACBC Livable Housing Design standard	Standard for livable housing design
AS4299 Adaptable	
Kitchen Type	K_1



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Craig Kerslake 7789 Mary Anne McGirr 10946

Pattern Code	SLA02
Name	Small Lot Apartments 02 by Nguluway DesignInc

Drawing No.	A-370-3
Name	APARTMENT PLANS
Scale	1:50 @ A1

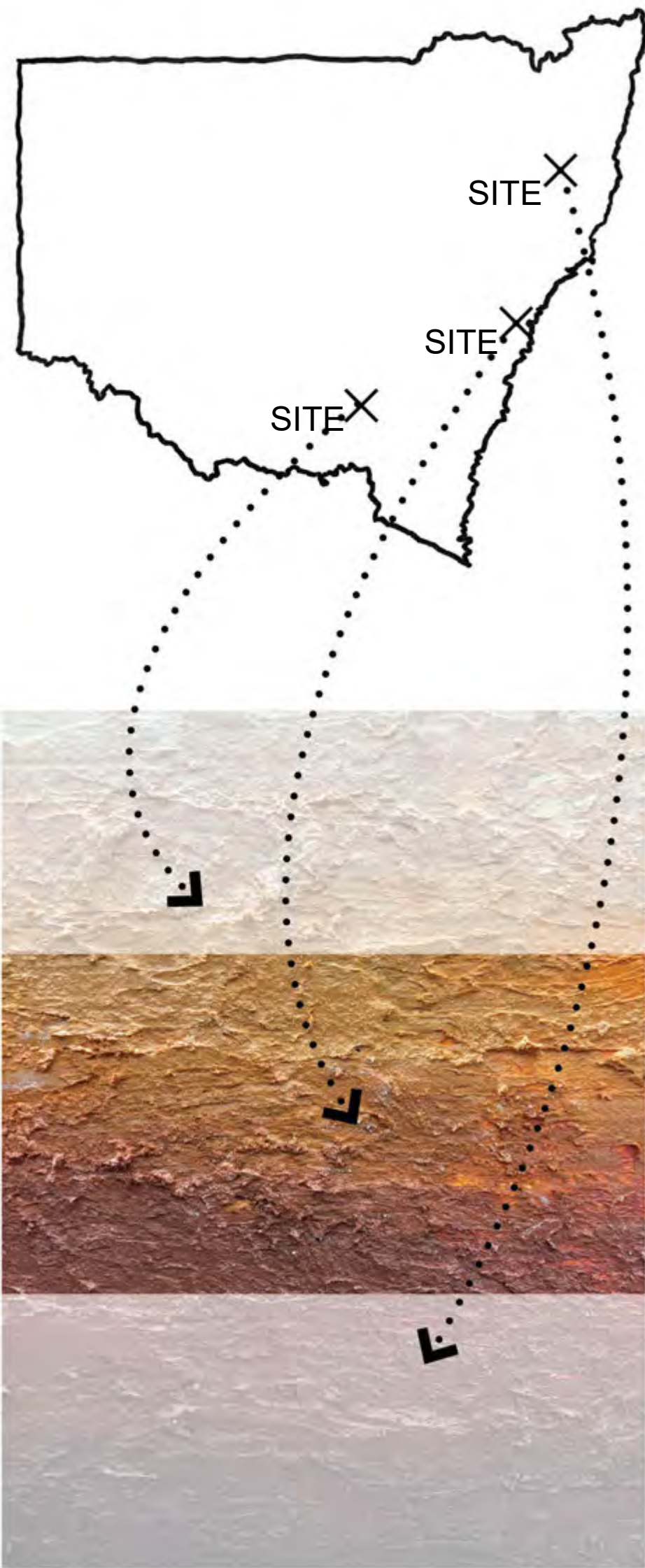
Renders and materials

MATERIAL PALETTE GUIDE

How geology informs materiality

The building is designed as having a ‘base’ (Ground) and ‘upper’ (L1 and above). The ‘base’ and ‘upper’ stratas should be darker and lighter tones of the primary colour respectively, achieving a noticeable difference between the two.

The intent is that each strata is read as a uniform coloured block. Where a finish is part of the base, it should match the base colour material i.e. brick selection, mortar joints, metalwork (including window frames), paintwork etc. Where a finish is part of the ‘upper’, it should similarly be coloured to match the lighter tone, with the exception of metalwork which should be consistent across both base and upper.



COUNTRY:
Project's colour scheme is informed by the Country where the project is situated.

UPPER:
Levels 1-3 materiality employs lighter tone of Country colour, with the exception of metalwork.



There should be an approximate colour difference of 50% between base and upper material



BASE:
Ground floor materiality employs darker tone of Country colour

How to use

Find the local colours of Country and adapt the colour palette according to the strategy as shown.

NSW Government's eSPADE soil map index comprises a statewide dataset of soil profiles, freely available to view.

Metalwork in dark tone colour.
*Dark tone metalwork is applied throughout - there is no 'upper' version of the metalwork.



Primary Material :
Brick with colour-matched mortar or, CFC Sheet. Light tone of Country colour

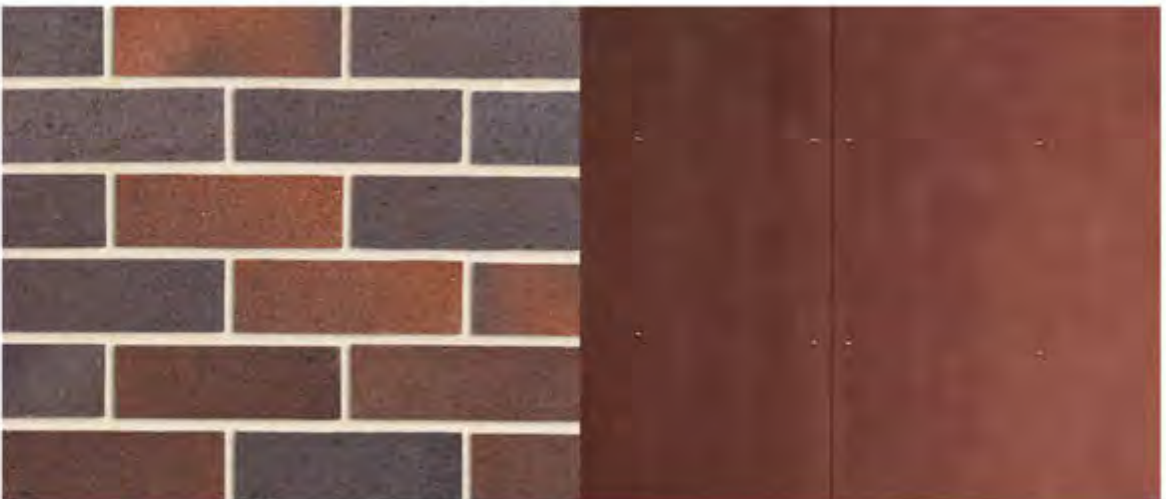
Metalwork in dark tone colour.



Off-form concrete



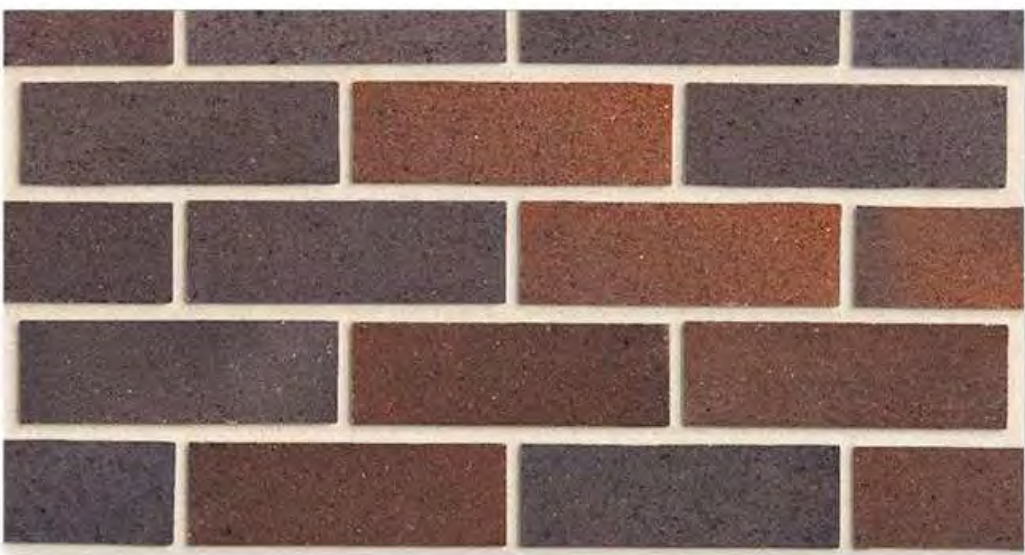
Dark tone: Painted concrete



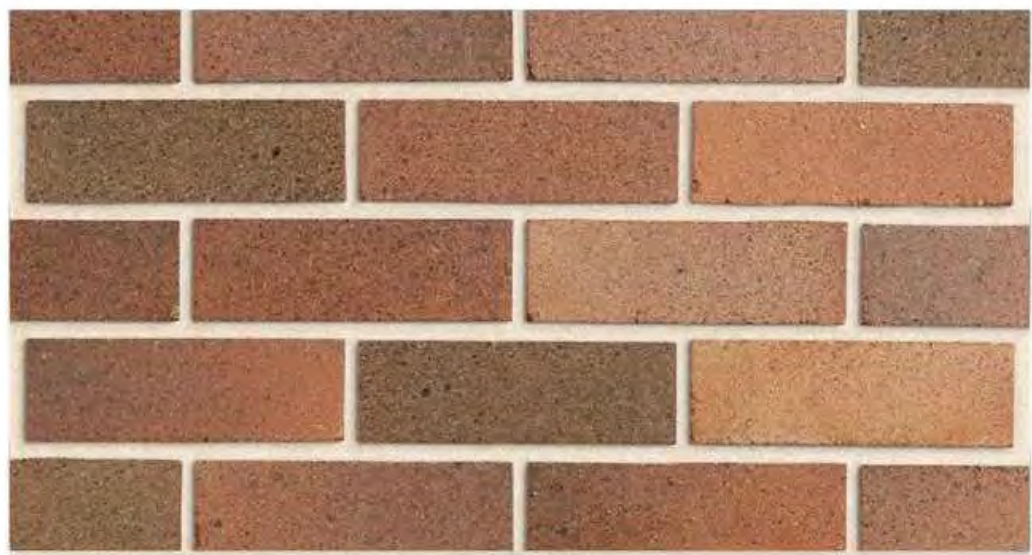
Primary Material :
Brick with colour-matched mortar or, CFC Sheet. Dark tone of Country colour

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BRICK PALETTE



WF1 - Brick walls
Face brick - darker base
Colour-matched mortar



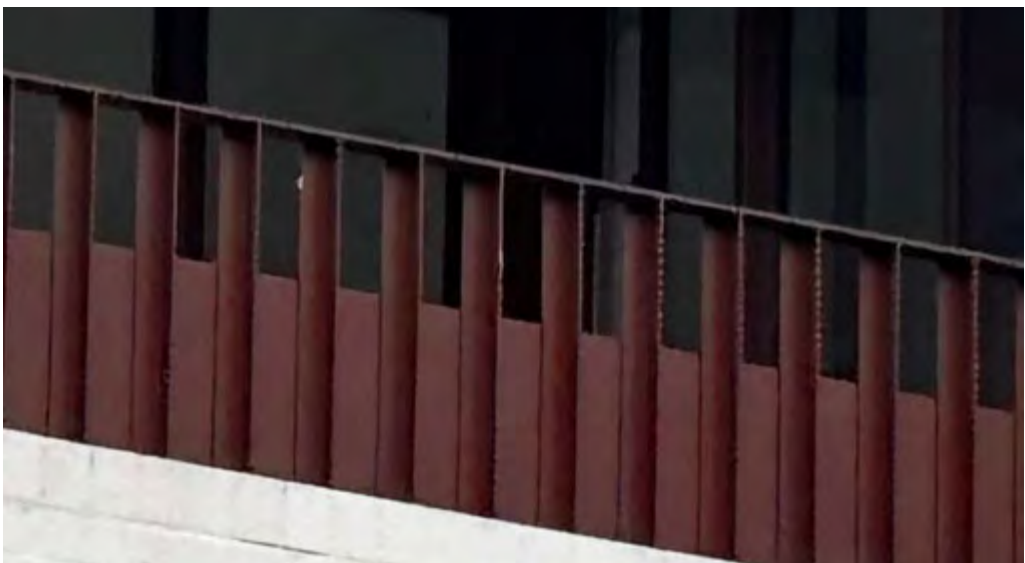
WF2 - Brick walls
Face brick - lighter top
Colour-matched mortar



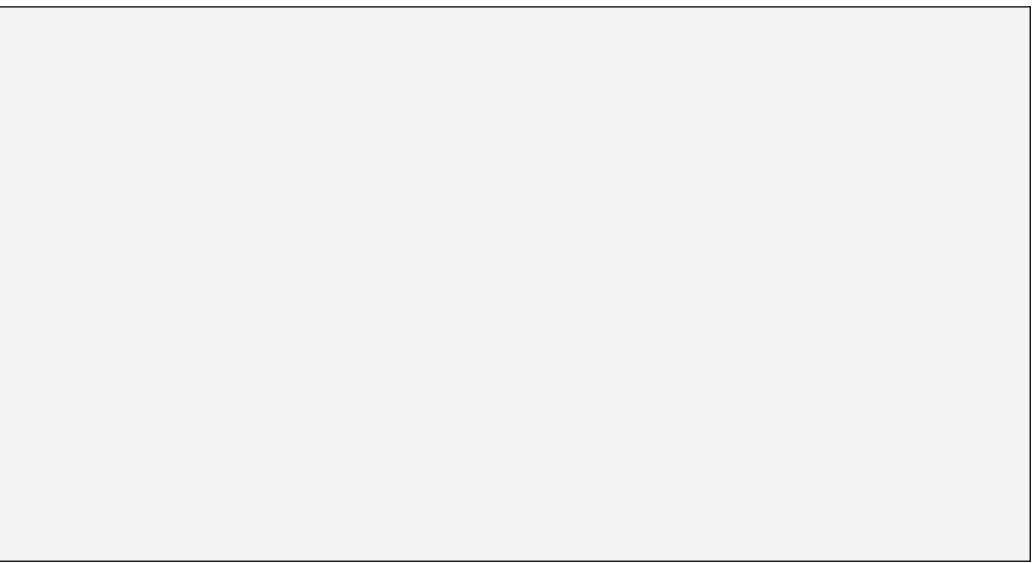
WF3 - Concrete
Planter beds, lift core, slab edges base
Paint finish - earthy red colour



WF4 - Concrete
Slab edges upper levels
Paint finish - light earth colour



MW1 - Metalwork
Aluminium powdercoat finish - dark red
(match to window framing)



CF1 - Soffit lining - Brackish space
CFC sheet
Paint finish - white

WT1 - Window/door frames
Aluminium powdercoat finish - dark red
(match to metalwork)

WF5 - Balcony slab underside
Textured paint skim-coat
Paint finish - white

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Pattern Code	SLA02
Name	Small Lot Apartments 02 by Nguluway DesignInc

Drawing No.	A-381
Name	MATERIALS PALETTE
Scale	NTS

CFC PALETTE



WF1 - CFC cladding
Darker base



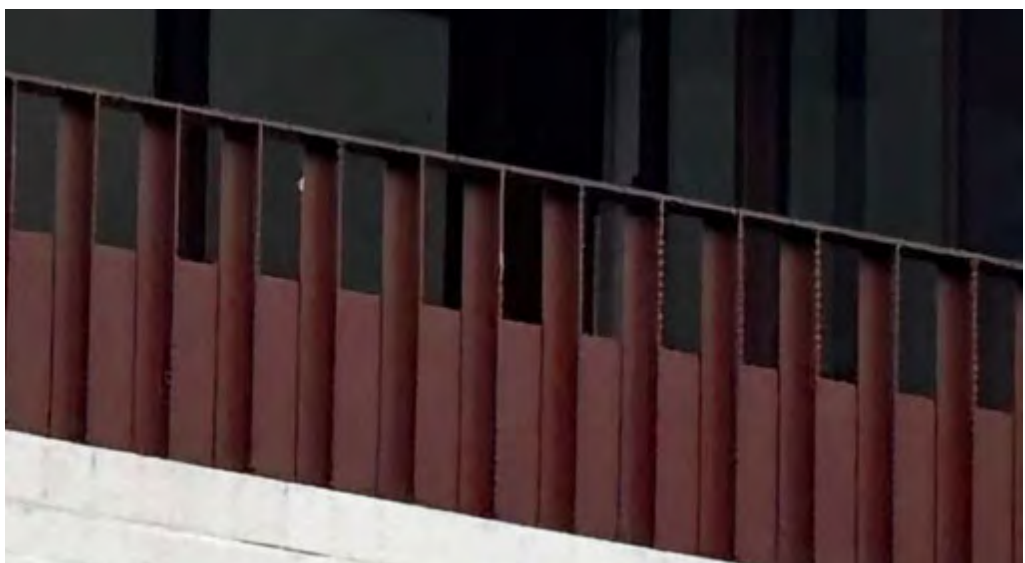
WF2 - CFC cladding
Lighter top



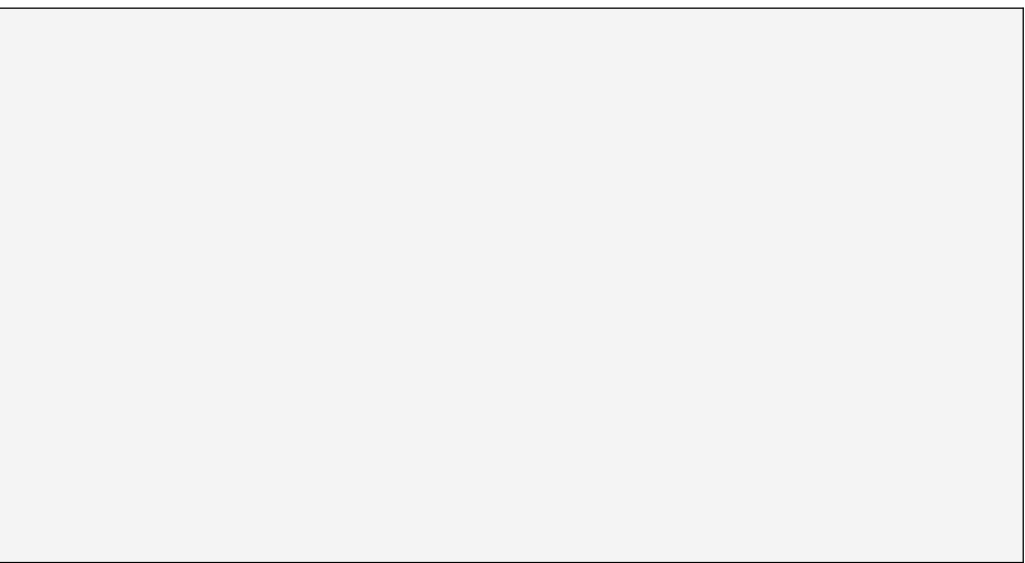
WF3 - Concrete
Planter beds, lift core, slab edges base
Paint finish - earthy red colour



WF4 - Concrete
Slab edges upper levels
Paint finish - light earth colour



MW1 - Metalwork
Aluminium powdercoat finish - dark red
(match to window framing)



CF1 - Soffit lining - Brackish space
CFC sheet
Paint finish - white

WT1 - Window/door frames
Aluminium powdercoat finish - dark red
(match to metalwork)

WF5 - Balcony slab underside
Textured paint skim-coat
Paint finish - white

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Gadigal Country
Level 12, 125 Philip Street, Sydney NSW 2000
+61 2 9955 7100
Reception@nguluwaydesigninc.com.au

Nominated Architects
Ian Armstrong
Craig Kerslake

7250
7789

Cathryn Drew-Bredin
Mary Anne McGirr

7269
10946

Pattern Code	SLA02
Name	Small Lot Apartments 02 by Nguluway DesignInc

Drawing No.	A-390
Name	RENDERED VIEW 01
Scale	NTS



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Gadigal Country
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Pattern Code	SLA02
Name	Small Lot Apartments 02 by Nguluway DesignInc

Drawing No.	A-391
Name	RENDERED VIEW 02
Scale	NTS



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Gadigal Country
Level 12, 125 Philip Street, Sydney NSW 2000
+61 2 9955 7100 Reception@nguluwaydesigninc.com.au

Nominated Architects

Ian Armstrong 7250 Cathryn Drew-Bredin 7269
Craig Kerslake 7789 Mary Anne McGirr 10946

Pattern Code	SLA02
Name	Small Lot Apartments 02 by Nguluway DesignInc

Drawing No.	A-392
Name	RENDERED VIEW 03
Scale	NTS



NSW HOUSING
PATTERN BOOK

GOVERNMENT
ARCHITECT
NEW SOUTH WALES



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Rev 1	Nov 2025	Pattern Book Issue

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Craig Kerslake 7789

Cathryn Drew-Bredin 7269
Mary Anne McGirr 10946

Pattern Code	SLA02
Name	Small Lot Apartments 02 by Nguluway DesignInc

Drawing No.	A-393
Name	RENDERED VIEW 04
Scale	NTS



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Cathryn Drew-Bredin 7269
Mary Anne McGirr 10946

Pattern Code **SLA02**
Name **Small Lot Apartments 02
by Nguluway DesignInc**

Drawing No. **A-394**
Name **RENDERED VIEW 05**
Scale **NTS**

SMALL LOT APARTMENTS 02

by Nguluway DesignInc



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Craig Kerslake	7789	Mary Anne McGirr	10946

Pattern Code **SLA02**

Name **Small Lot Apartments 02**
 by Nguluway DesignInc

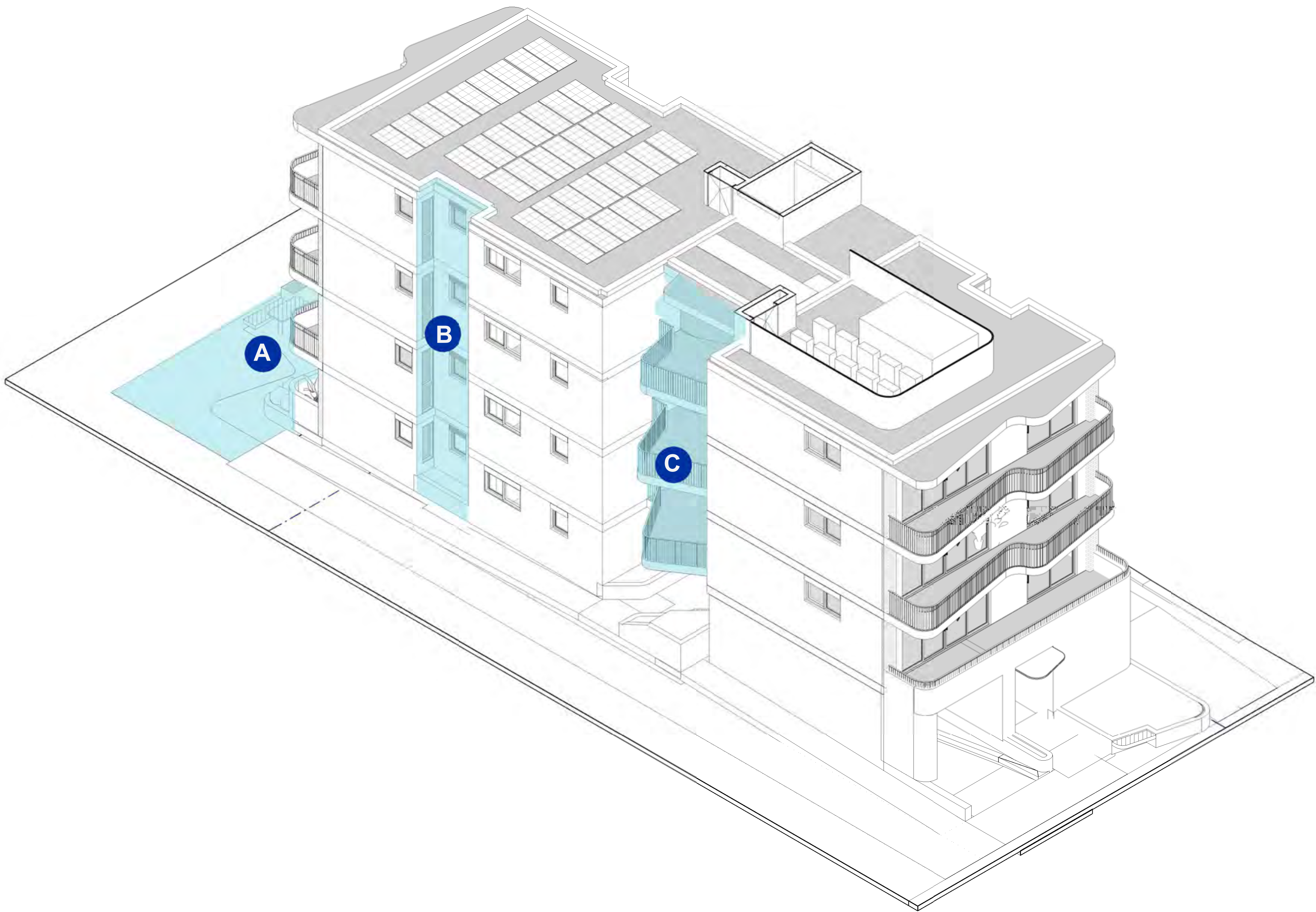
Drawing No. **A-395**

Name **ILLUSTRATIVE**
 AXONOMETRIC VIEW –
 KEY FEATURES

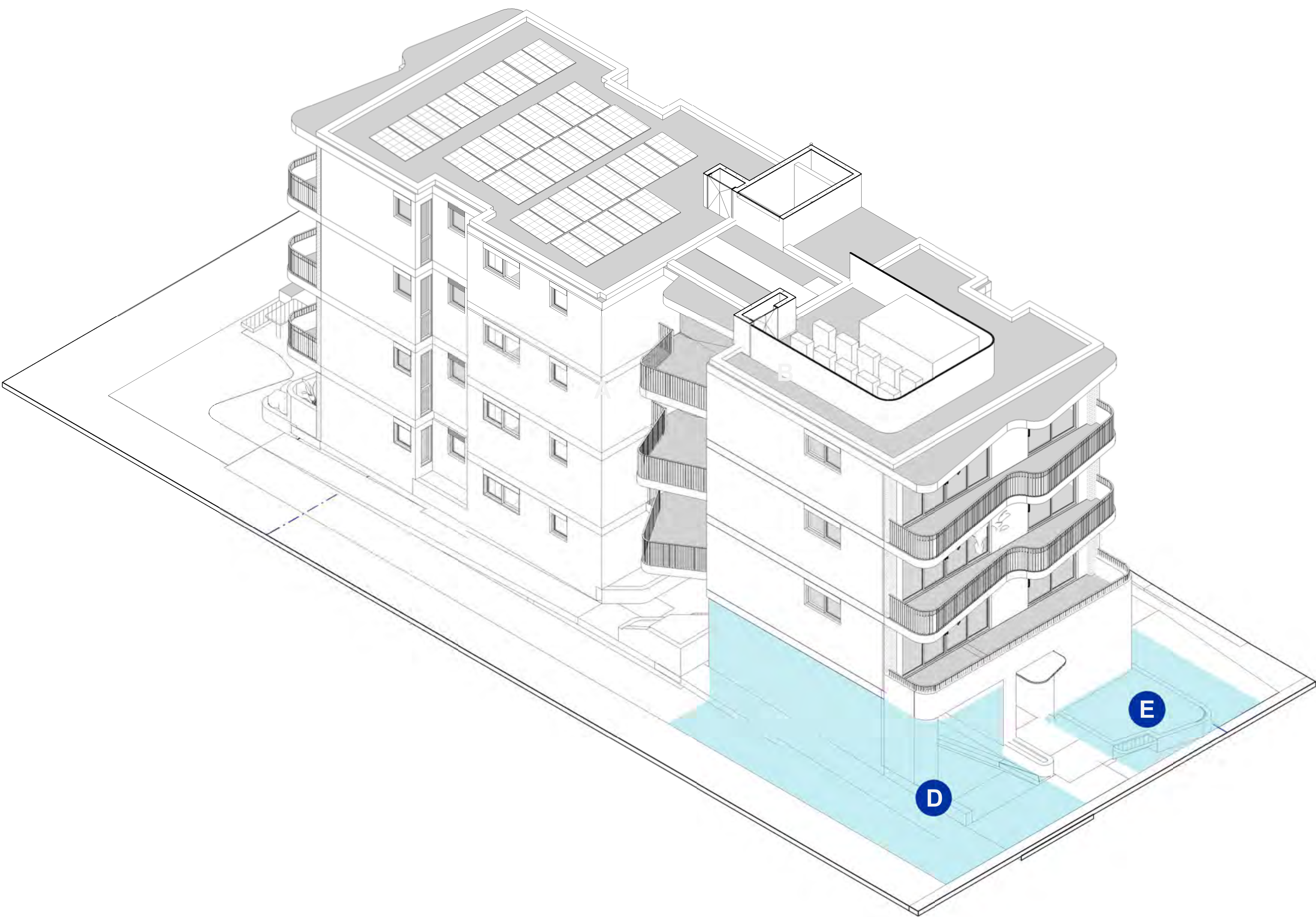
Scale **NTS**

KEY FEATURES

KEY	
A	COMMUNAL OUTDOOR AREA
B	NOTCH FOR CROSS VENTILATION & NATURAL AMBIENT LIGHT
C	BRACKISH SPACES



ADAPTABLE ELEMENTS	
KEY	
D	DRIVEWAY OR STUDIO
E	LANDSCAPING OR SUBSTATION



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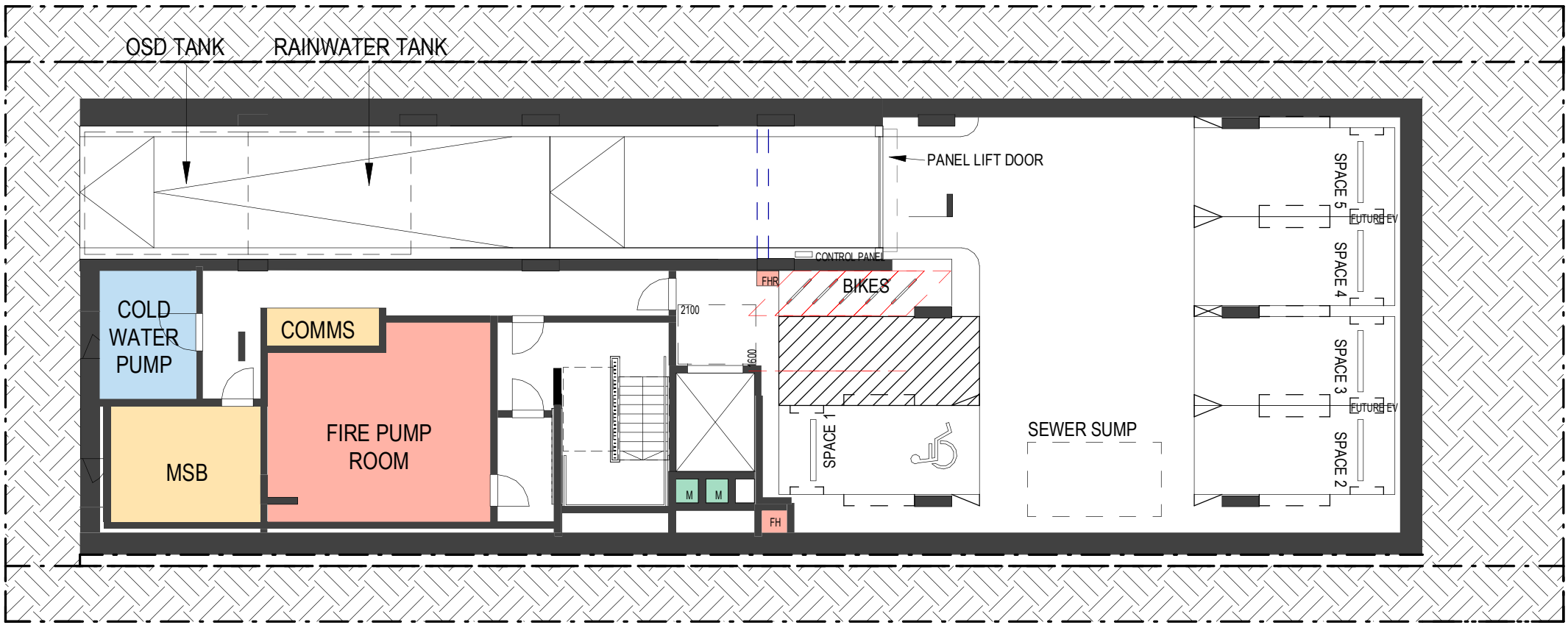
Cathryn Drew-Bredin 7269
Mary Anne McGirr 10946

Pattern Code	SLA02
Name	Small Lot Apartments 02 by Nguluway DesignInc

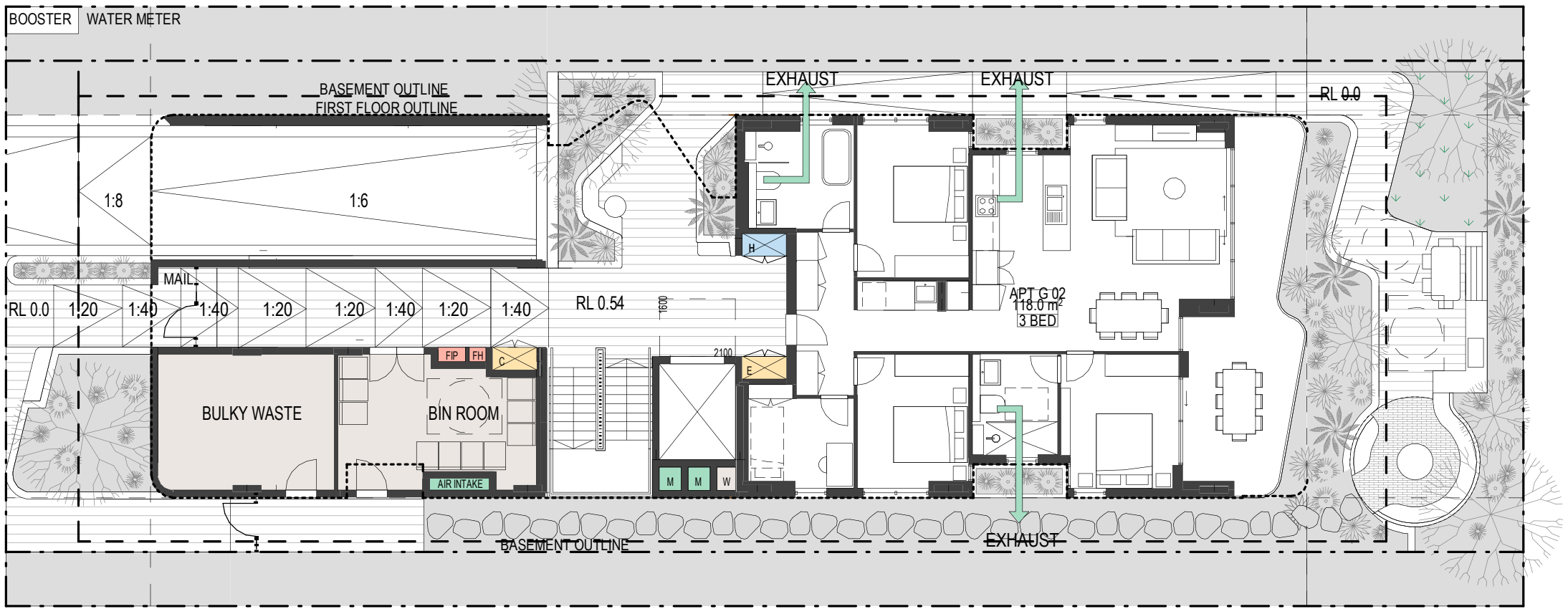
Drawing No.	A-396
Name	ILLUSTRATIVE AXONOMETRIC VIEW – ADAPTABLE FEATURES
Scale	NTS

Technical information

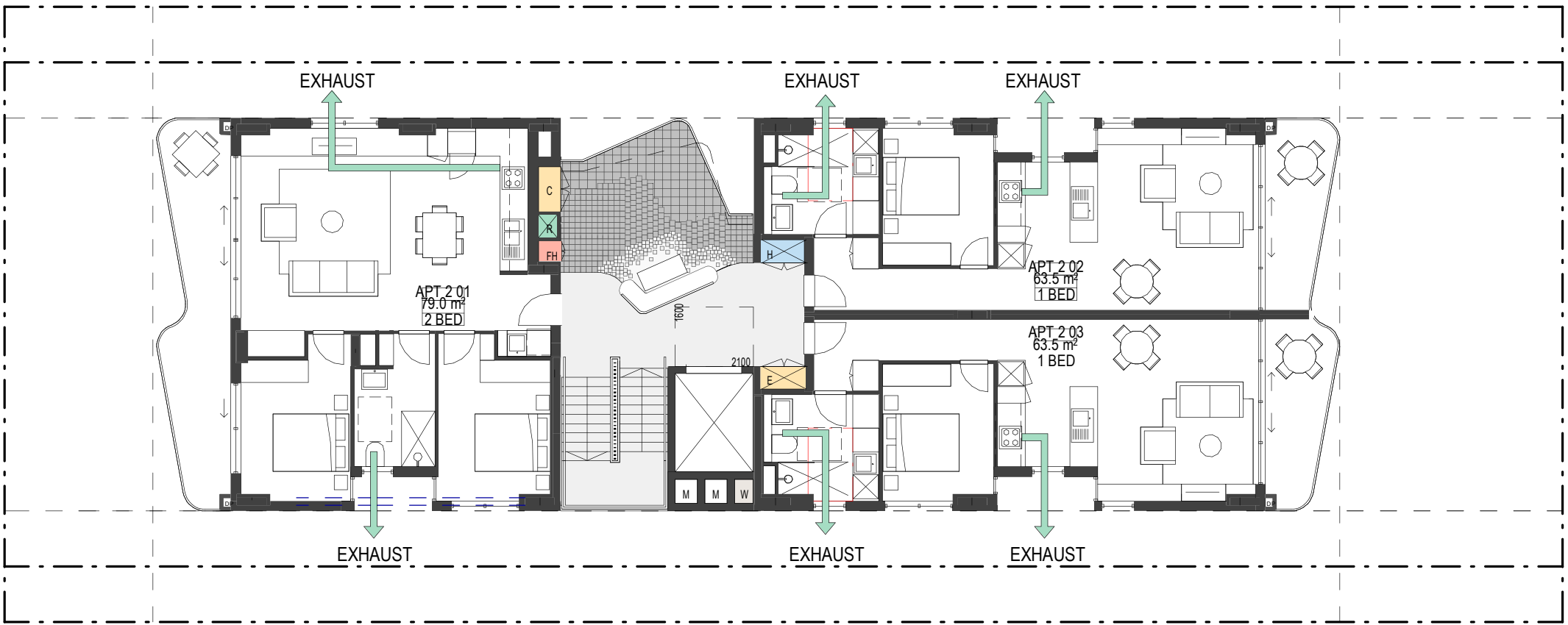
Services



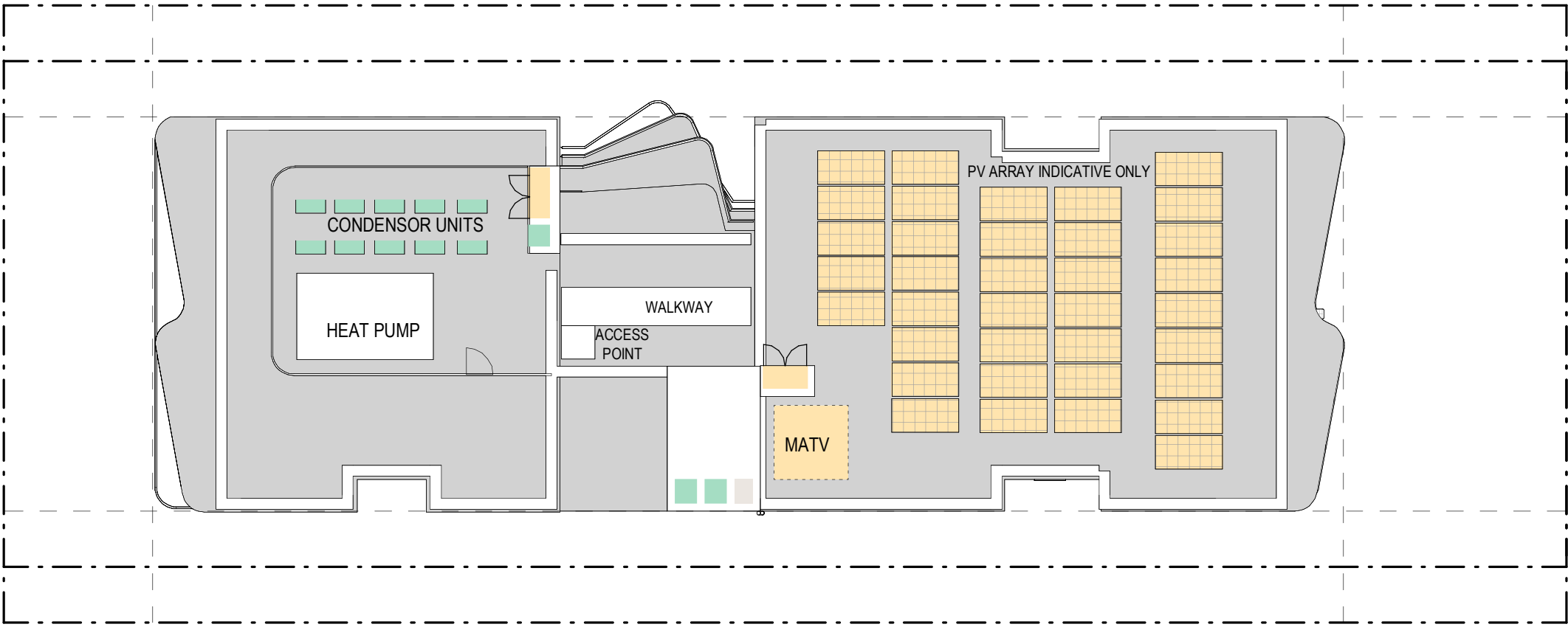
1 BASEMENT PLAN



2 GROUND FLOOR PLAN



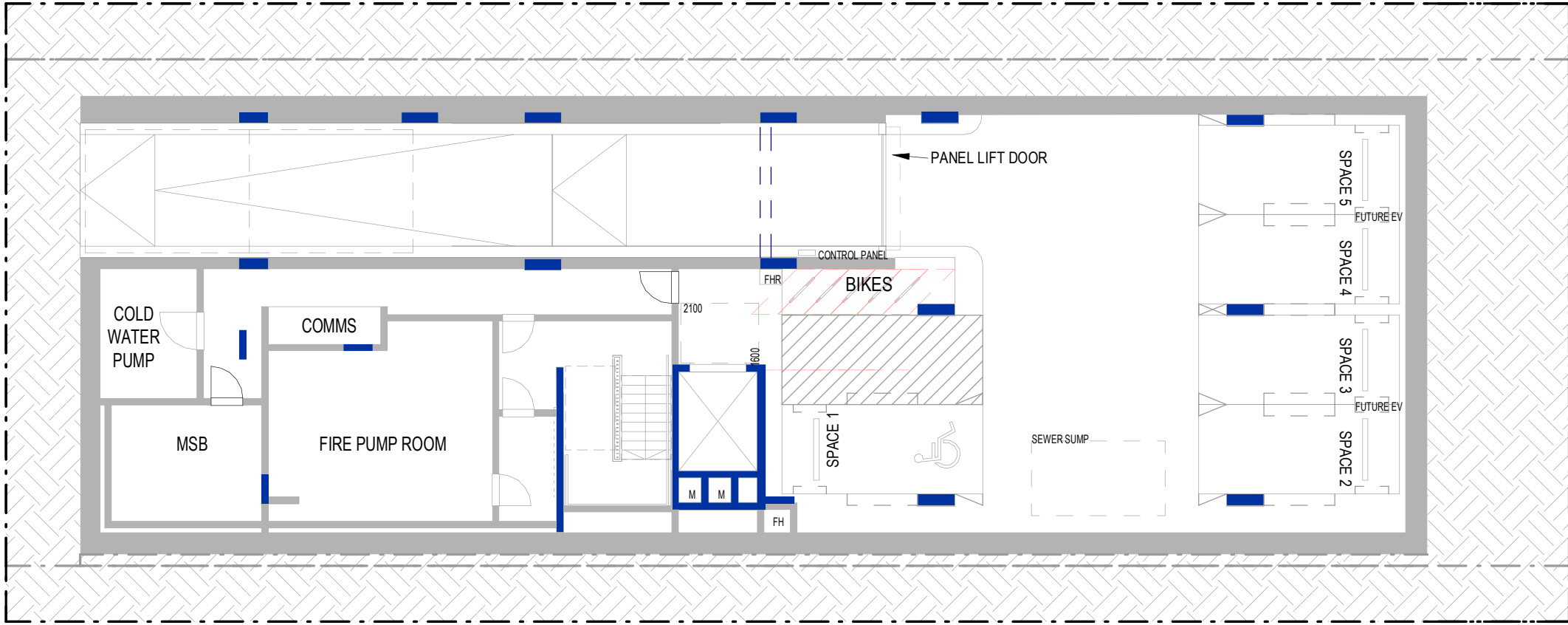
3 TYPICAL UPPER FLOOR PLAN



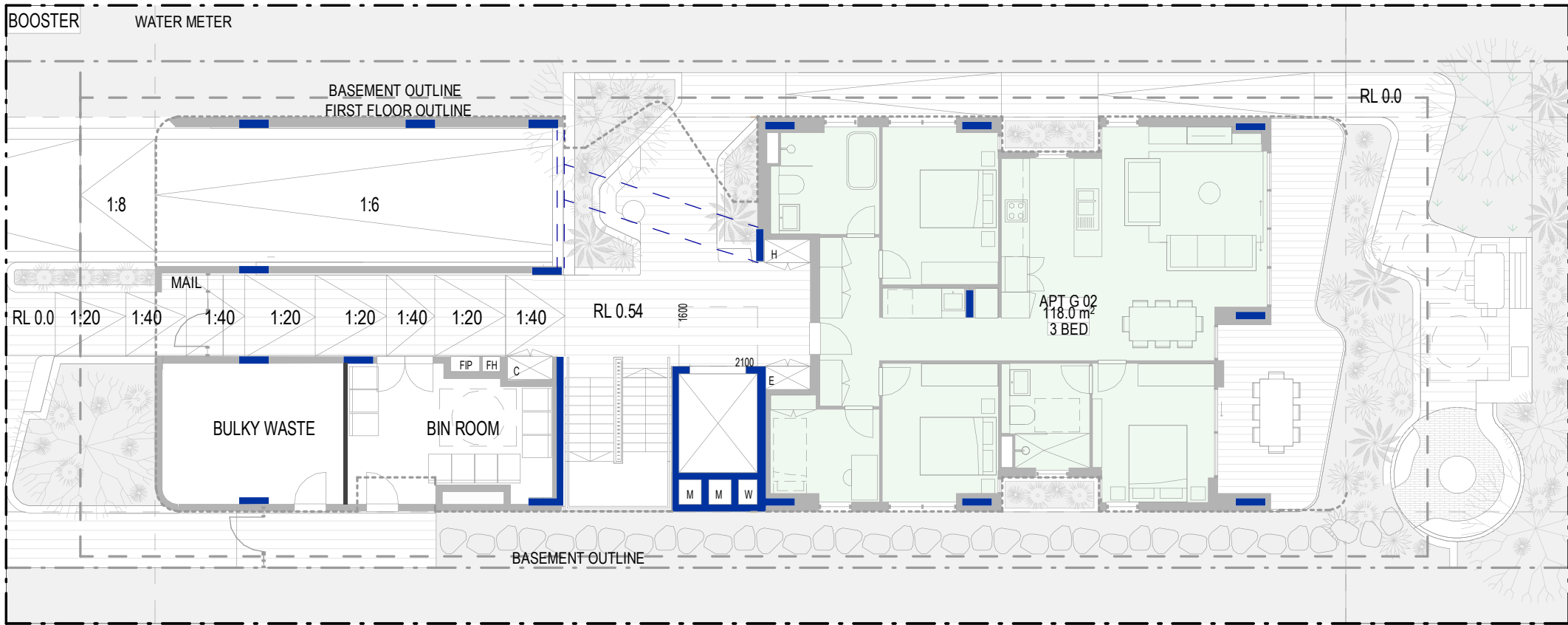
4 ROOF PLAN

SERVICES	
KEY	
	ELECTRICAL/COMMS
	MECHANICAL
	HYDRAULIC
	FIRE
	WASTE
C	COMMS RISER
E	ELECTRICAL RISER
FIP	FIRE INDICATOR PANEL
FH	FIRE HYDRANT
H	HYDRAULIC RISER
M	MECHANICAL RISER
R	AC REFRIGERANT RISER
W	WASTE ROOM RISER

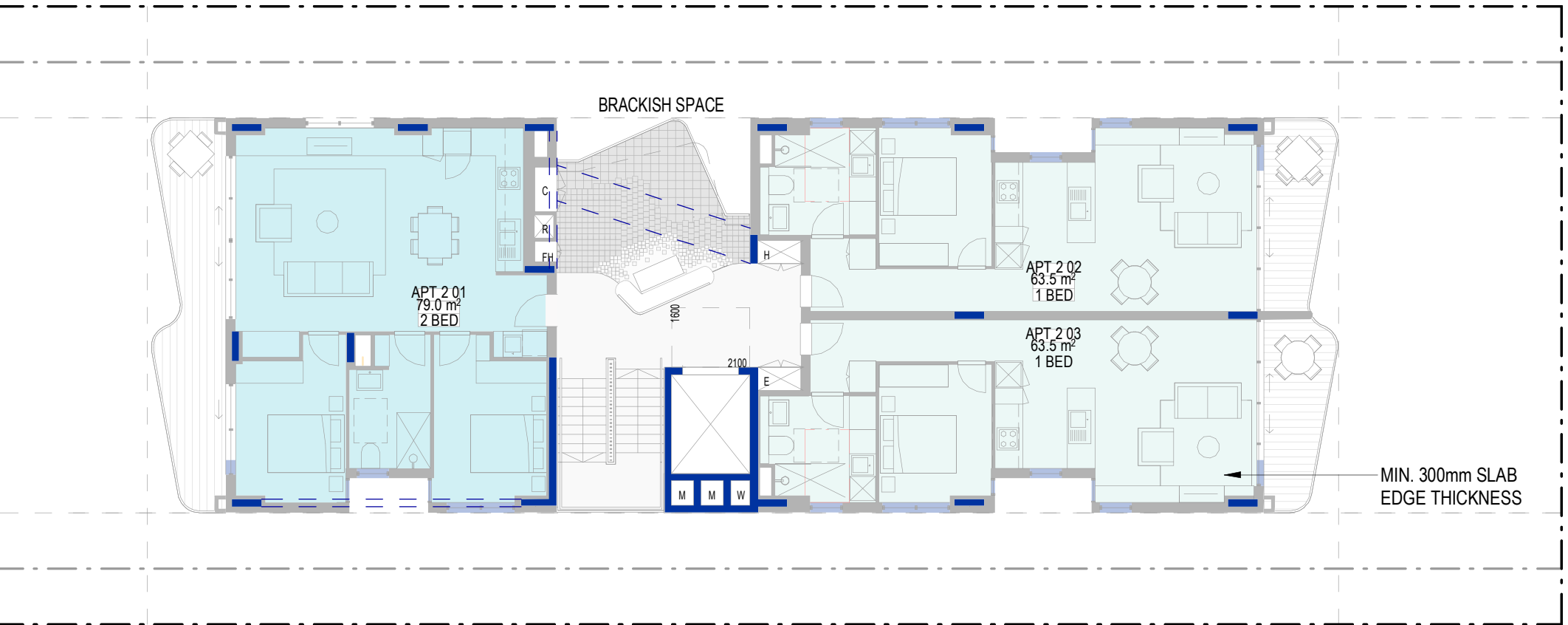
Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue



1 BASEMENT PLAN



2 GROUND FLOOR PLAN



3 TYPICAL UPPER FLOOR PLAN

STRUCTURE

KEY

STRUCTURE

0 1.5 3 4.5 6 7.5
1:150 m

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Pattern Code SLA02

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by Nguluway DesignInc

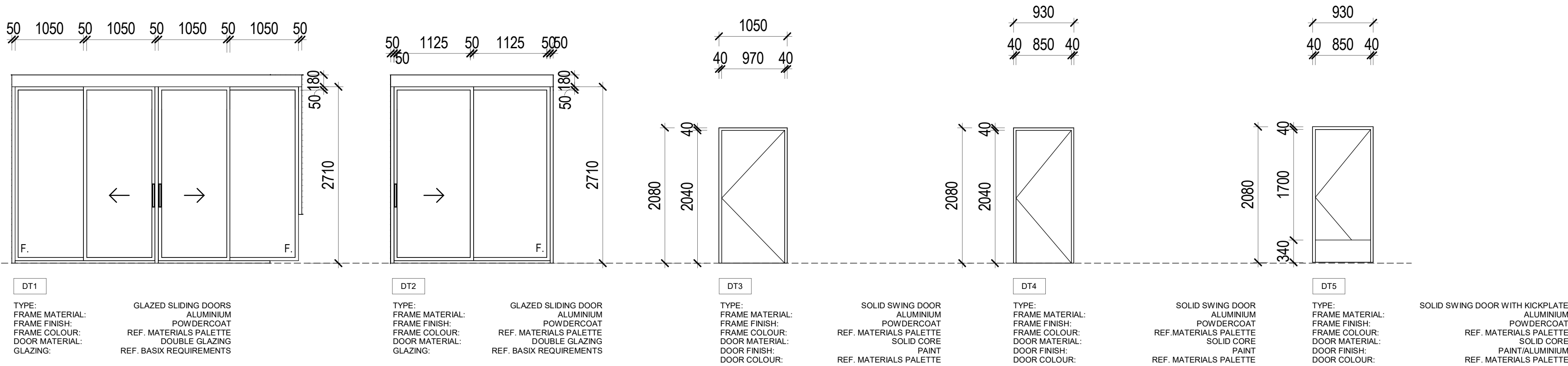
Drawing No. A-401

Name STRUCTURE DIAGRAMS

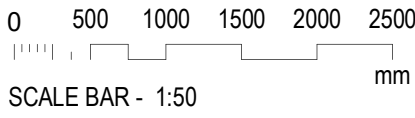
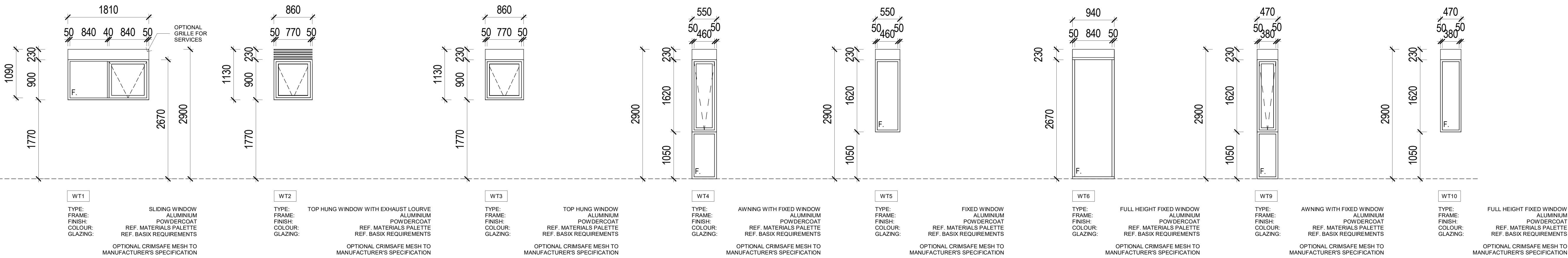
Scale AS INDICATED @ A1

Window and door schedule

FINISHED FLOOR LEVEL



FINISHED FLOOR LEVEL



NSW HOUSING
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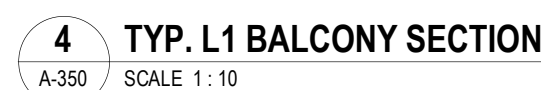
Pattern Code SLA02
Name Small Lot Apartments 02
by Nguluway DesignInc

Drawing No. A-410
Name WINDOW AND DOOR
SCHEDULE
Scale 1:50 @ A1

Details

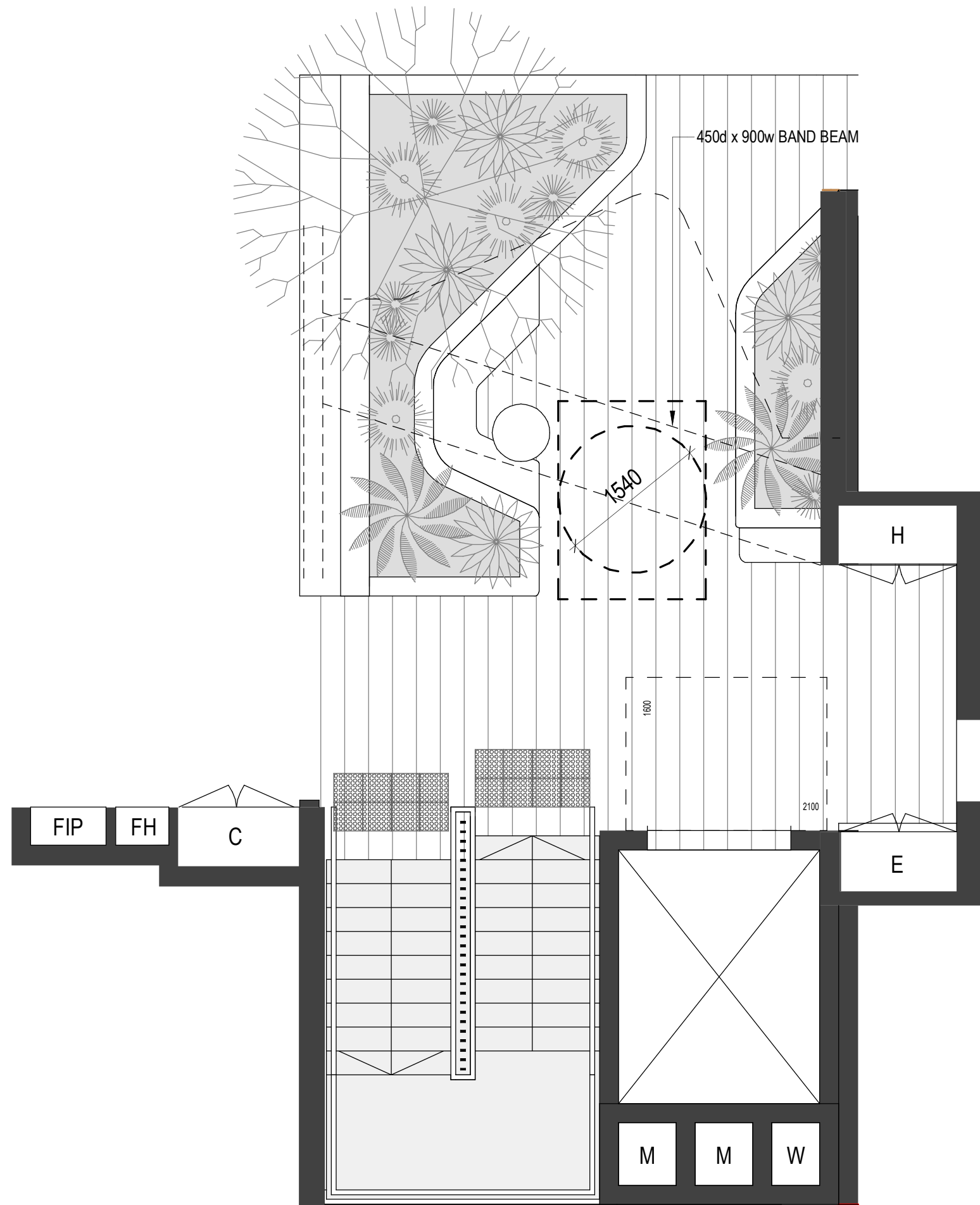


5 TYPICAL FACADE DETAILS SECTION (NOTCH)
A-351 SCALE 1:10

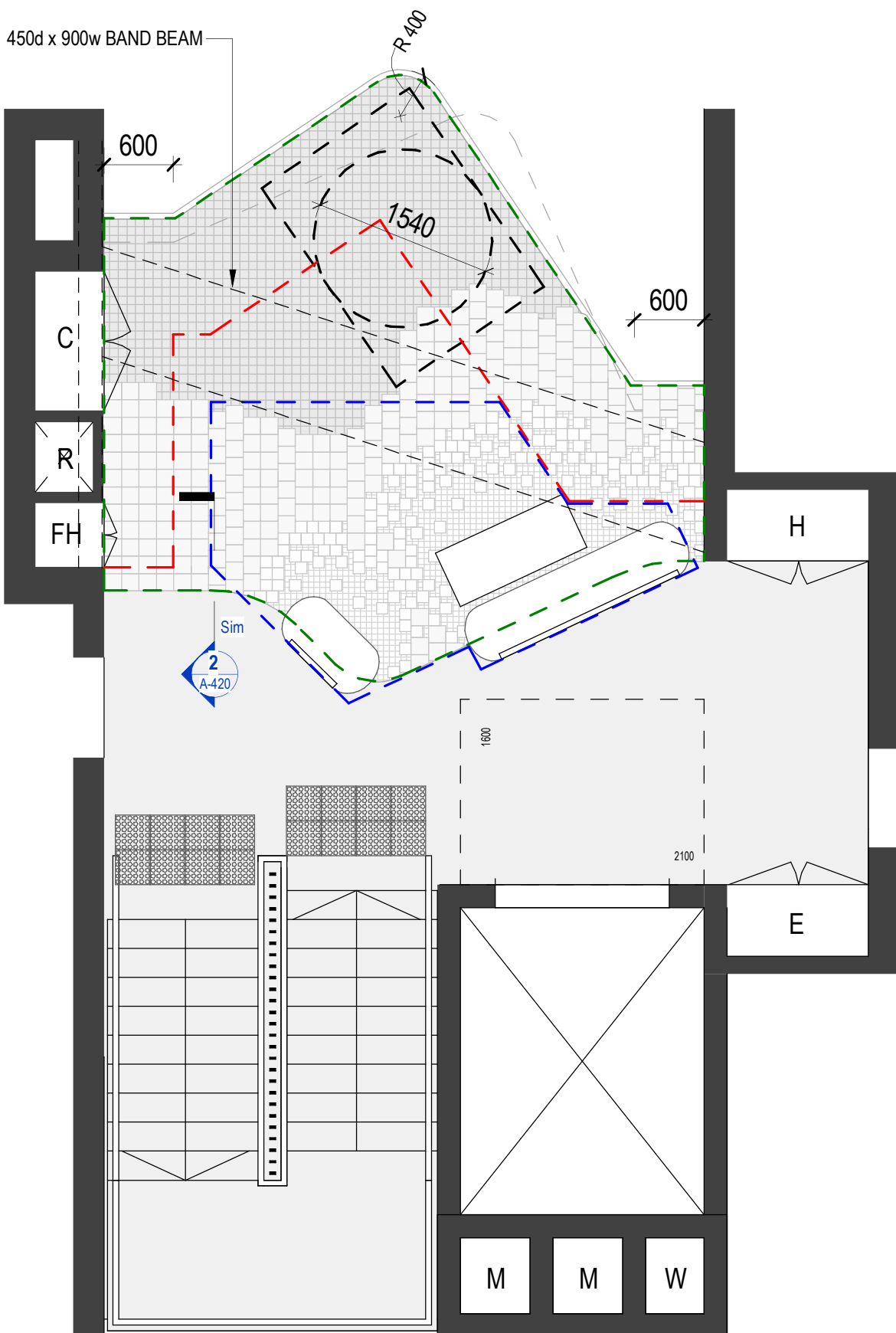


Drawing No.	A-411
Name	KEY FACADE ELEMENT TYPES
Scale	AS INDICATED @ A1

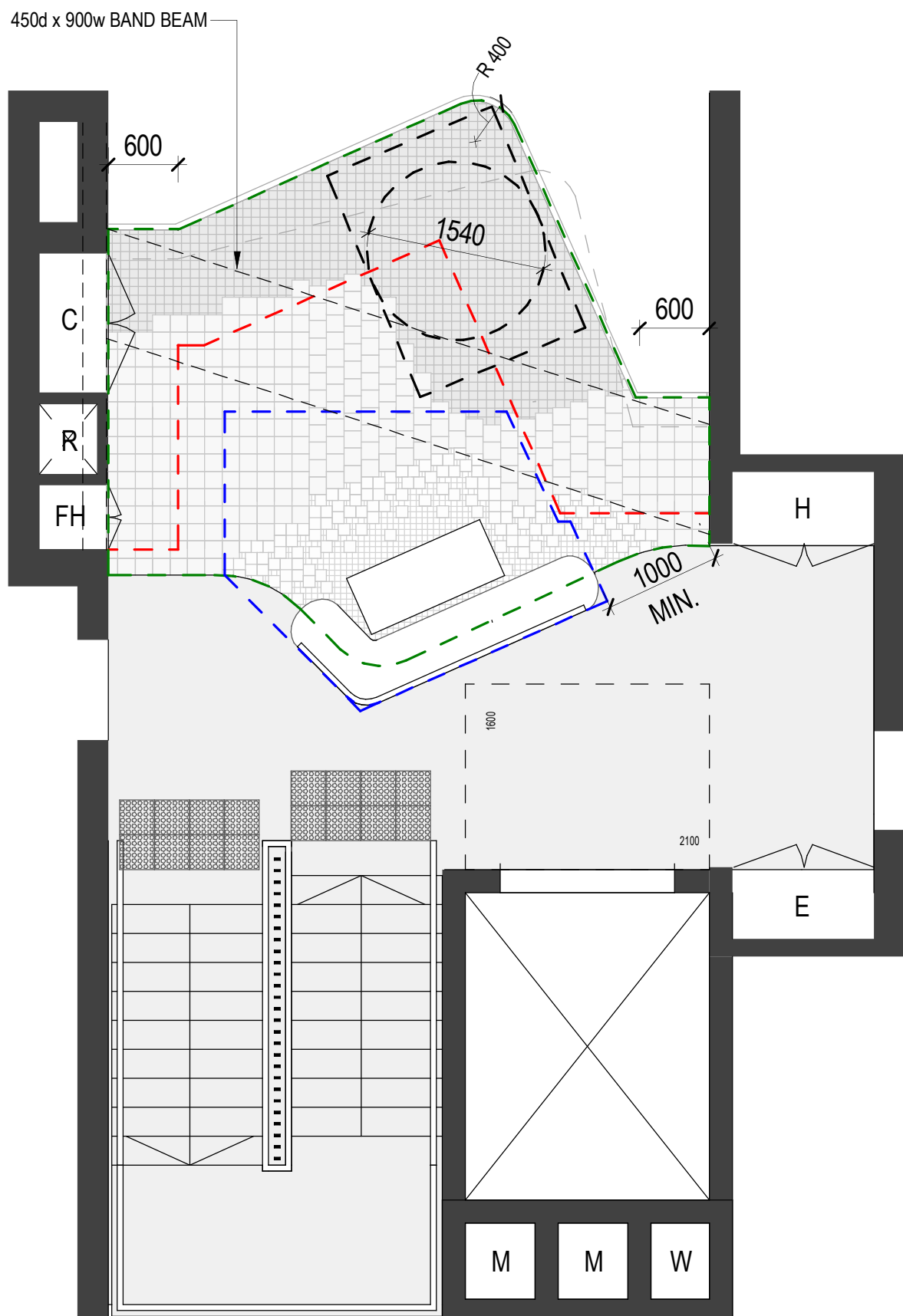
BRACKISH SPACES	
KEY	
---	CLEARANCE ZONE
---	FEATURE PAVING ZONE
---	FURNITURE ZONE



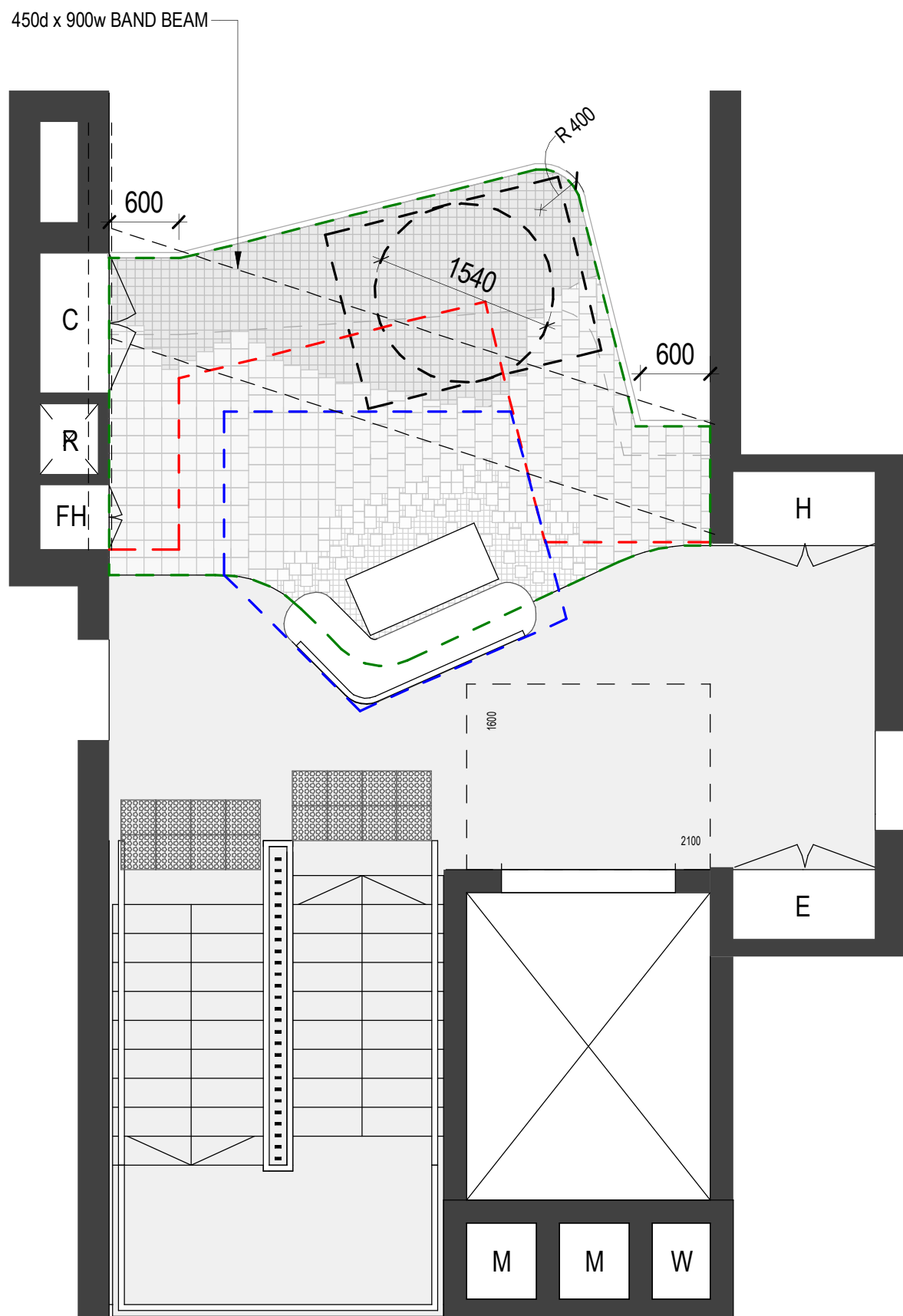
GROUND FLOOR



FIRST FLOOR



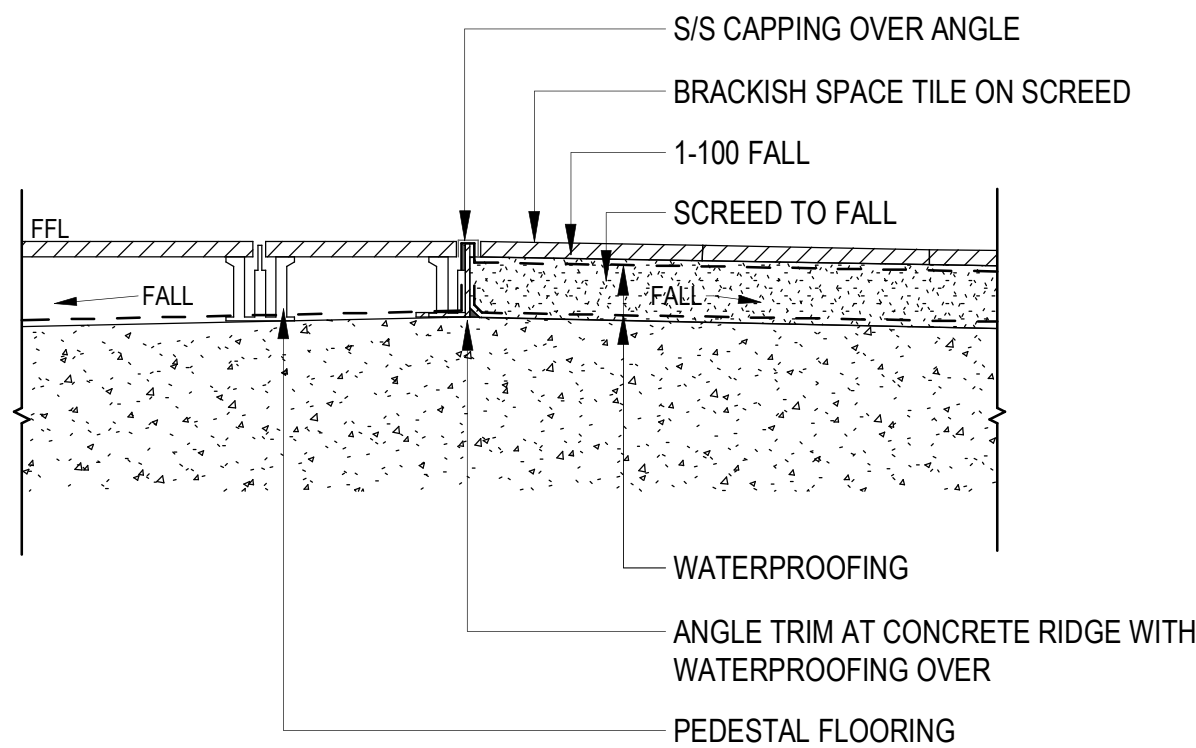
SECOND FLOOR



THIRD FLOOR

1 BRACKISH SPACES DETAIL PLANS
SCALE 1:50

NOT FOR CONSTRUCTION. THESE DETAIL DRAWINGS ARE PRELIMINARY AND INDICATIVE ONLY, AND SUBJECT TO FURTHER AND DETAILED INPUT, DESIGN AND ADVICE BY THE PROJECT TEAM. THEY ARE INCLUDED TO SHOW THE DESIGN INTENT ONLY OF KEY ARCHITECTURAL FEATURES AND ARE NOT FOR CONSTRUCTION.



2 TYP. BRACKISH SPACE TILE JUNCTION DETAIL
A-420 SCALE 1:10

0 500 1000 1500 2000 2500
mm
SCALE BAR - 1:50

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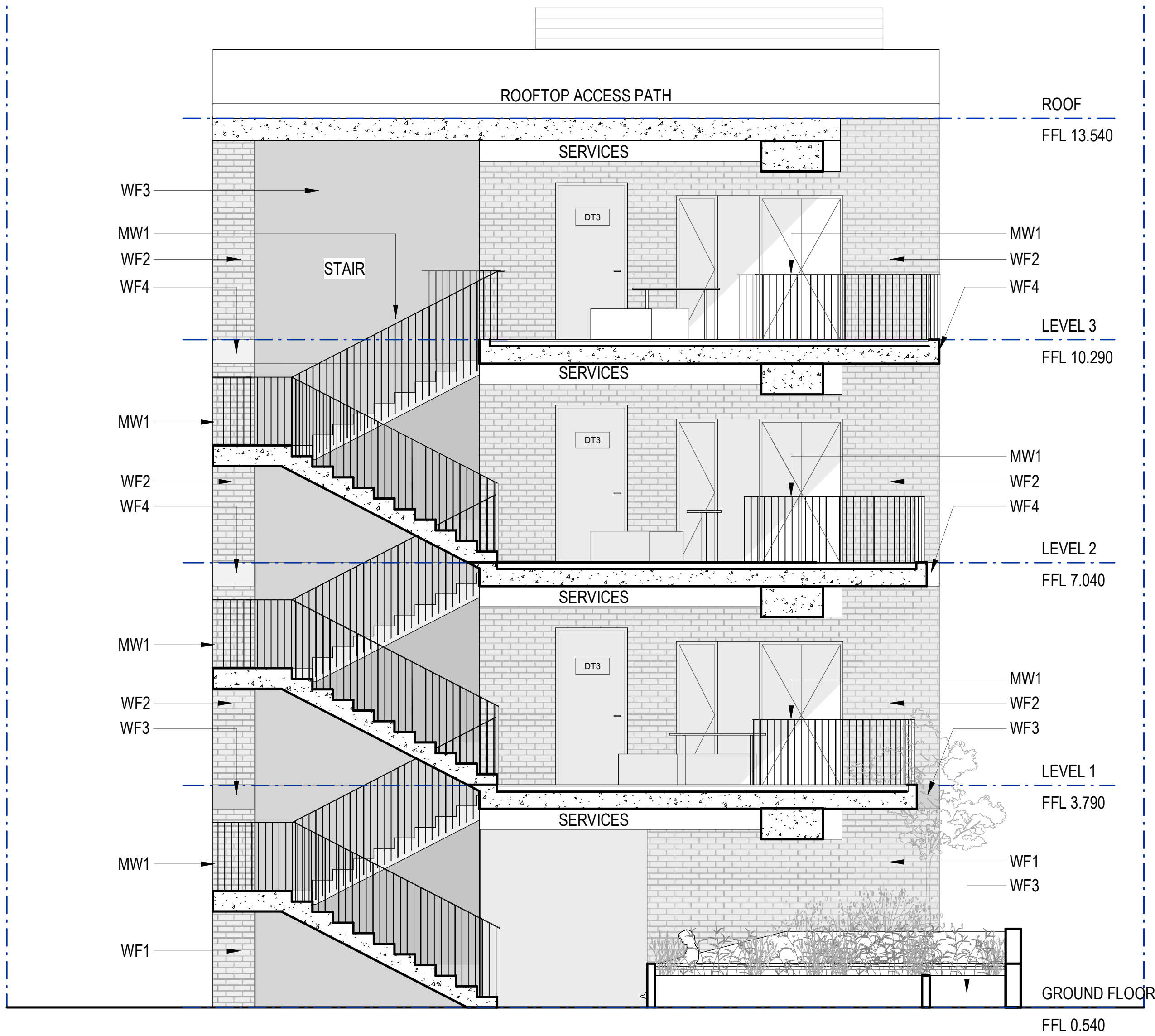
Pattern Code SLA02

Name Small Lot Apartments 02
by Nguluway DesignInc

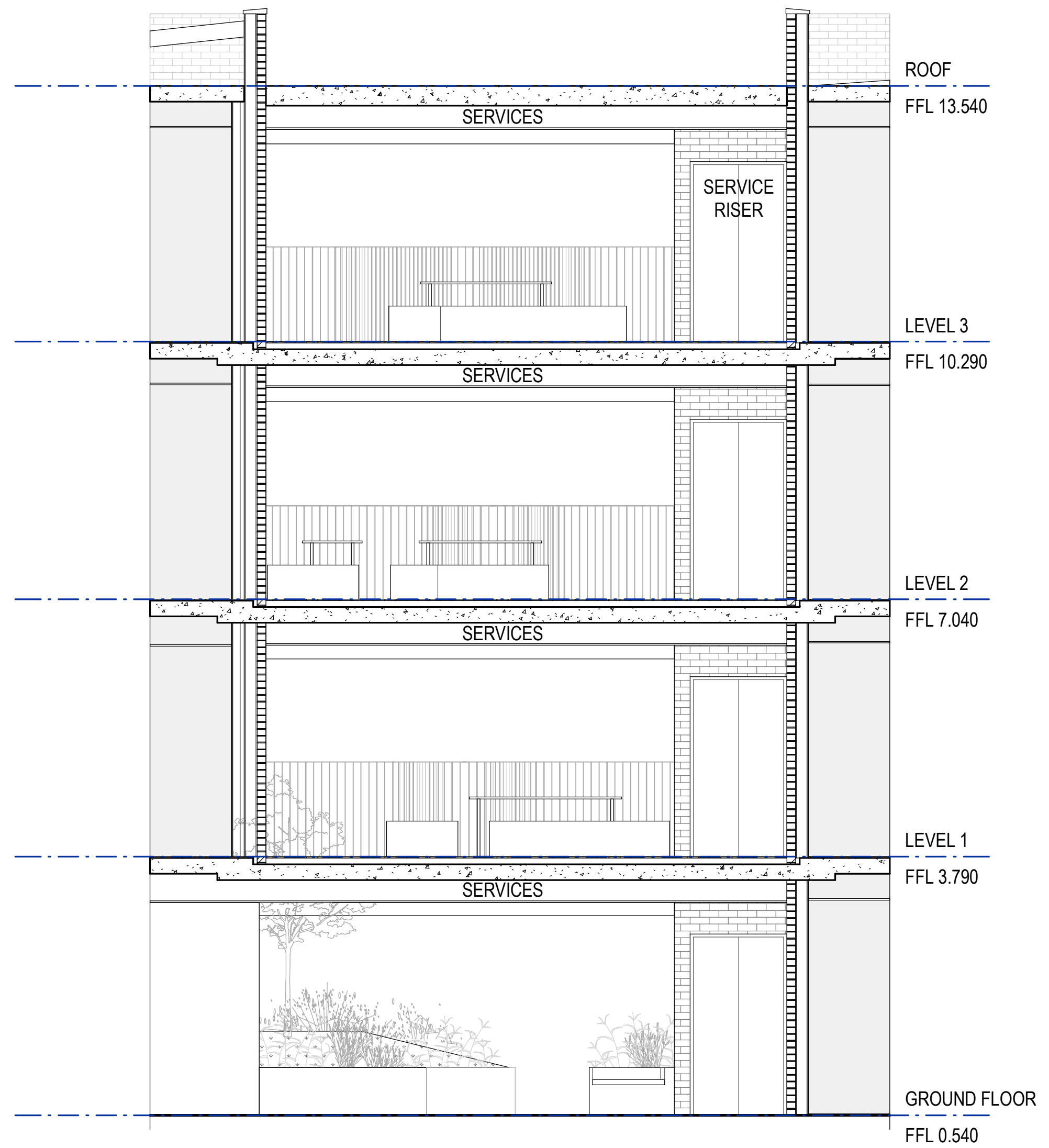
Drawing No. A-420

Name KEY DETAIL PLANS

Scale AS INDICATED @ A1



1 SECTION - CENTRAL BRACKISH SPACE 01
SCALE 1:50



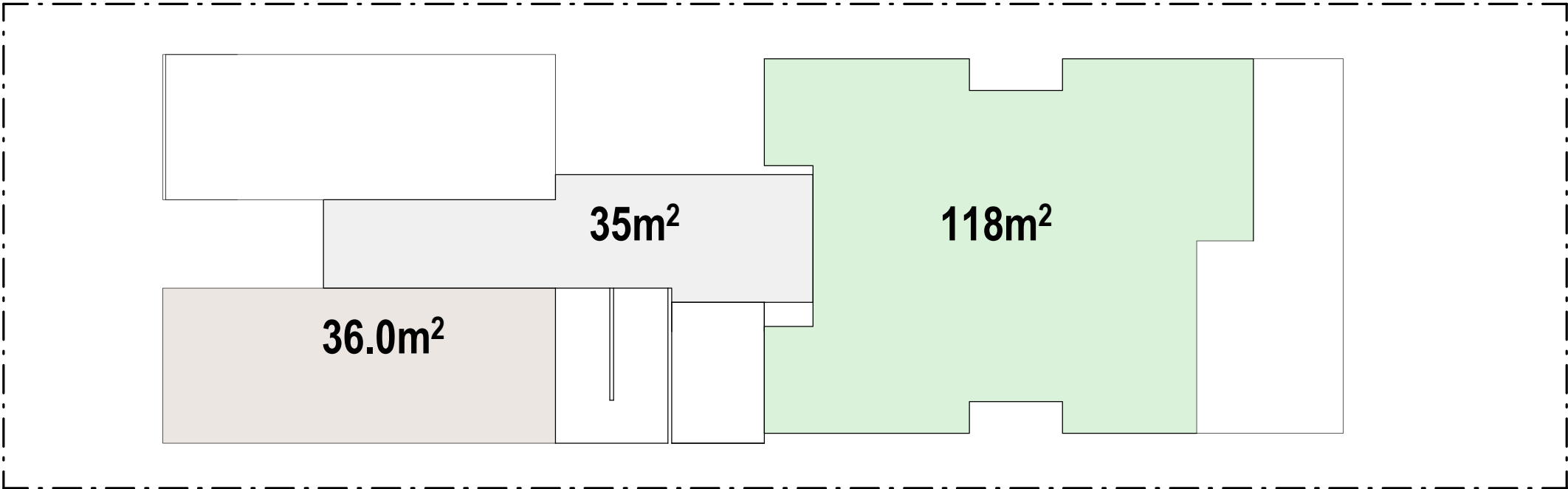
2 SECTION - CENTRAL BRACKISH SPACE 02
SCALE 1:50

NOT FOR CONSTRUCTION. THESE DETAIL DRAWINGS ARE PRELIMINARY AND INDICATIVE ONLY, AND SUBJECT TO FURTHER AND DETAILED INPUT, DESIGN AND ADVICE BY THE PROJECT TEAM. THEY ARE INCLUDED TO SHOW THE DESIGN INTENT ONLY OF KEY ARCHITECTURAL FEATURES AND ARE NOT FOR CONSTRUCTION.

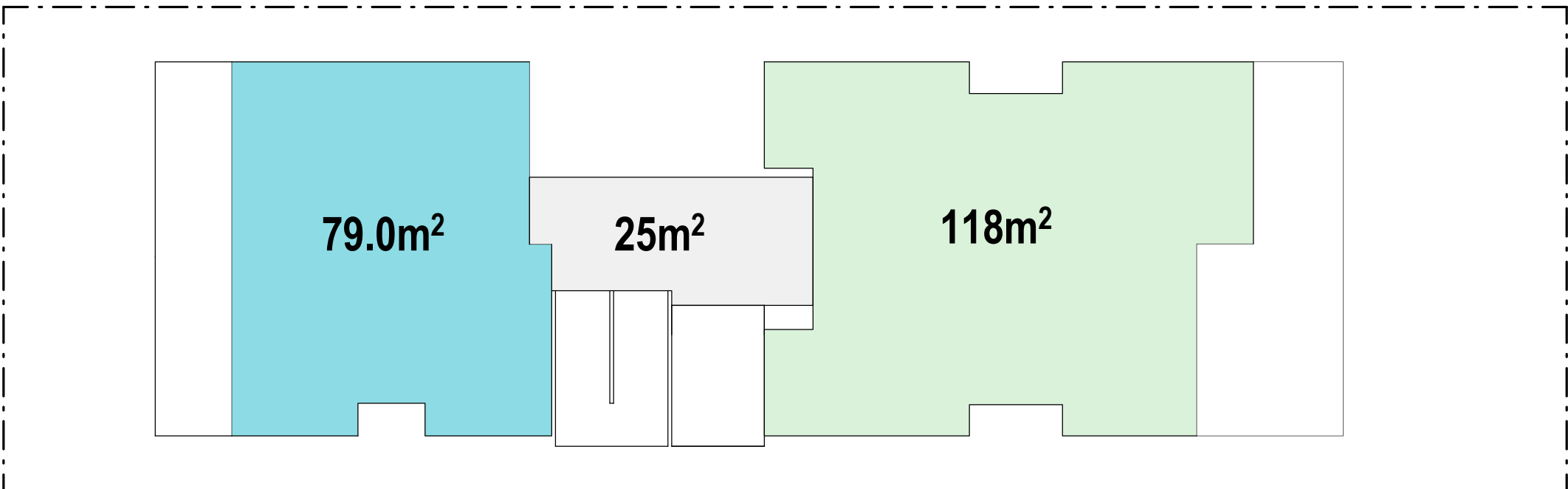
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Areas and yields

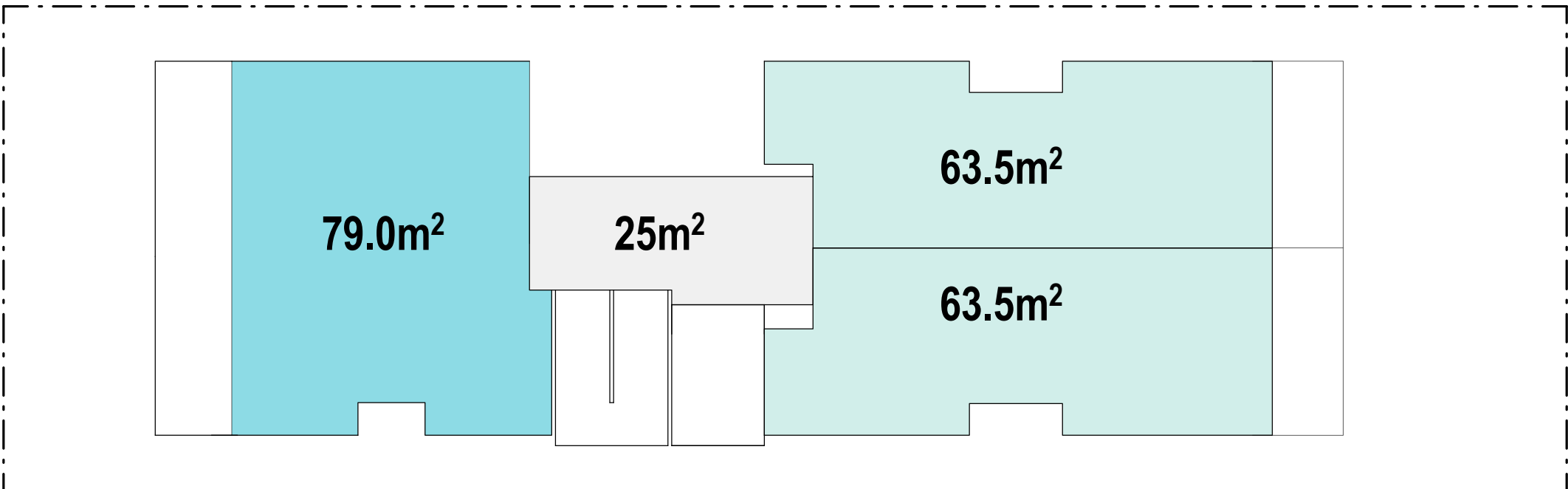
GFA CALCULATIONS



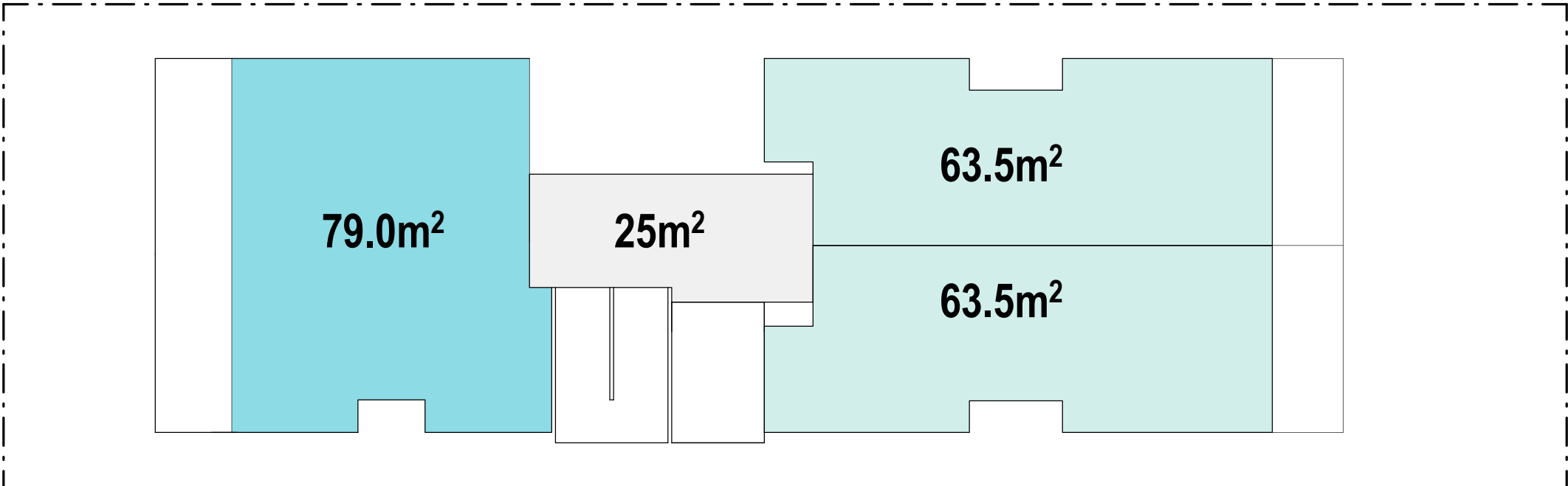
GROUND FLOOR



LEVEL 01



LEVEL 02



LEVEL 03

4 STOREYS

BASE PATTERN	
SITE WIDTH	16.6m
SITE LENGTH	42m
SITE AREA	697.2m²

GFA		GFA	
RESIDENTIAL GFA		COMMUNAL & WASTE ROOM	
GROUND	118m²	GROUND	71m²
LEVEL 01	197m²	LEVEL 01	25m²
LEVEL 02	206m²	LEVEL 02	25m²
LEVEL 03	206m²	LEVEL 03	25m²
ROOF	N/A	ROOF	N/A
TOTAL	727m²	TOTAL	146m²

TOTAL GFA	873m²
FSR	1.25:1

UNIT MIX	
STUDIO	0 - 00.0%
1B	4 - 44.4%
2B	3 - 33.3%
3B	2 - 22.2%
TOTAL	9

3 STOREYS

BASE PATTERN	
SITE WIDTH	16.6m
SITE LENGTH	42m
SITE AREA	697.2m²

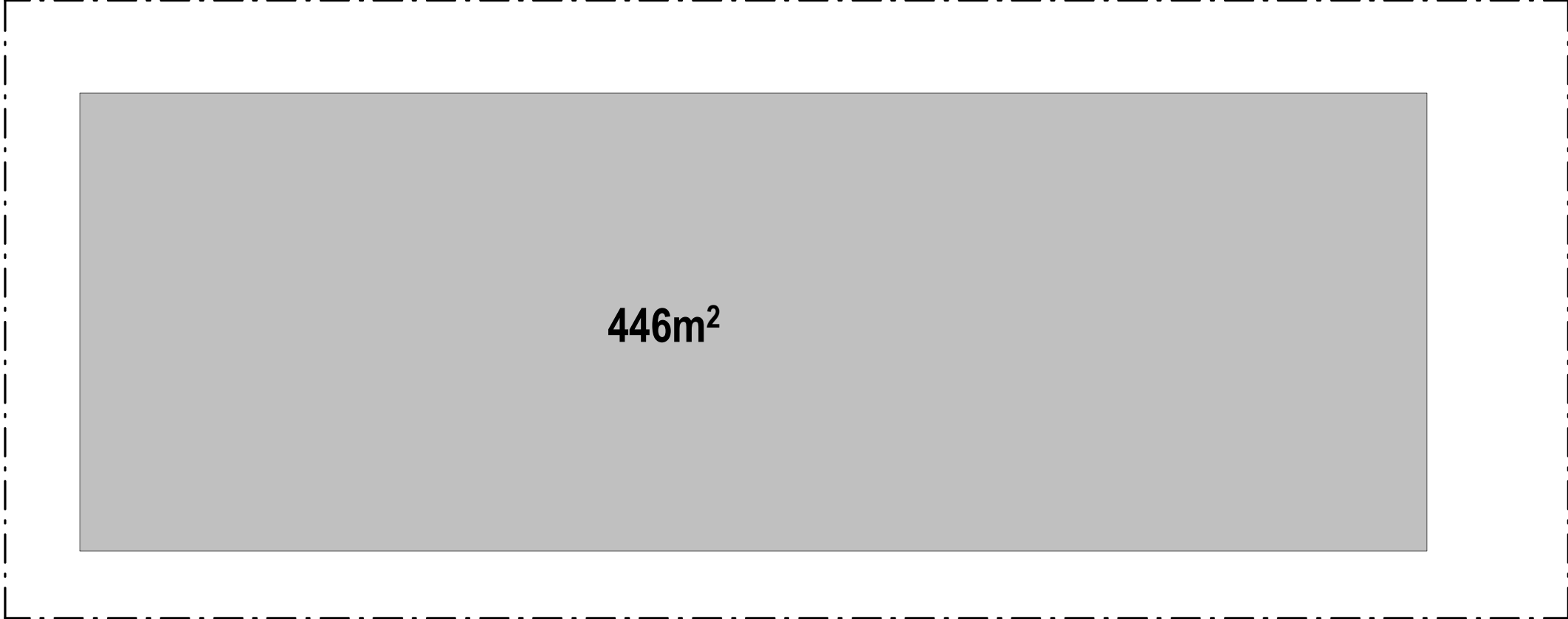
GFA		GFA	
RESIDENTIAL GFA		COMMUNAL & WASTE ROOM	
GROUND	118m²	GROUND	71m²
LEVEL 01	197m²	LEVEL 01	25m²
LEVEL 02	206m²	LEVEL 02	25m²
ROOF	N/A	ROOF	N/A
TOTAL	521m²	TOTAL	121m²

TOTAL GFA	642m²
FSR	0.92:1

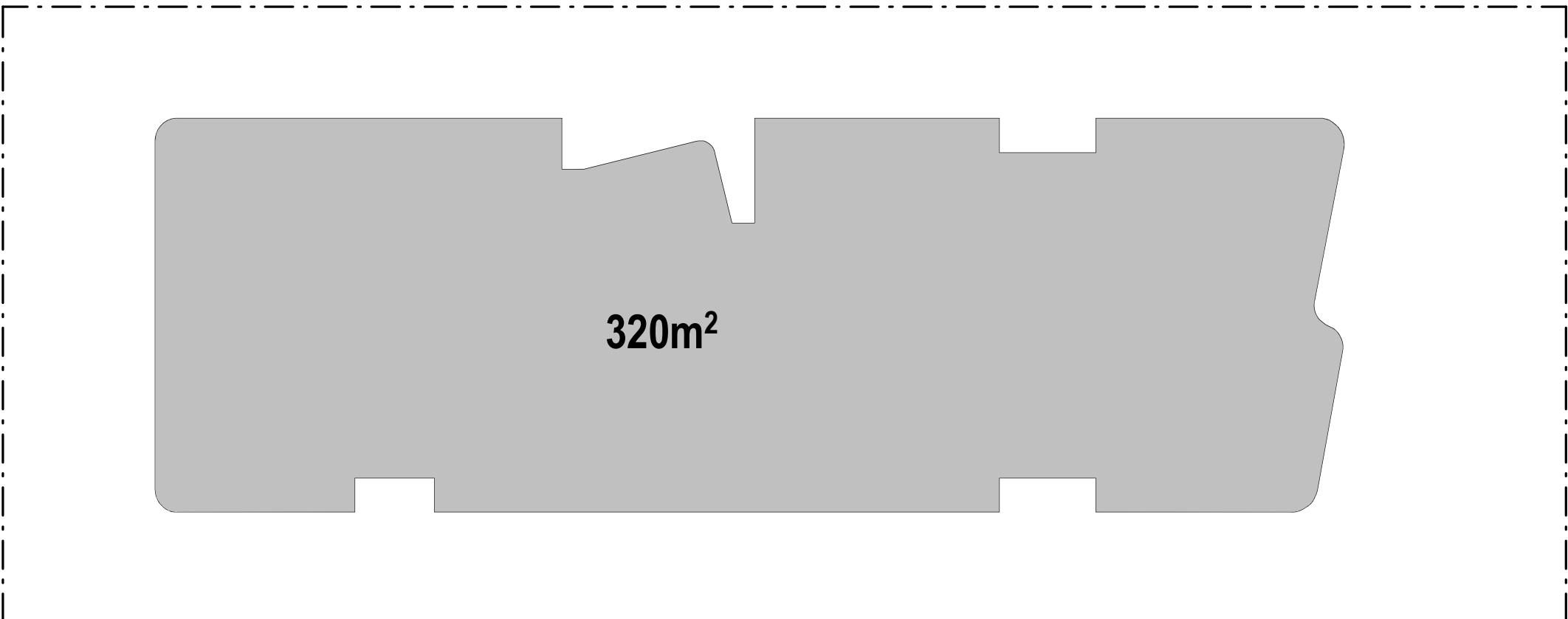
UNIT MIX	
STUDIO	0 - 00.0%
1B	2 - 33.3%
2B	2 - 33.3%
3B	2 - 33.3%
TOTAL	6

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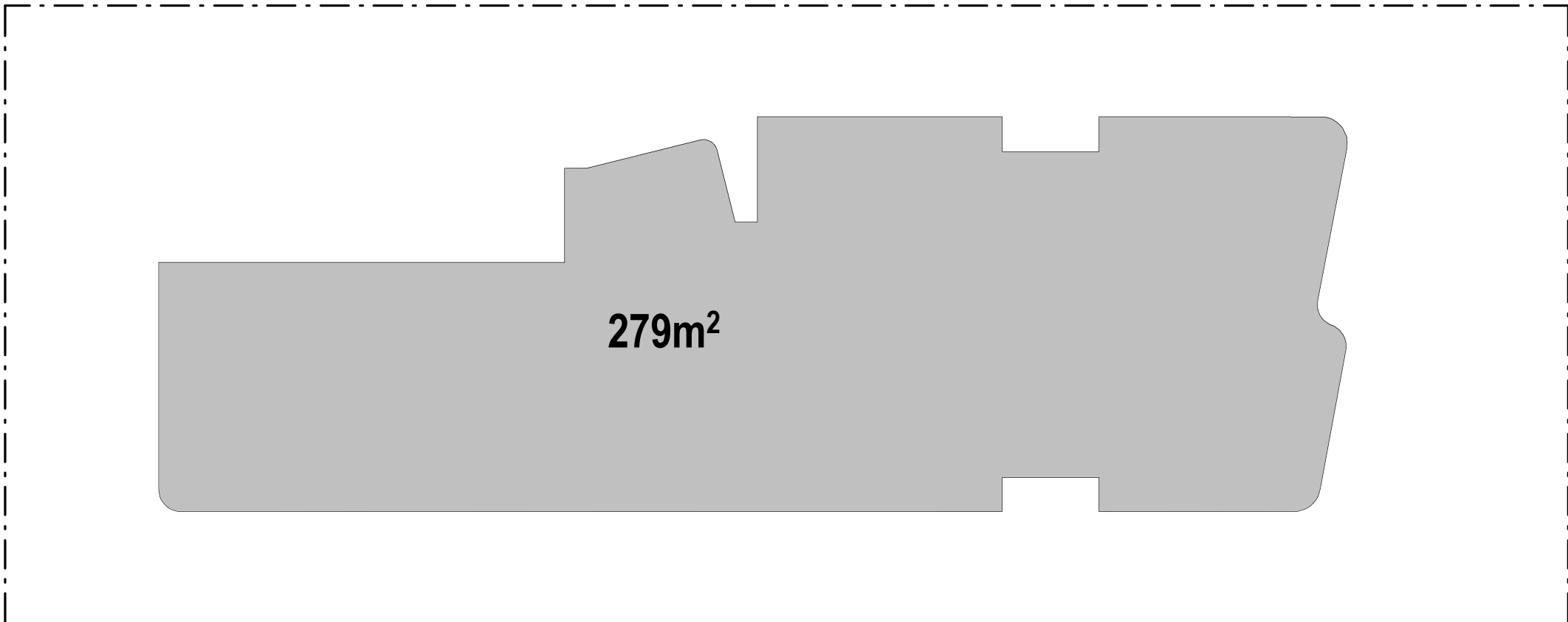
GBA CALCULATIONS



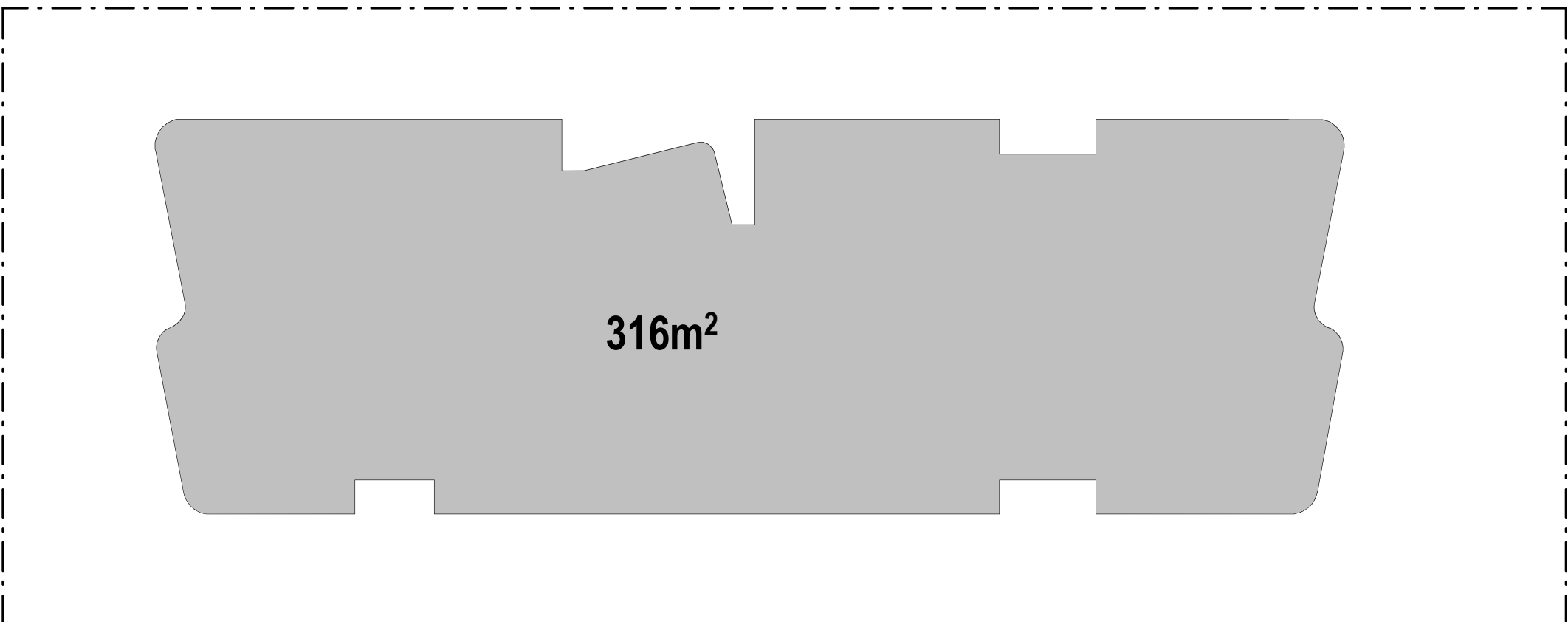
BASEMENT



LEVEL 01



GROUND FLOOR



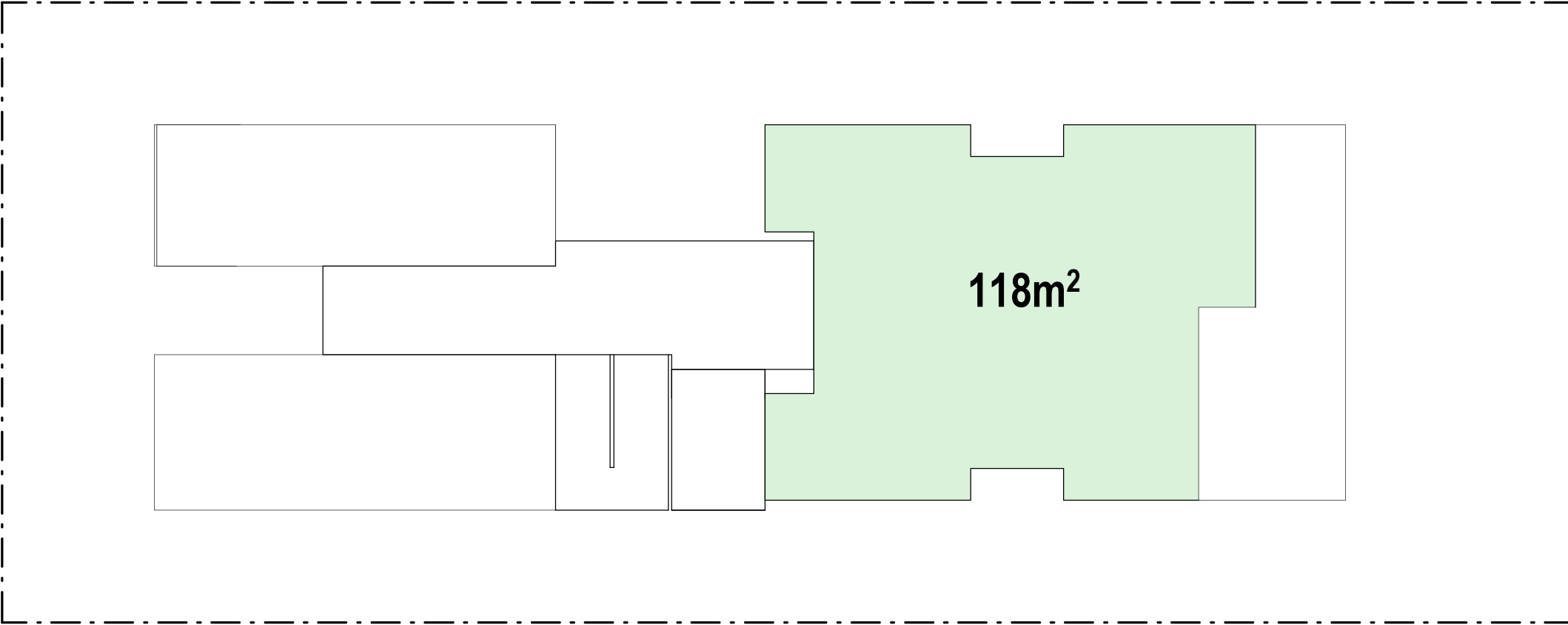
LEVELS 02 & 03

4 STOREYS

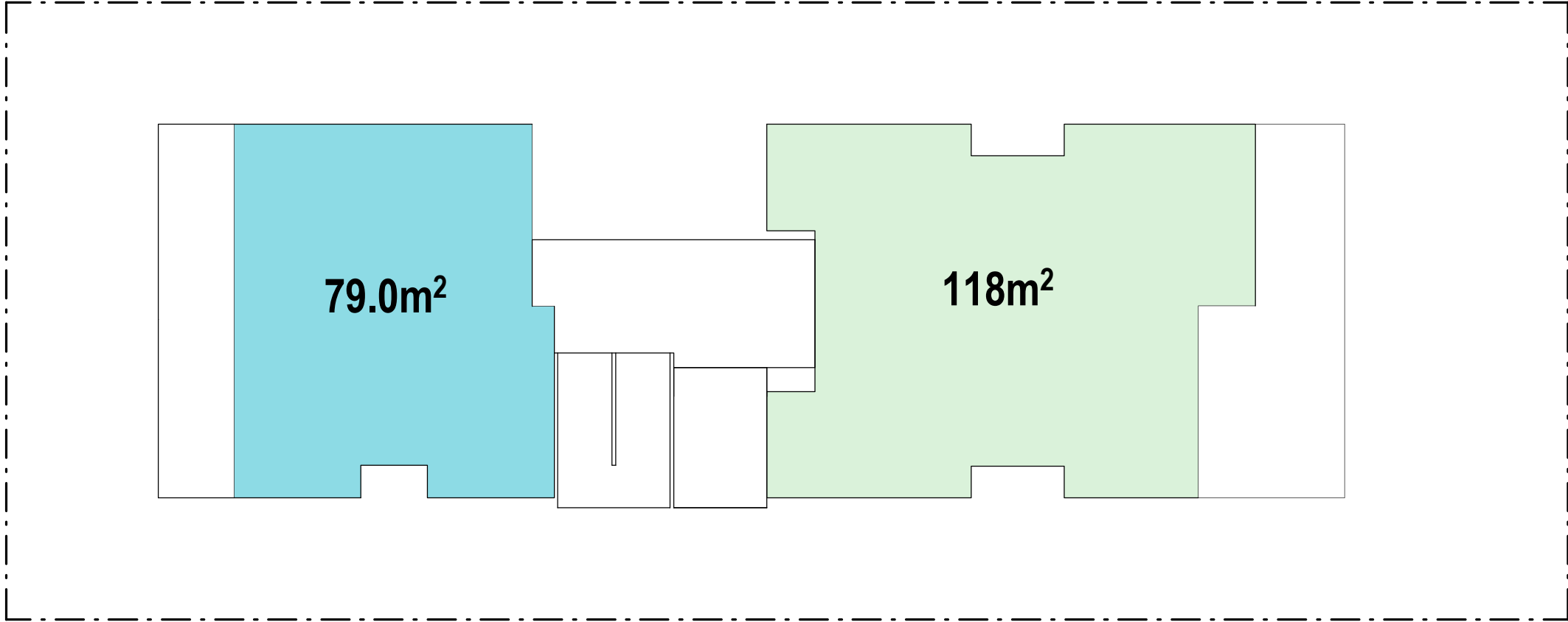
BASEMENT	446m ²
GROUND	279m ²
LEVEL 01	320m ²
LEVEL 02	316m ²
LEVEL 03	316m ²
TOTAL GBA	1677m ²

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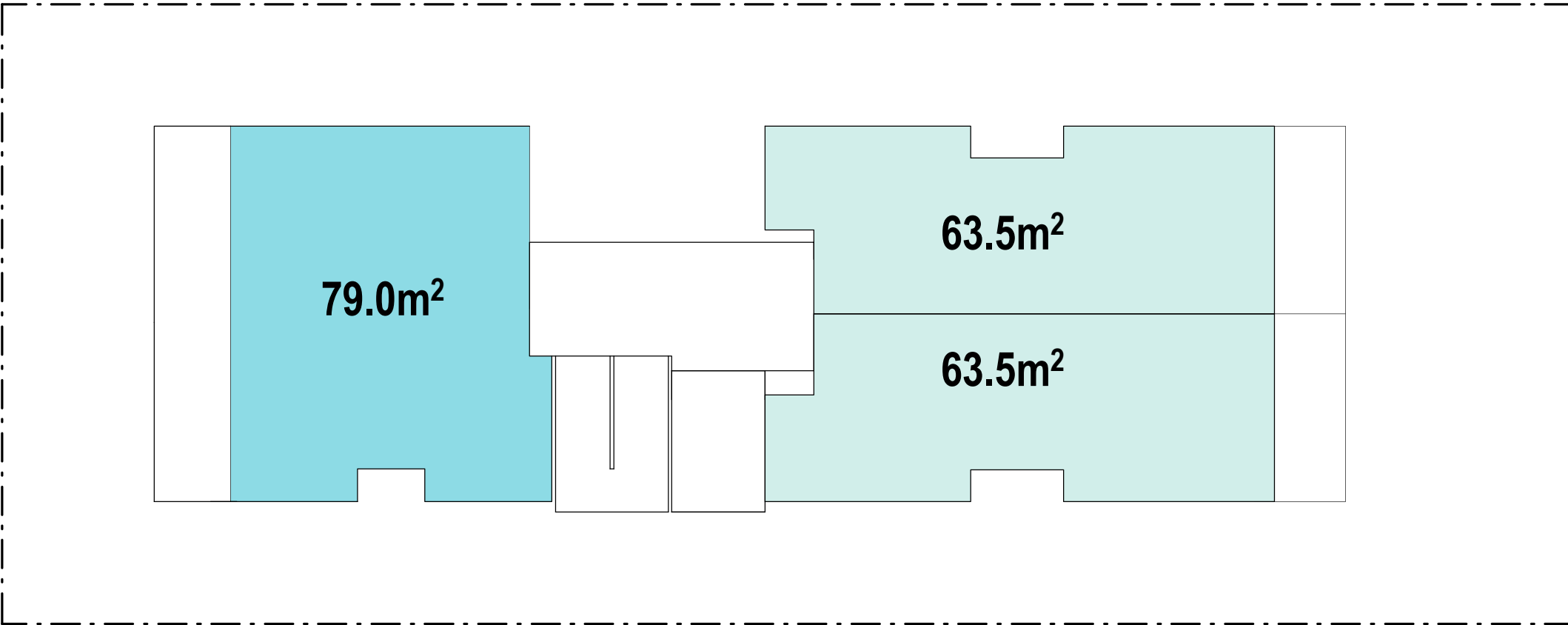
NSA CALCULATIONS



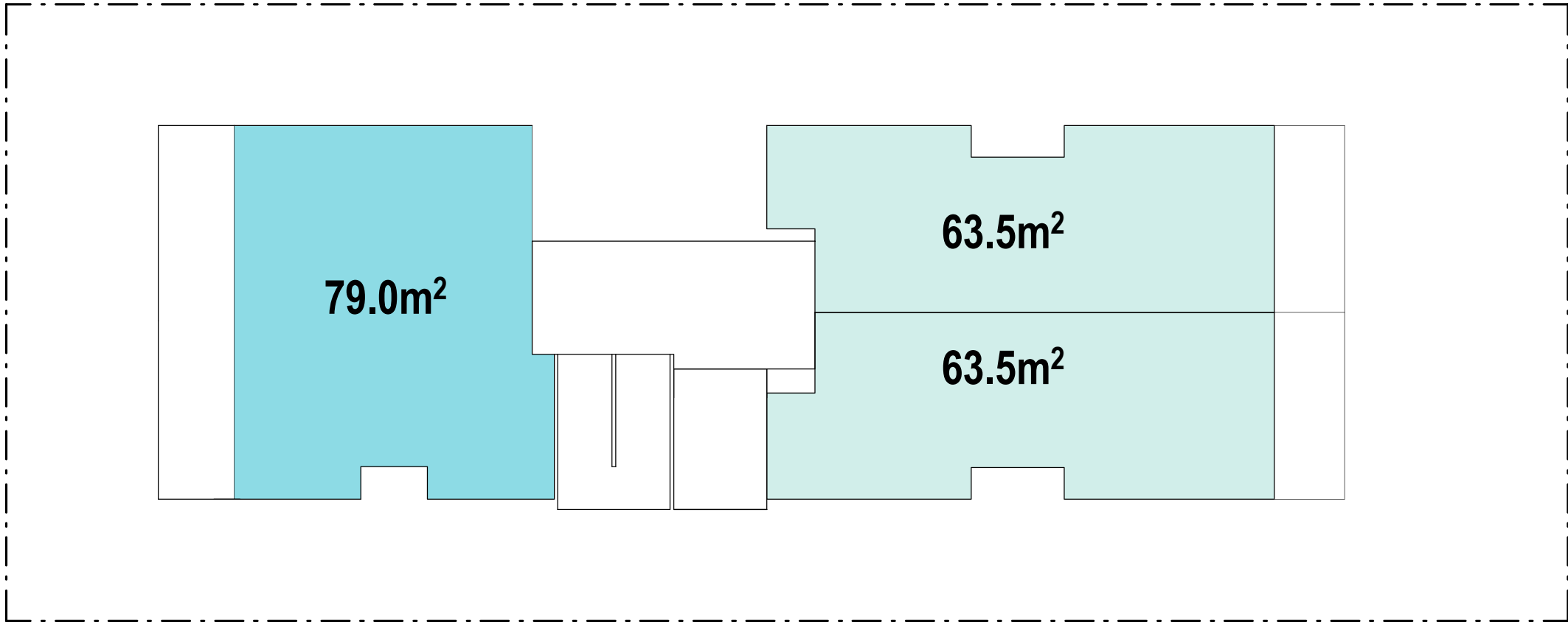
GROUND FLOOR



LEVEL 01



LEVEL 02



LEVEL 03

4 STOREYS

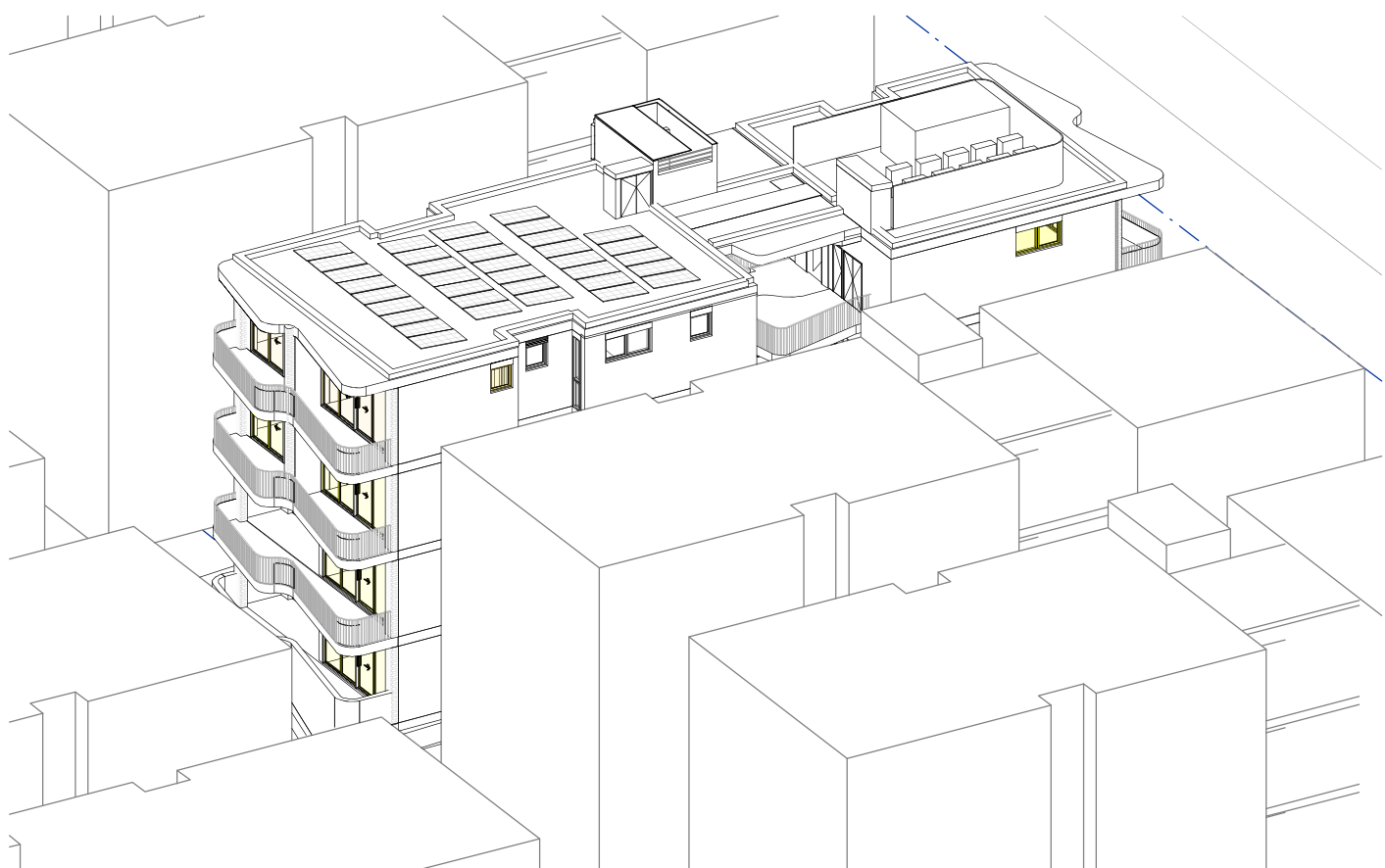
RESIDENTIAL NSA	
GROUND	118m²
LEVEL 01	197m²
LEVEL 02	206m²
LEVEL 03	206m²
ROOF	N/A
TOTAL	727m²

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Supplementary drawings



1 JUNE 21 - 9AM

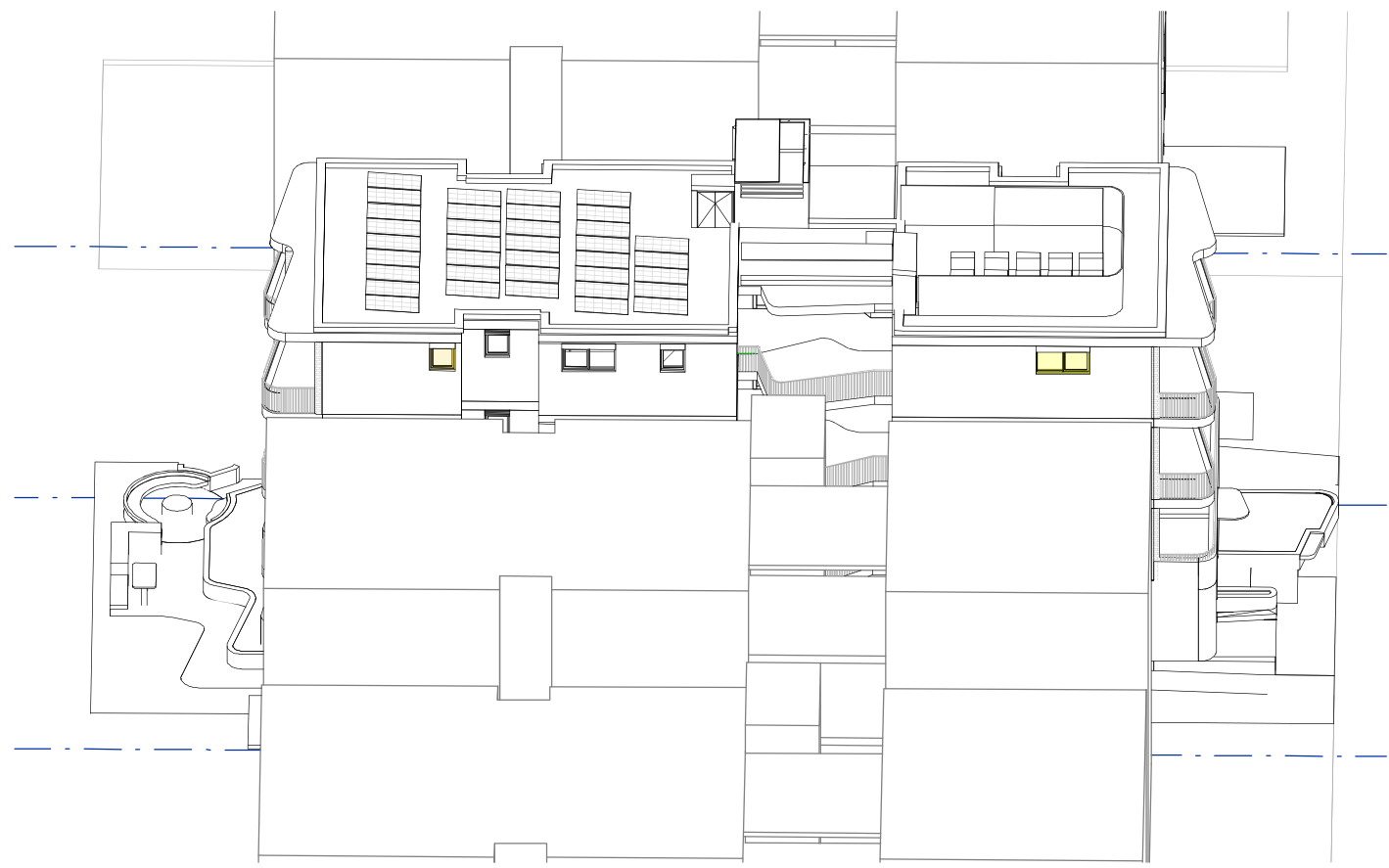
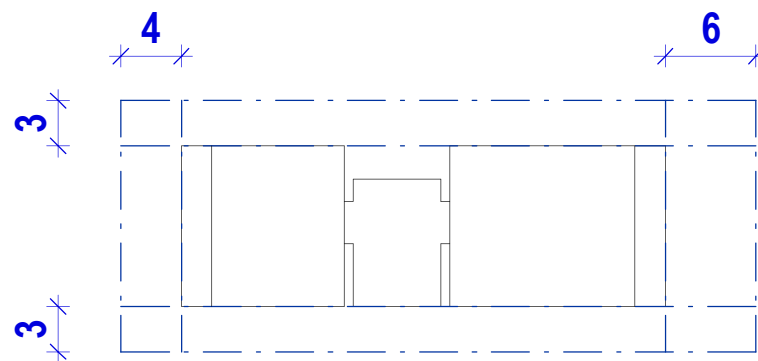


2 JUNE 21 - 10AM

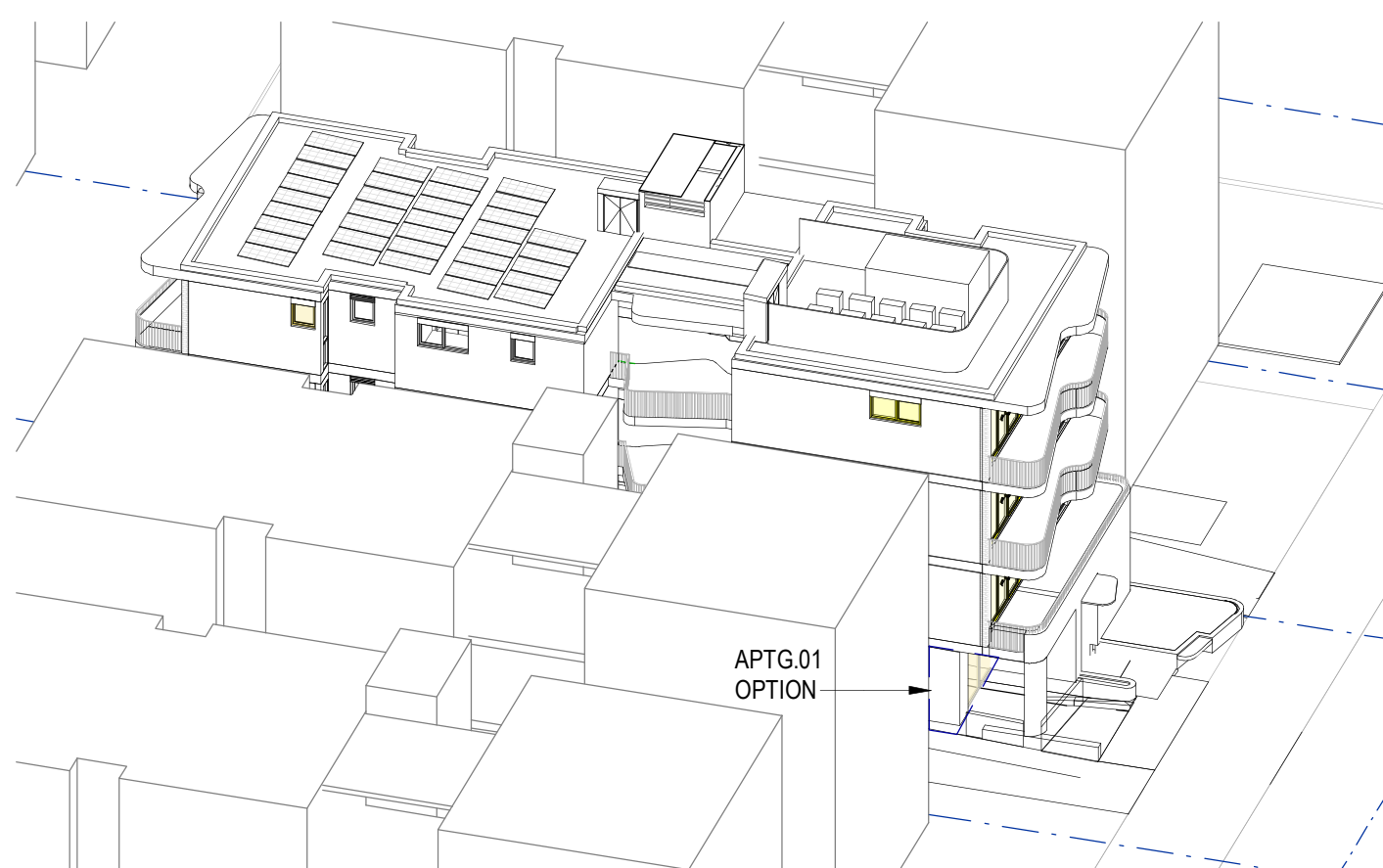


3 JUNE 21 - 11AM

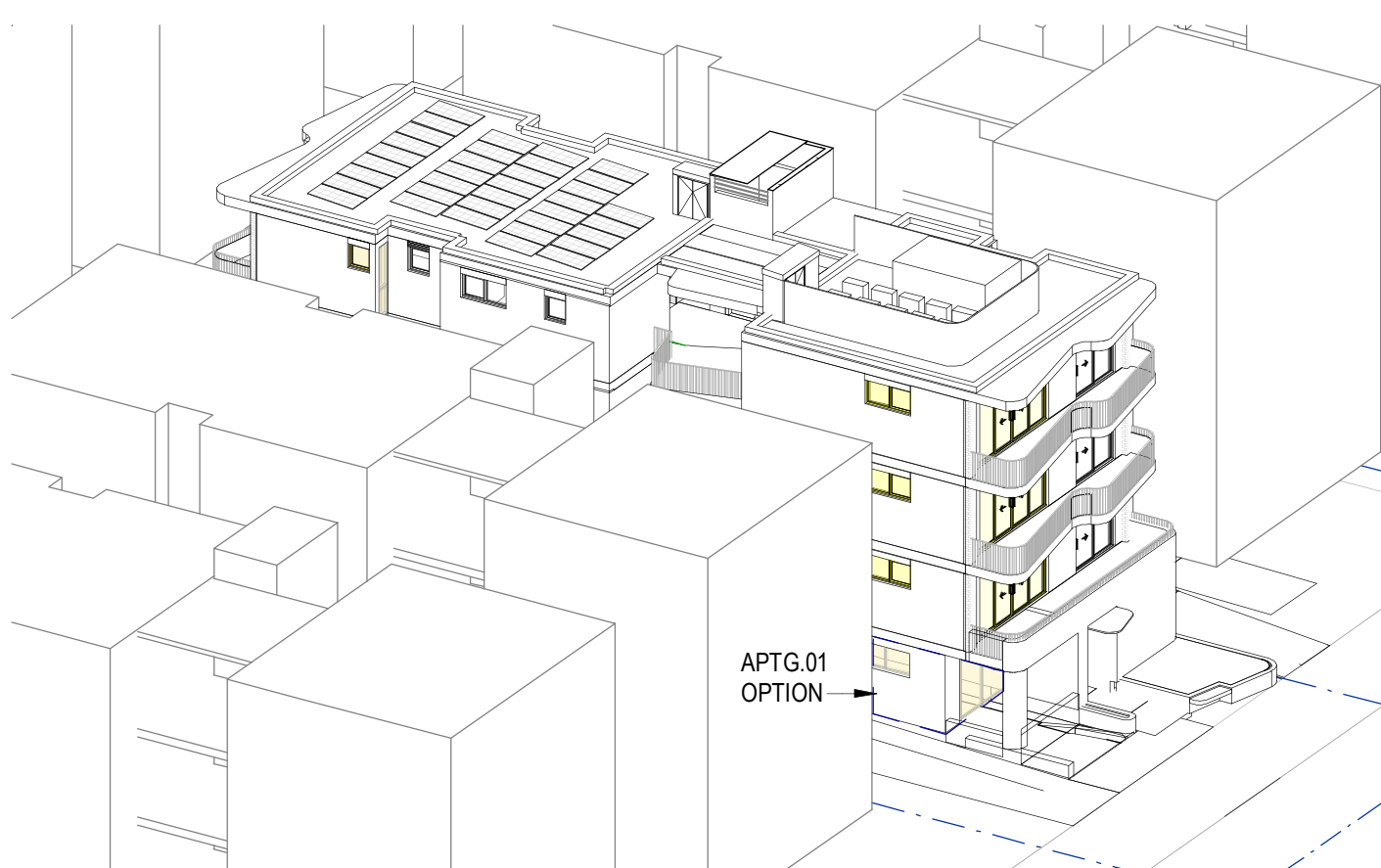
NORTH TO THE SIDE BOUNDARY



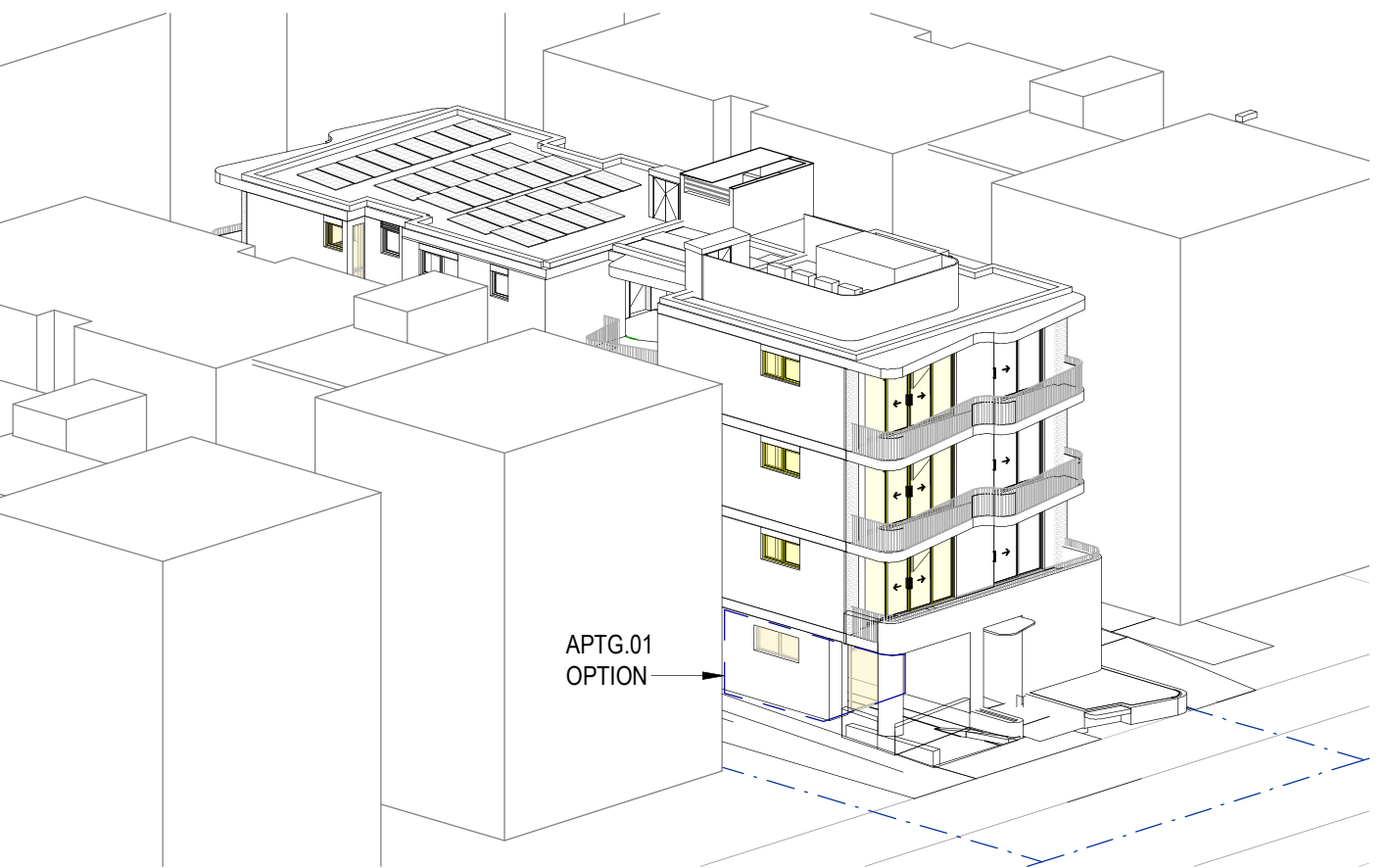
4 JUNE 21 - 12PM



5 JUNE 21 - 1PM



6 JUNE 21 - 2PM



7 JUNE 21 - 3PM

SOLAR ACCESS SUMMARY MID-WINTER

APT NO.	HOURS OF SUNLIGHT	COMPLIANT
APTG01*	1PM - 3PM	YES
APTG02	10AM - 11AM	NO
APT101	1PM - 3PM	YES
APT102	10AM - 11AM	NO
APT201	1PM - 3PM	YES
APT202	9AM - 11AM	YES
APT203	9AM - 10AM	NO
APT301	9AM - 3PM	YES
APT302	9AM - 3PM	YES
APT303	9AM - 10AM	NO

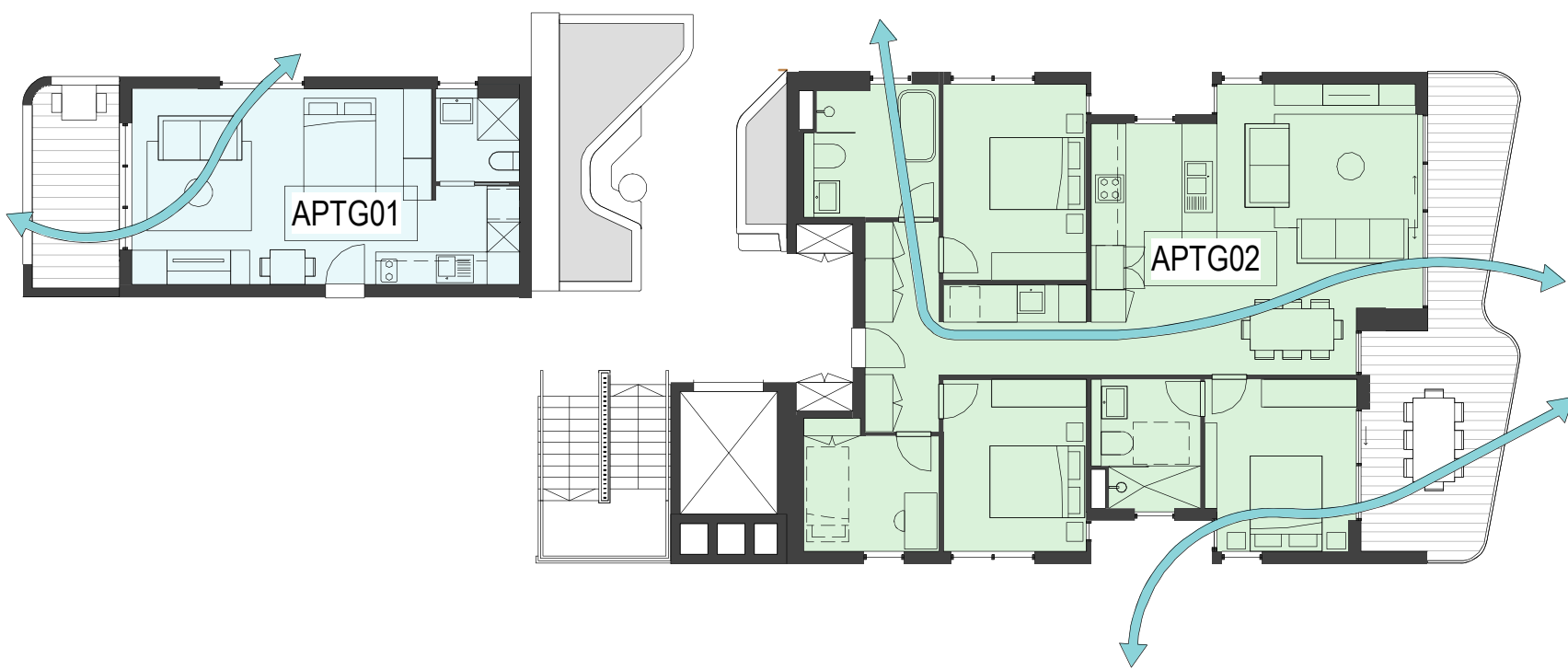
*APTG01 ONLY APPLICABLE TO NO PARKING VARIANT

BASEMENT PARKING

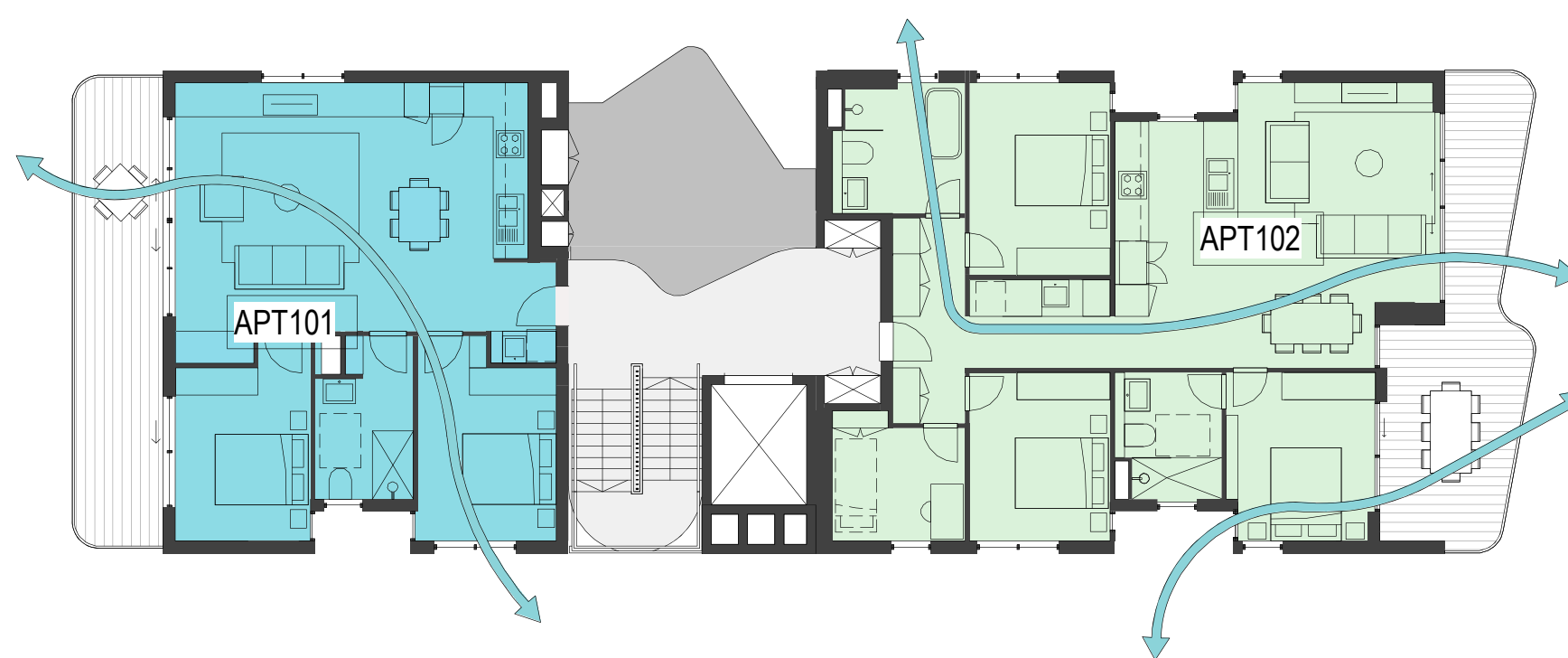
5/9 APARTMENTS RECEIVE MIN. 2HRS SUNLIGHT
56% COMPLIANCE, MIN. 70% REQUIRED

MODELLING BASED ON FUTURE CONTEXT BUILT UP TO SAME
DEVELOPMENT STANDARDS AS PROPOSED PROJECT

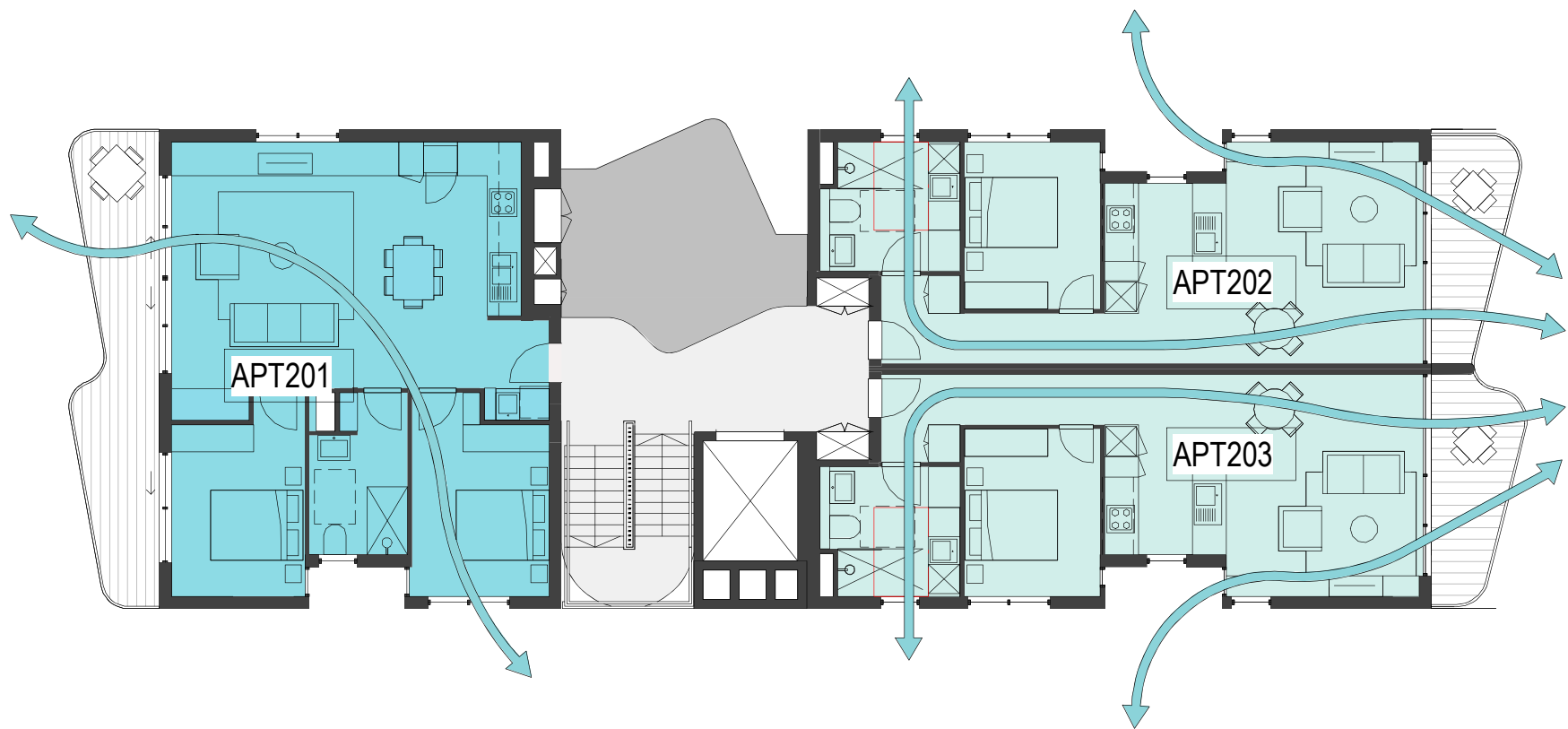
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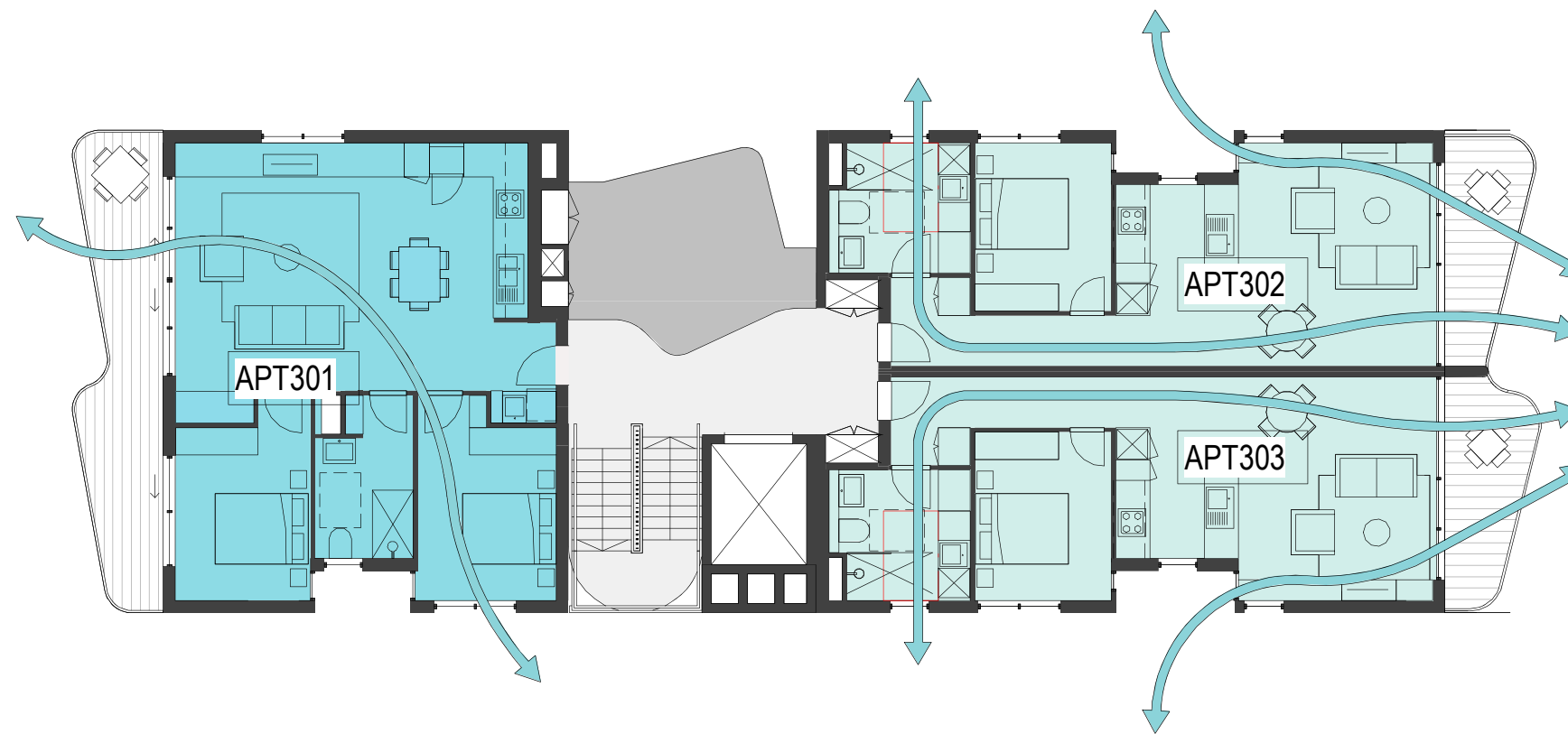
GROUND LEVEL



LEVEL 01



LEVEL 02



LEVEL 03

CROSS VENTILATION

KEY

← → NATURAL VENTILATION

CROSS VENTILATION SUMMARY

APT NO.	CROSS VENTILATED
APTG01*	YES
APTG02	YES
APT101	YES
APT102	YES
APT201	YES
APT202	YES
APT203	YES
APT301	YES
APT302	YES
APT303	YES

*APTG01 ONLY APPLICABLE TO NO PARKING VARIANT

BASEMENT PARKING

9/9 APARTMENTS CROSS-VENTILATED
100% COMPLIANCE, MIN. 60% REQUIRED

0 1 2 3 4 5
SCALE BAR - 1:100

NSW HOUSING
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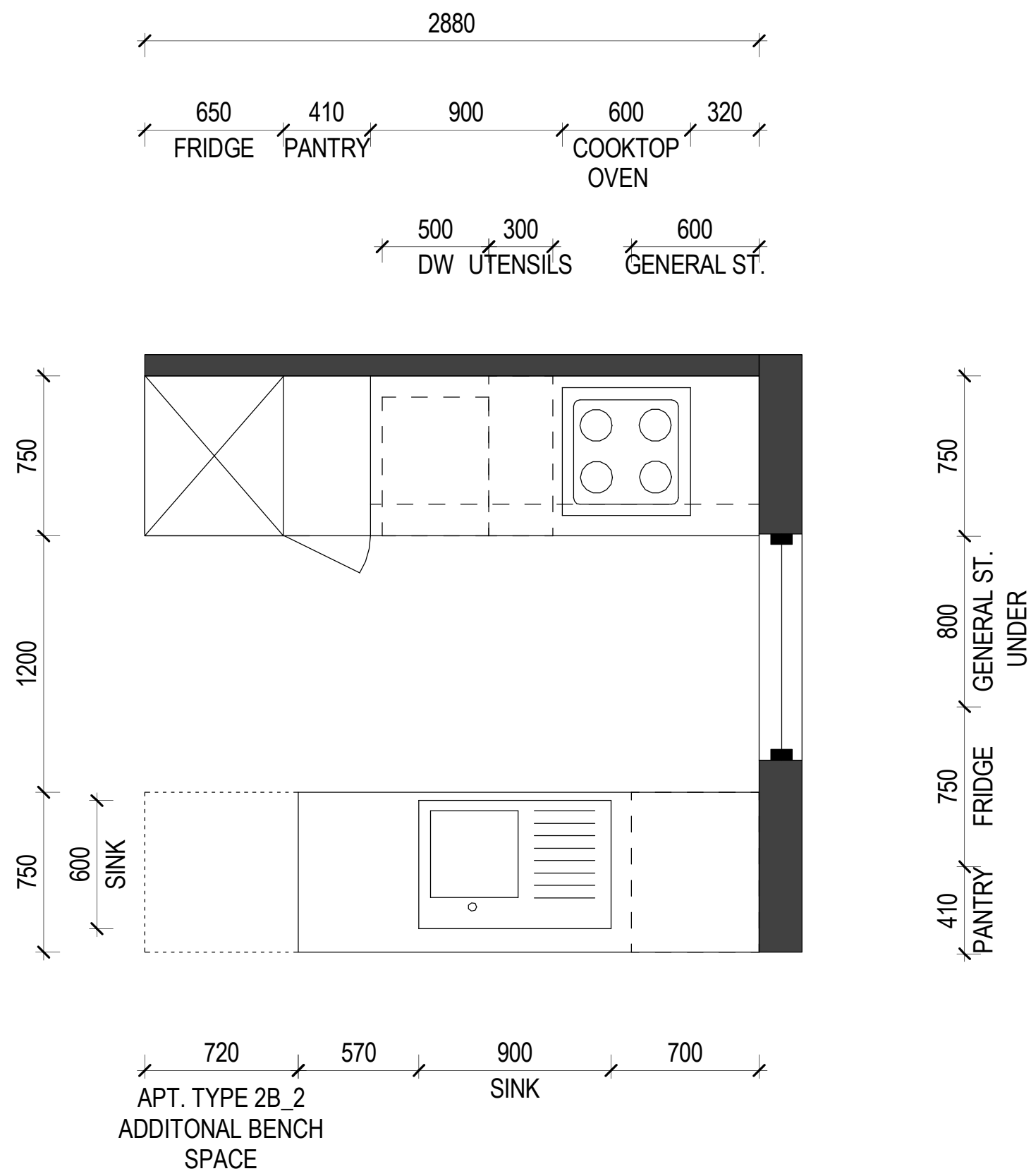
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Ian Armstrong 7250 Cathryn Drew-Bredin 7269
Craig Kierslake 7789 Mary Anne McGirr 10946

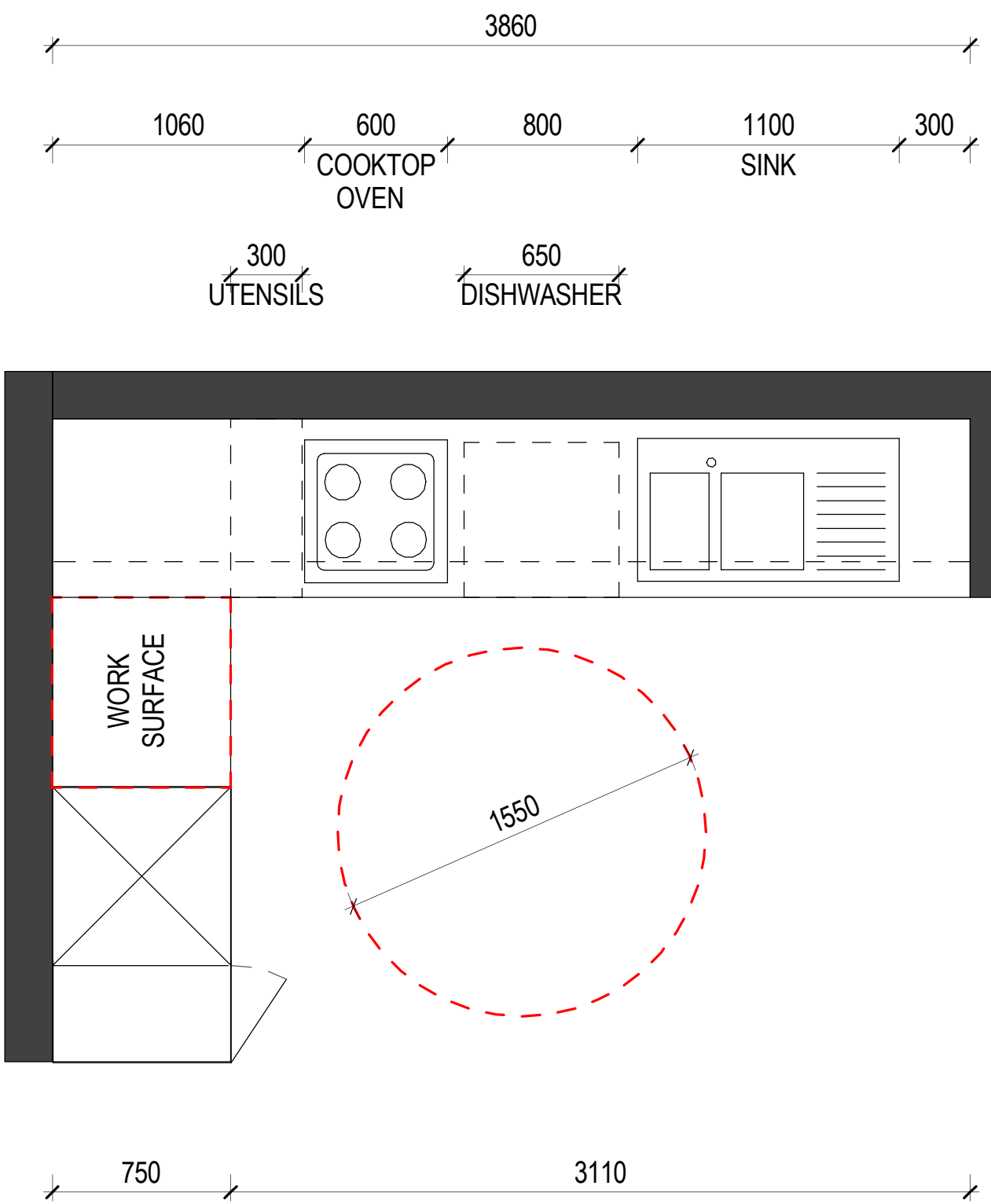
Pattern Code **SLA02**
Name **Small Lot Apartments 02
by Nguluway DesignInc**

Drawing No. **A-510**
Name **CROSS-VENTILATION
DIAGRAMS**
Scale **NTS**

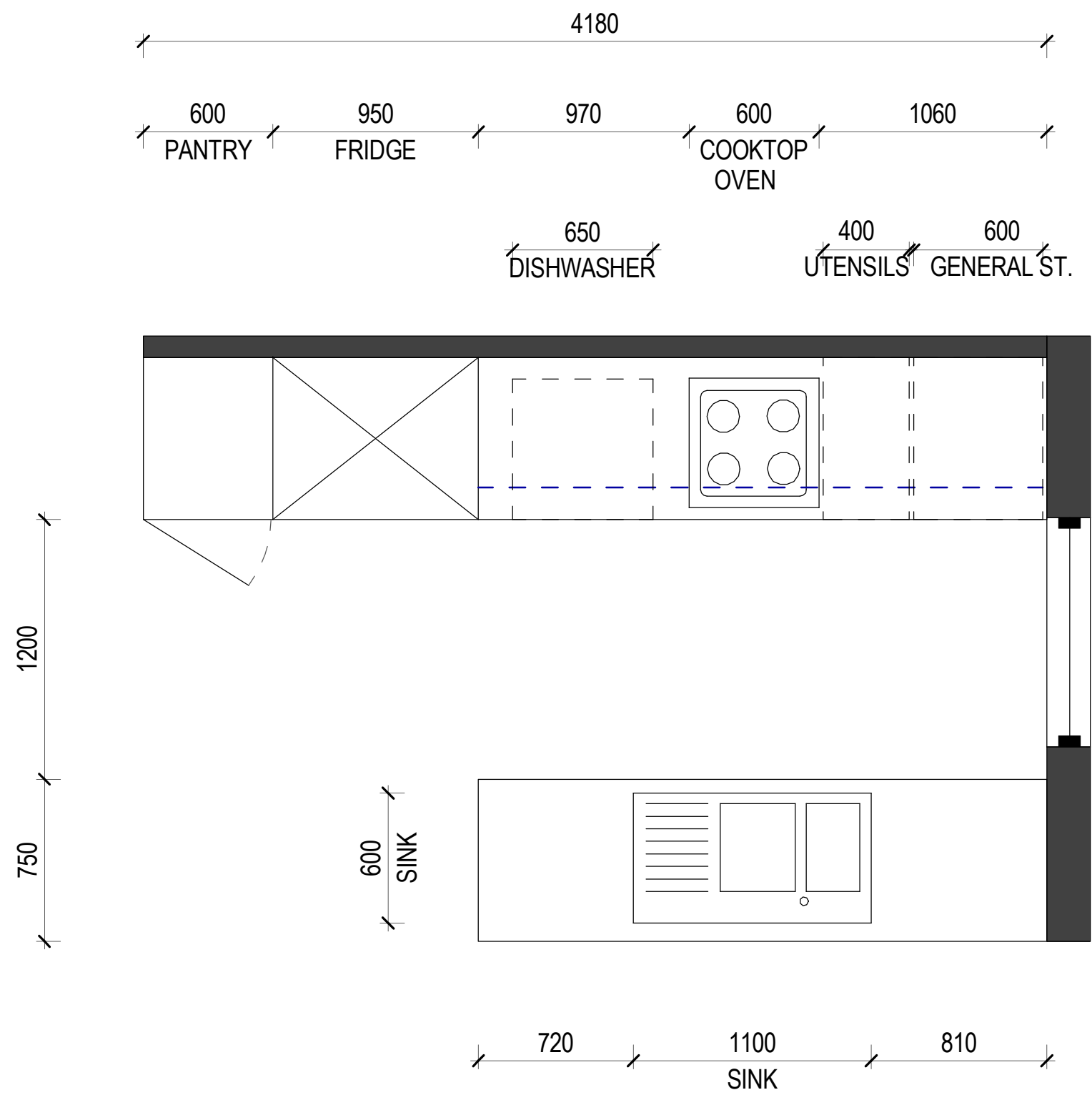
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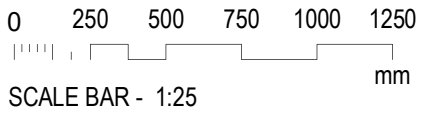
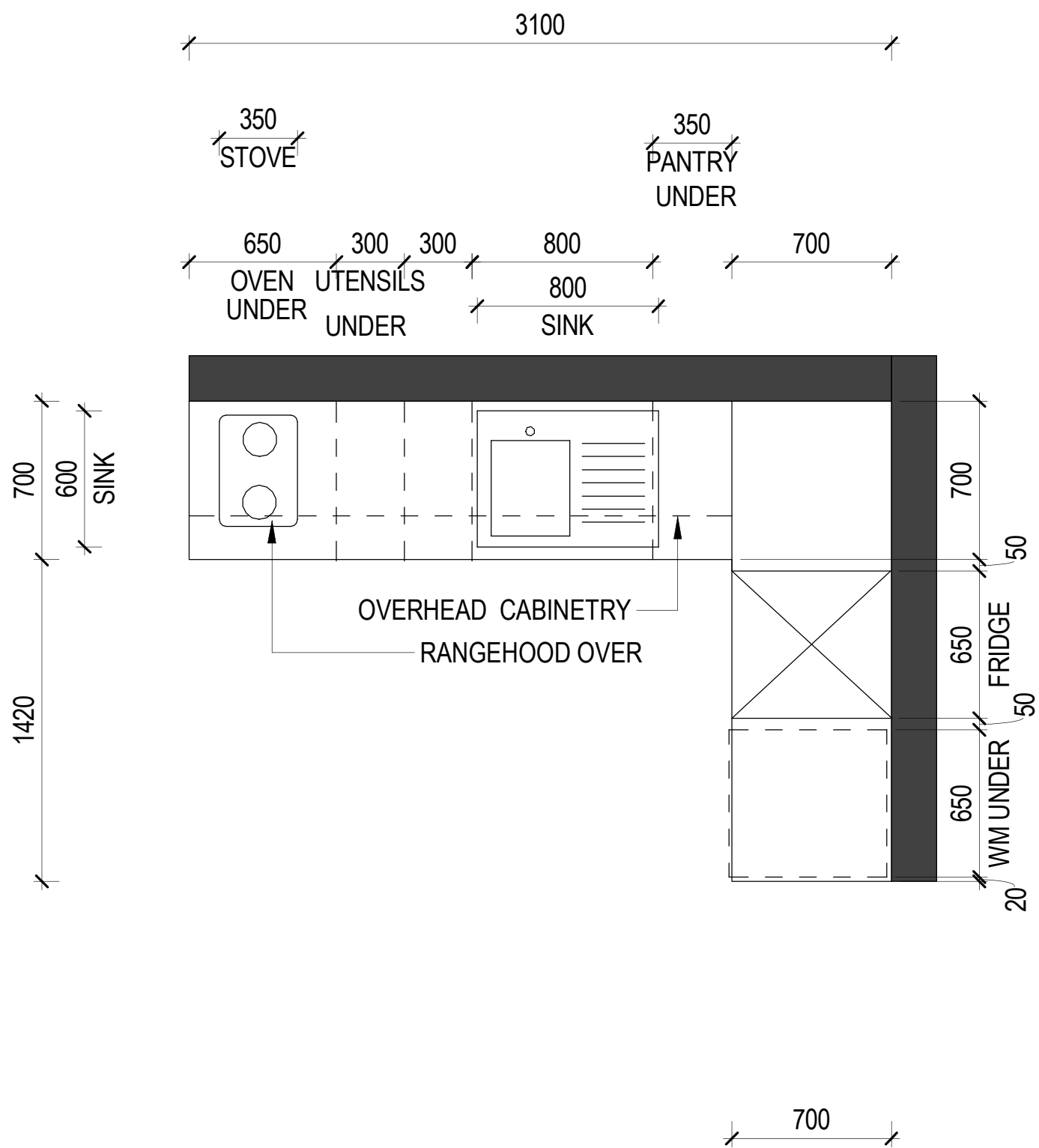
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KITCHEN TYPE K_3

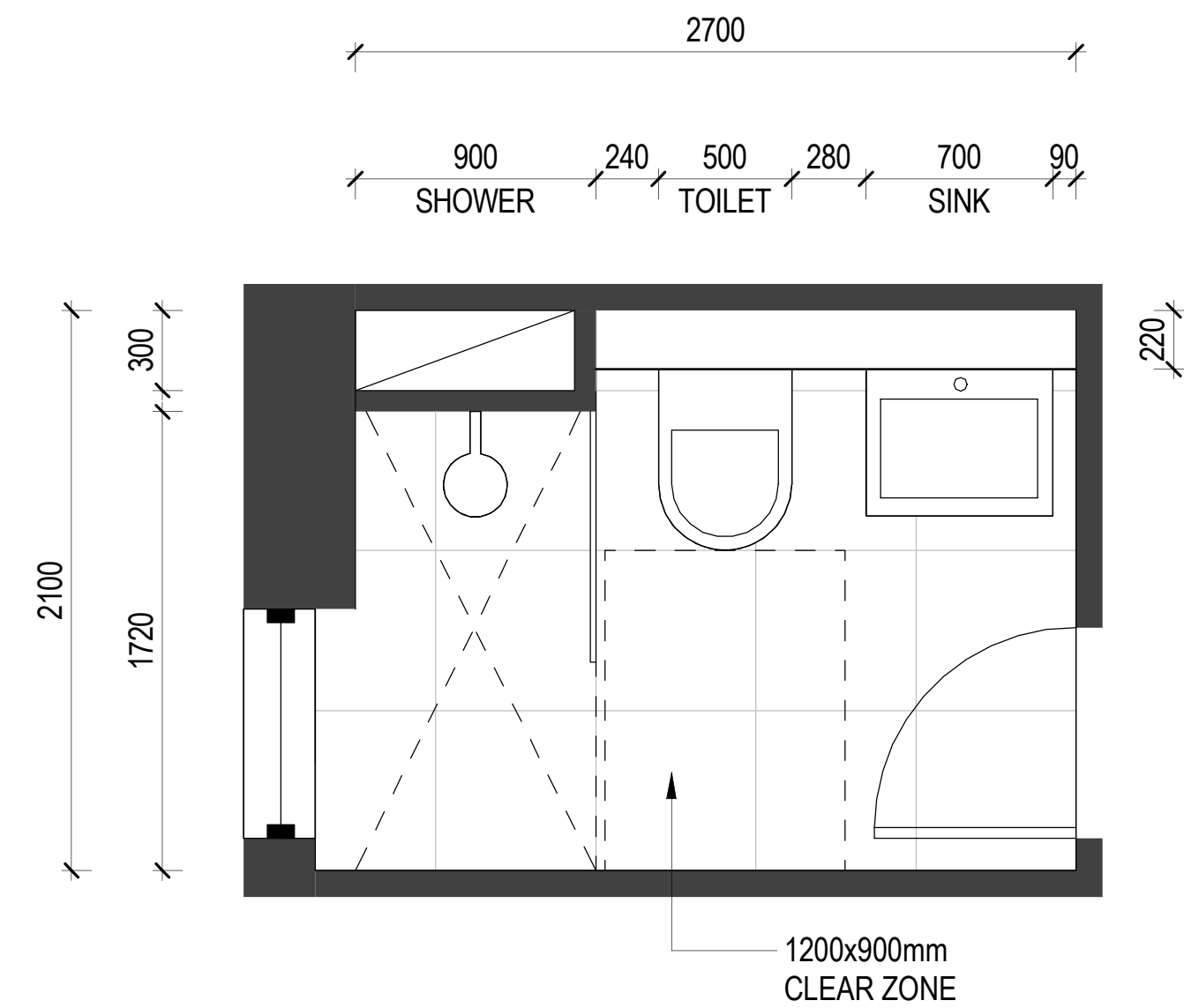


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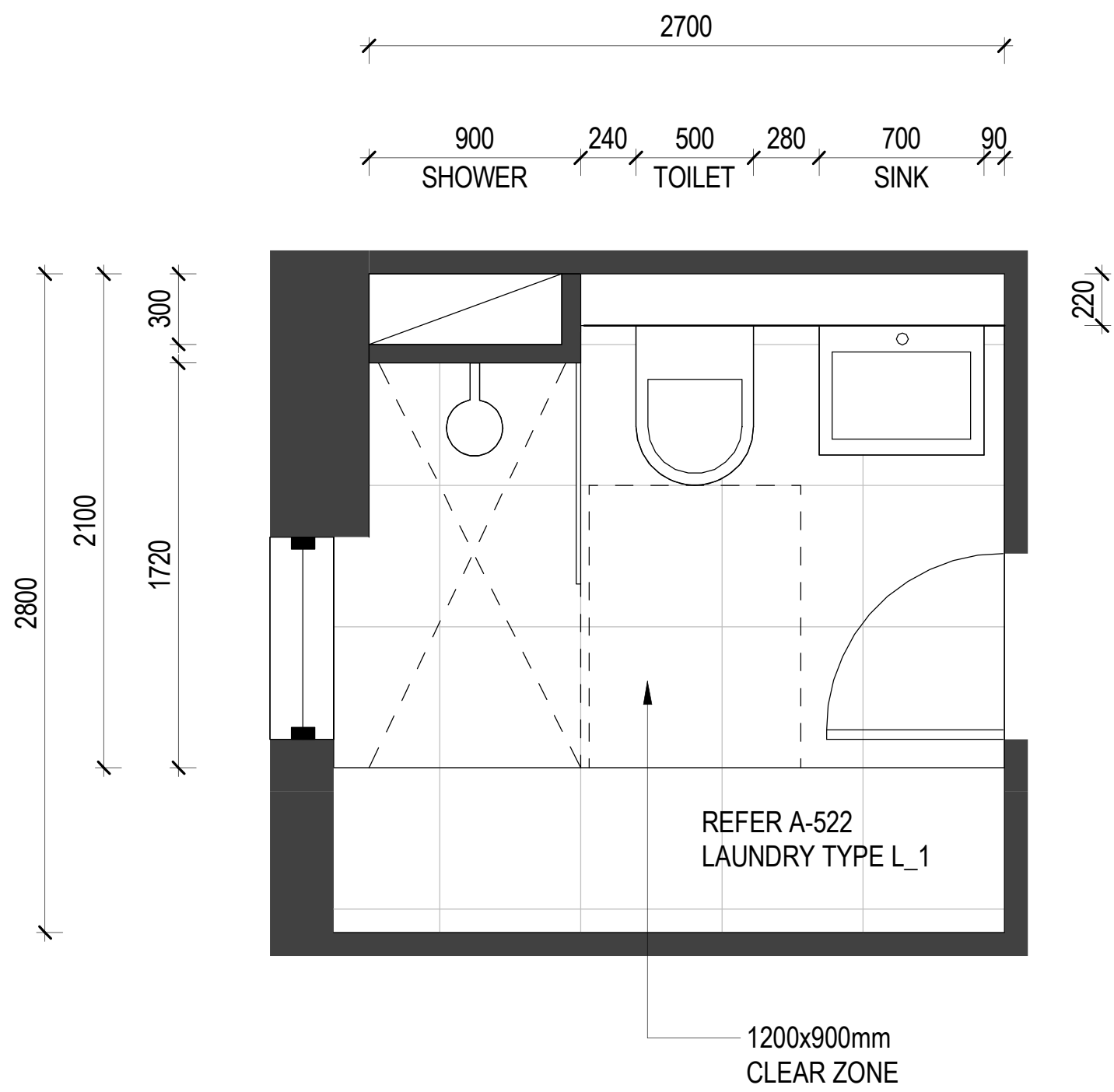


Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

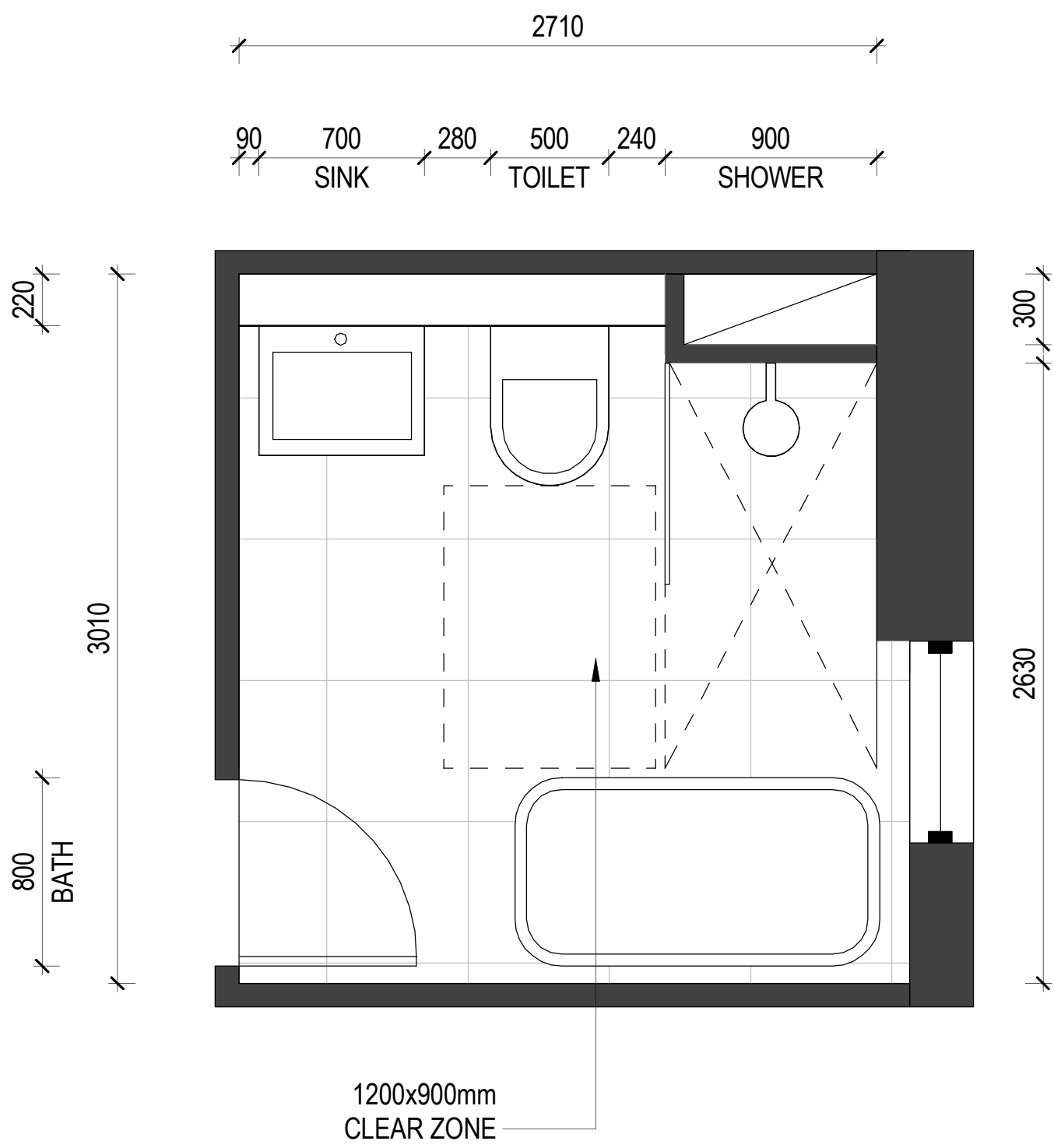
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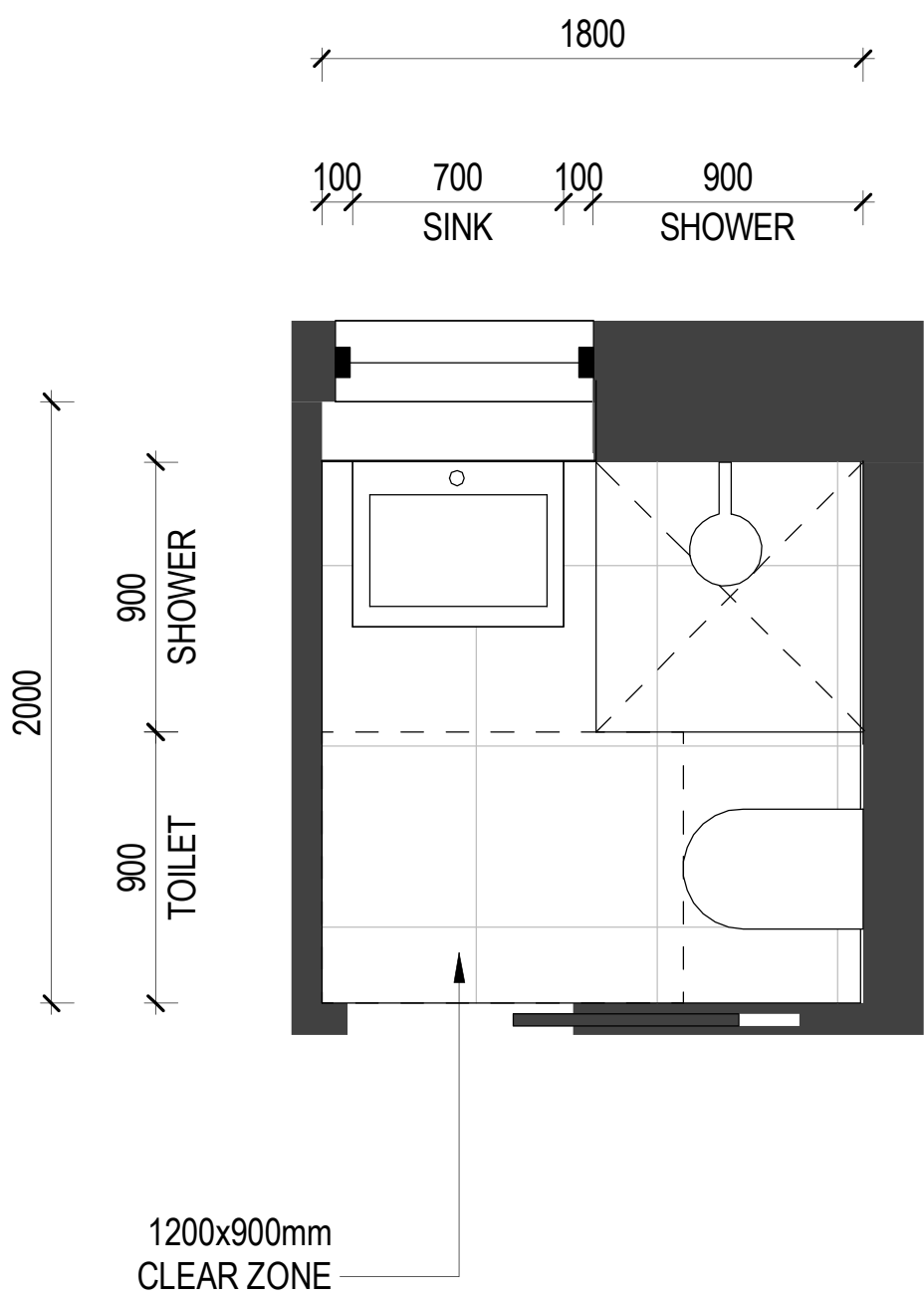
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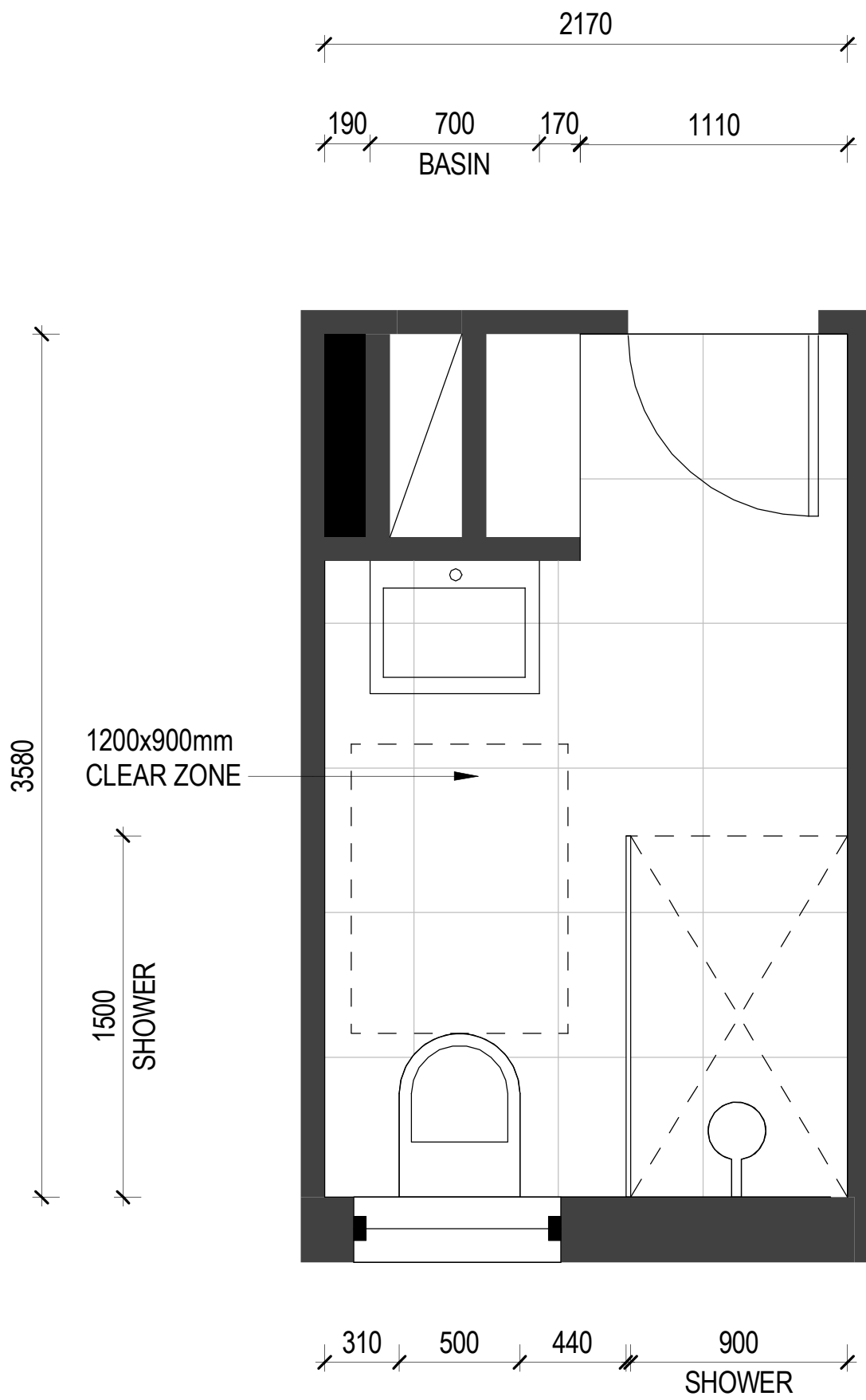
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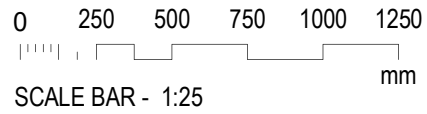
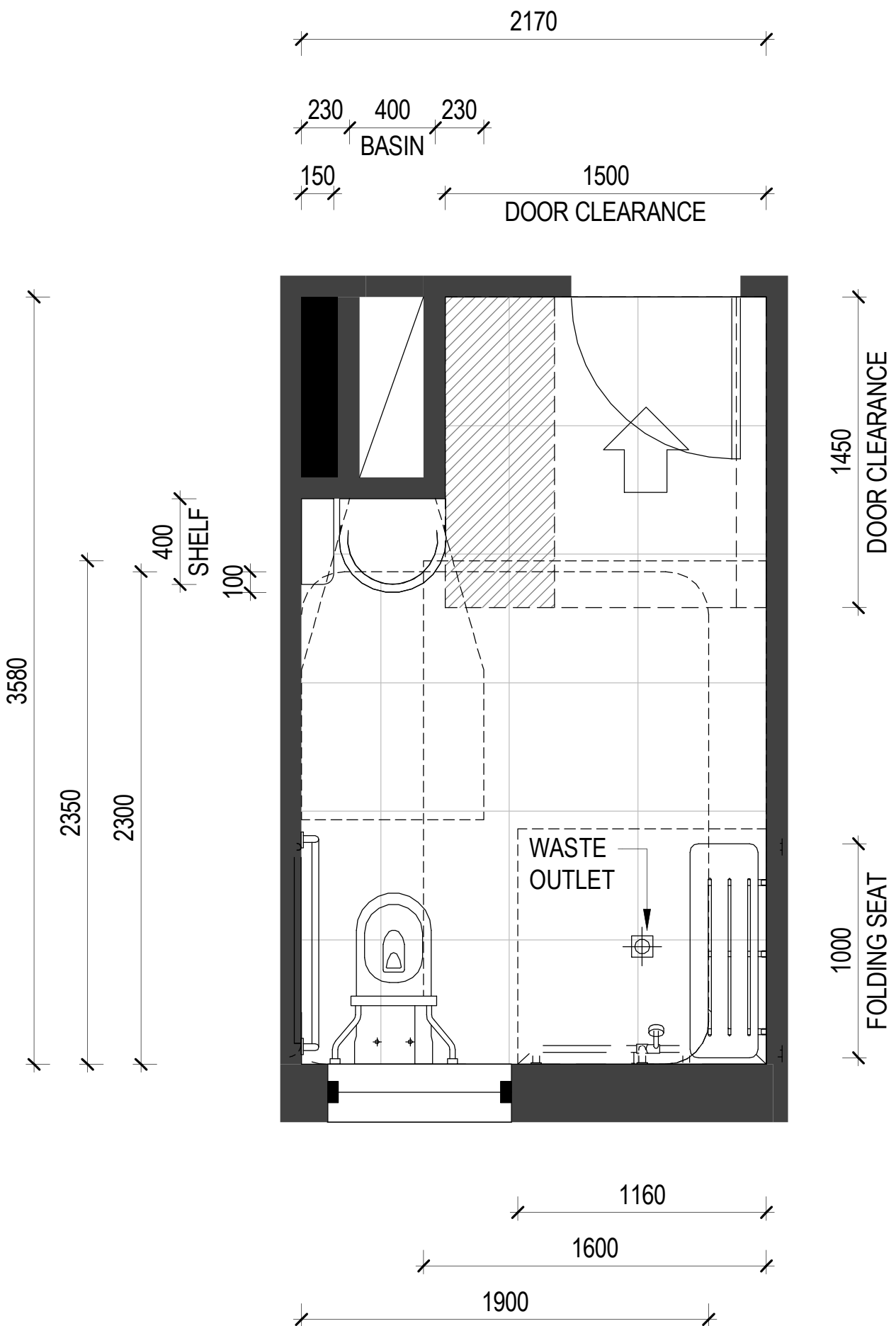
BATHROOM TYPE B_3



BATHROOM TYPE B_4a



BATHROOM TYPE B_4b



Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

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Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue

NGULUWAYDesignInc

Gadigal Country
Level 12, 125 Philip Street, Sydney NSW 2000
+61 2 9555 7100 Reception@nguluway.designinc.com.au

Nominated Architects			
Ian Armstrong	7250	Cathryn Drew-Bredin	7269
Craig Kerslake	7789	Mary Anne McGirr	10946

Pattern Code

SLA02

Name

Small Lot Apartments 02
by Nguluway DesignInc

Drawing No.

A-522

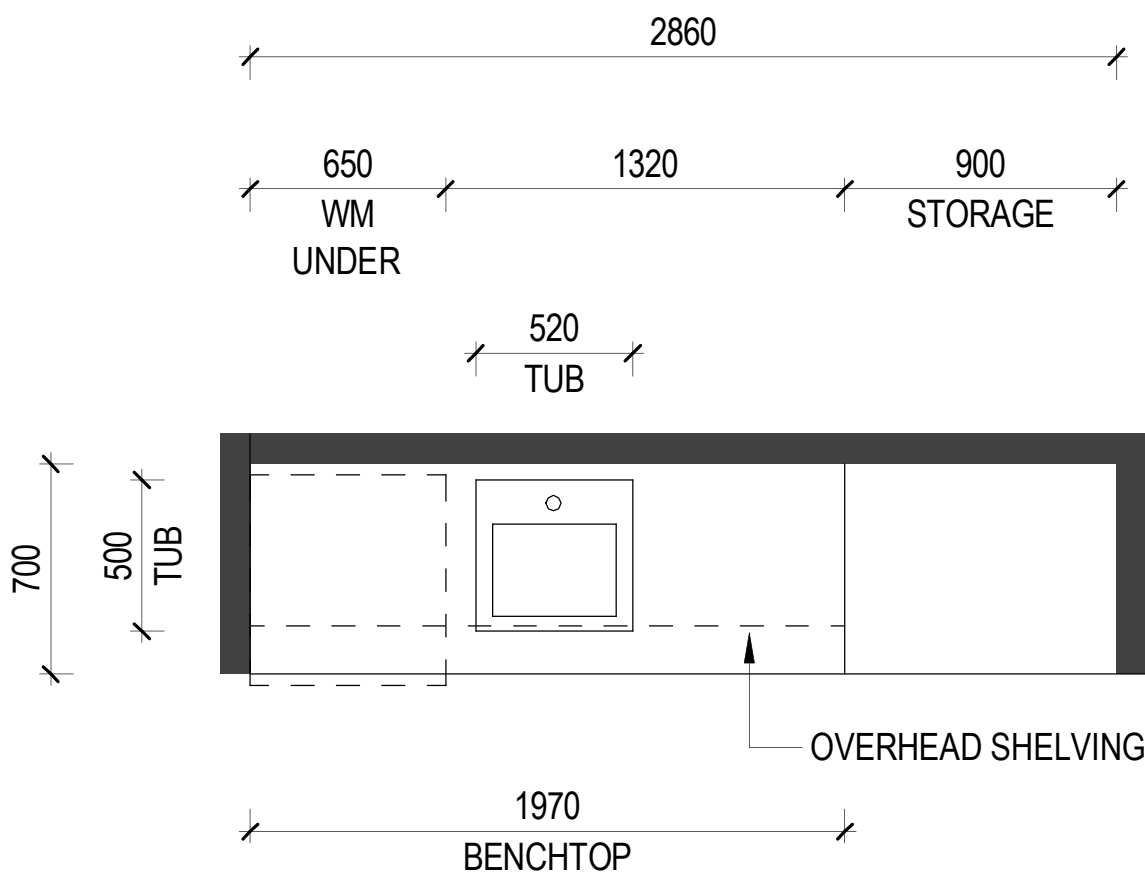
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WET AREA DRAWINGS

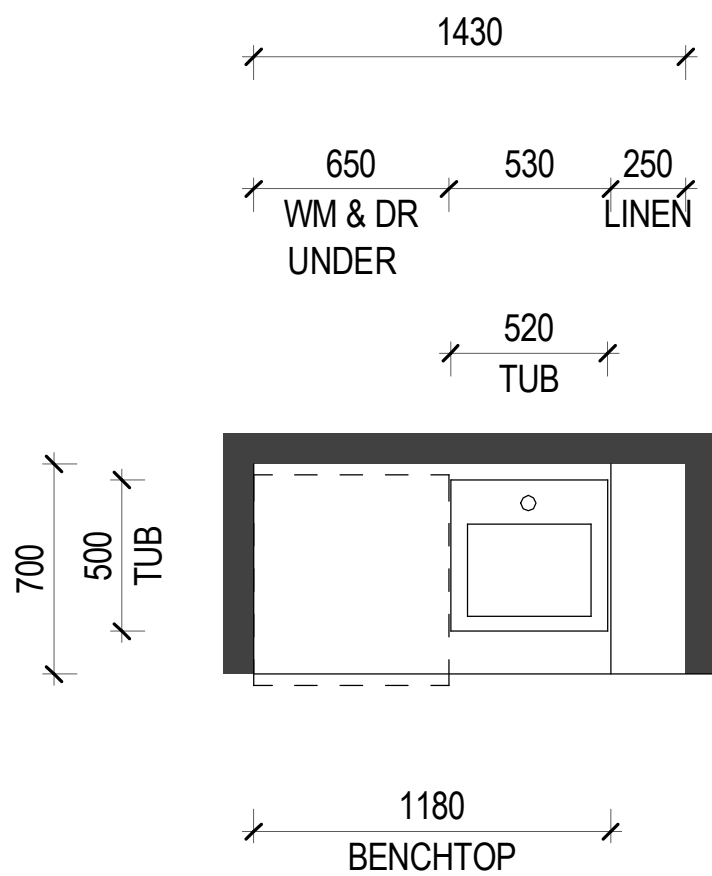
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1:25 @ A1

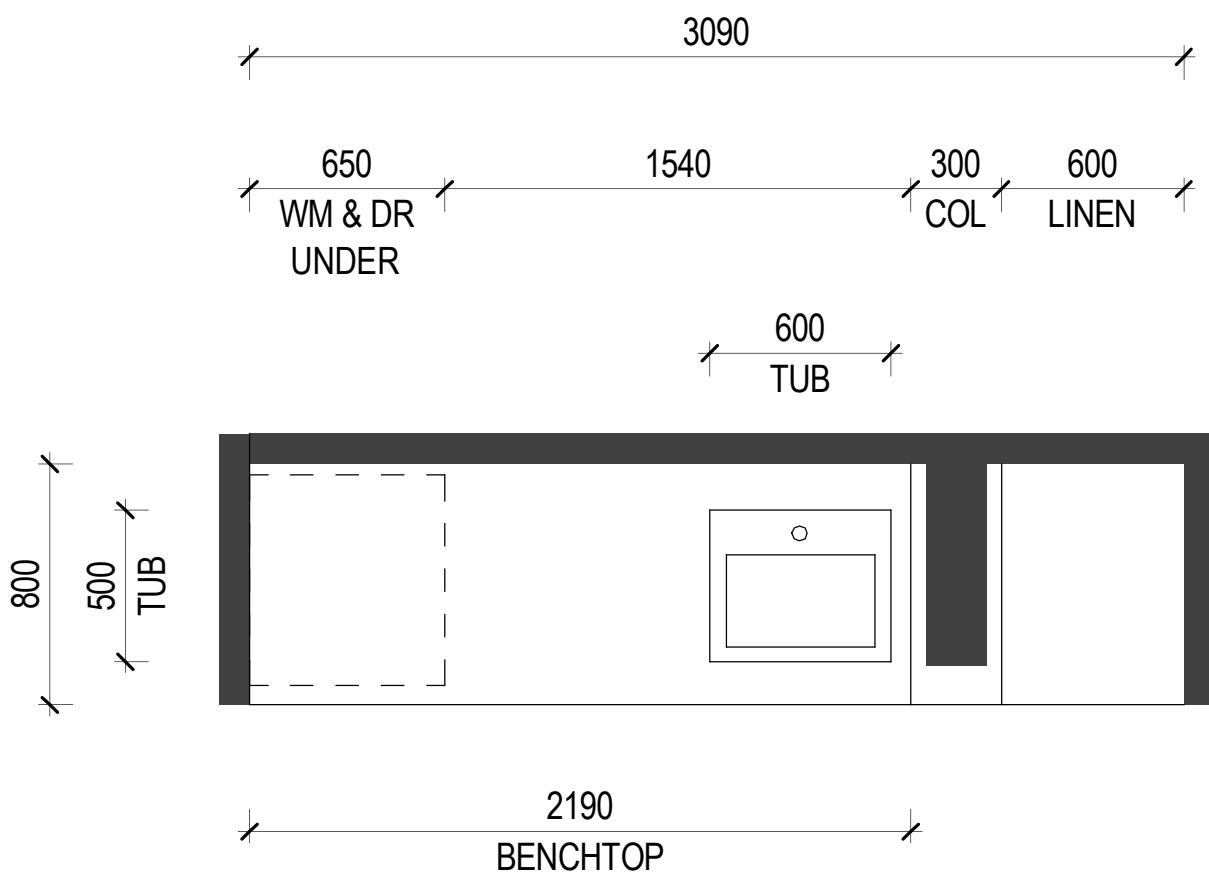
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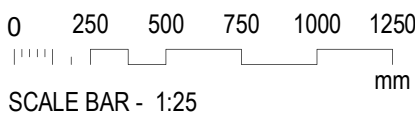
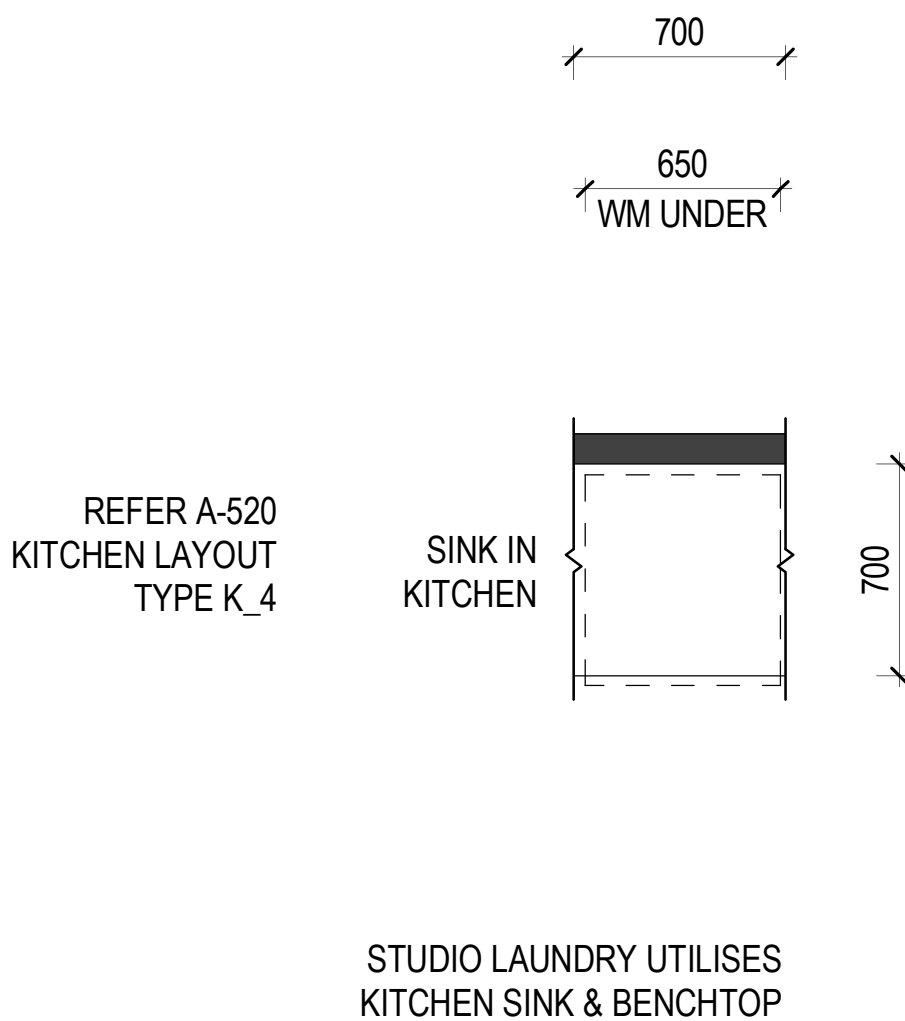
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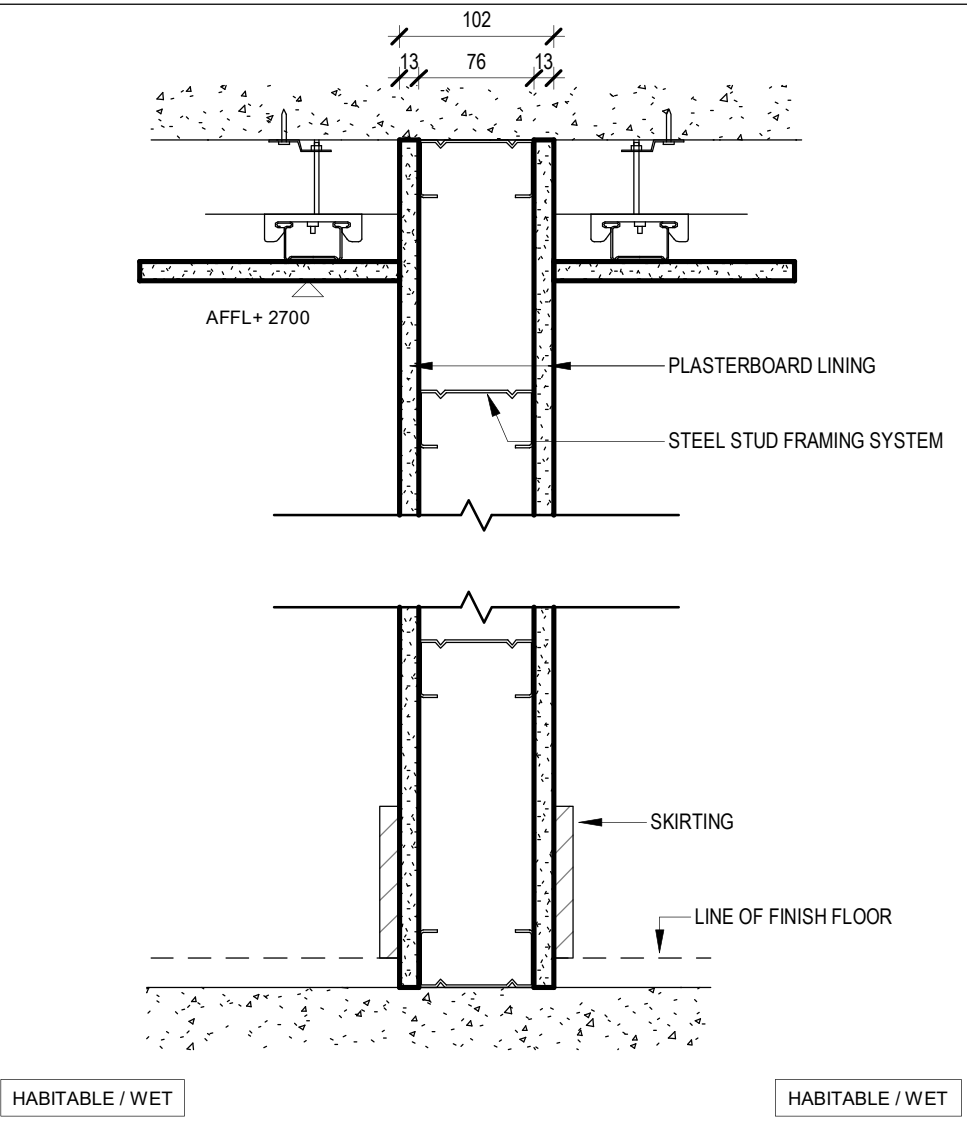
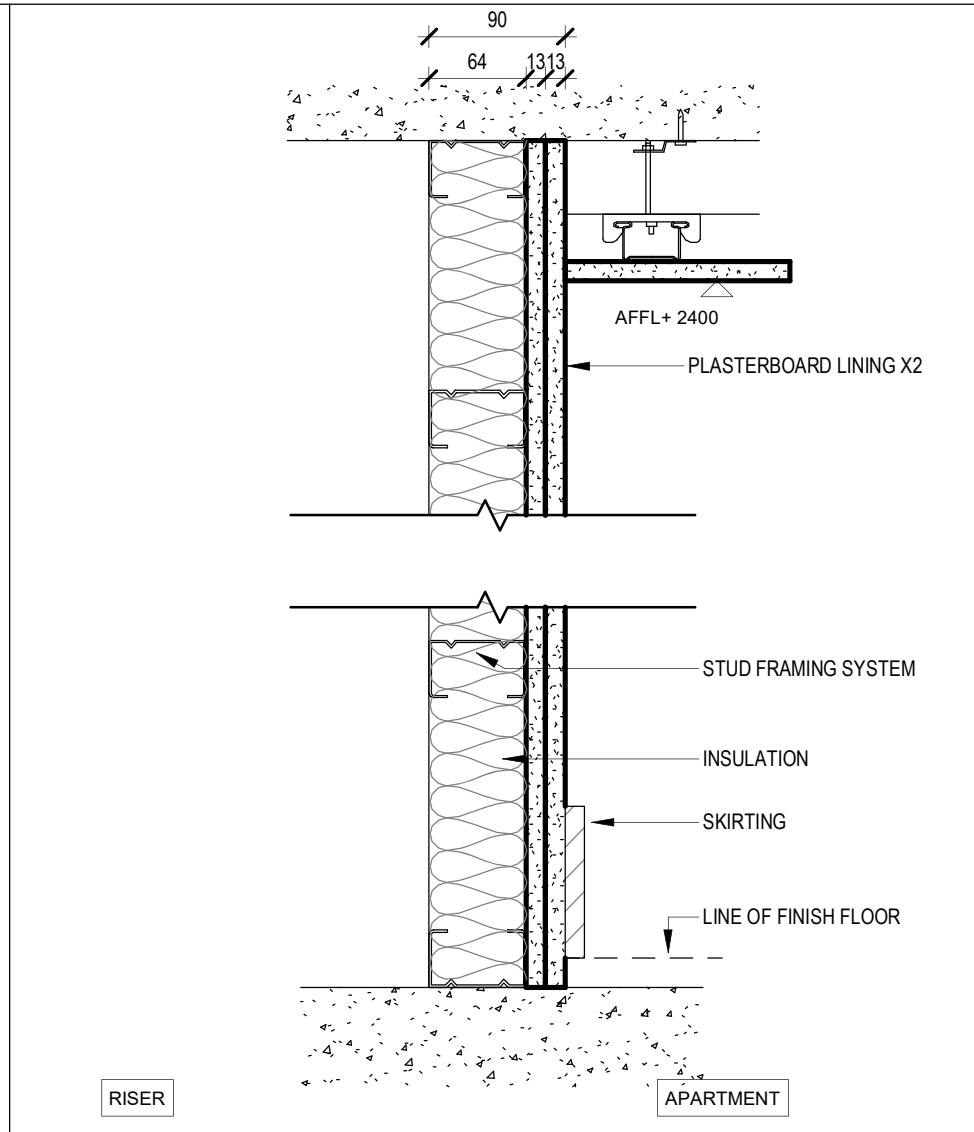
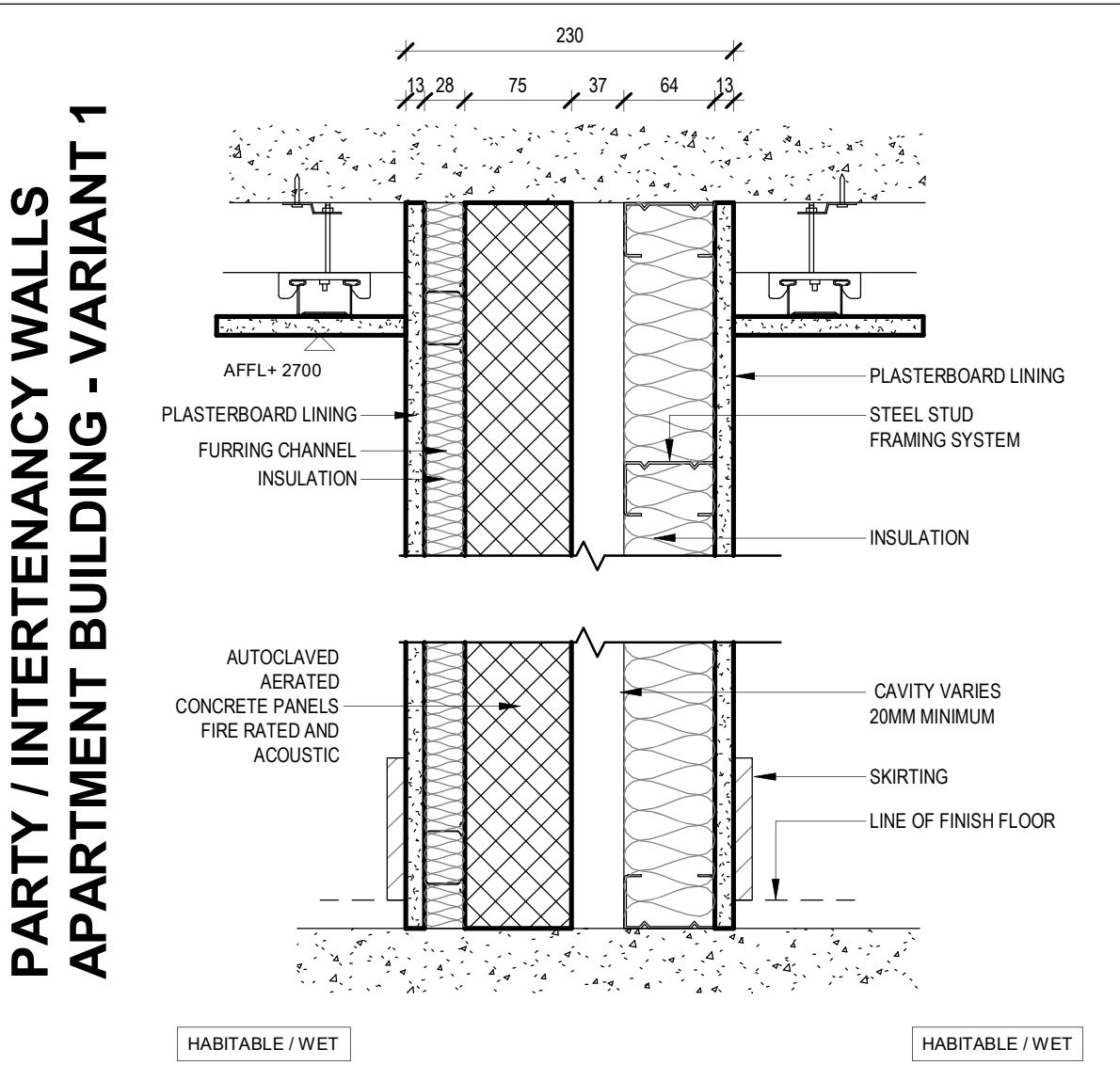
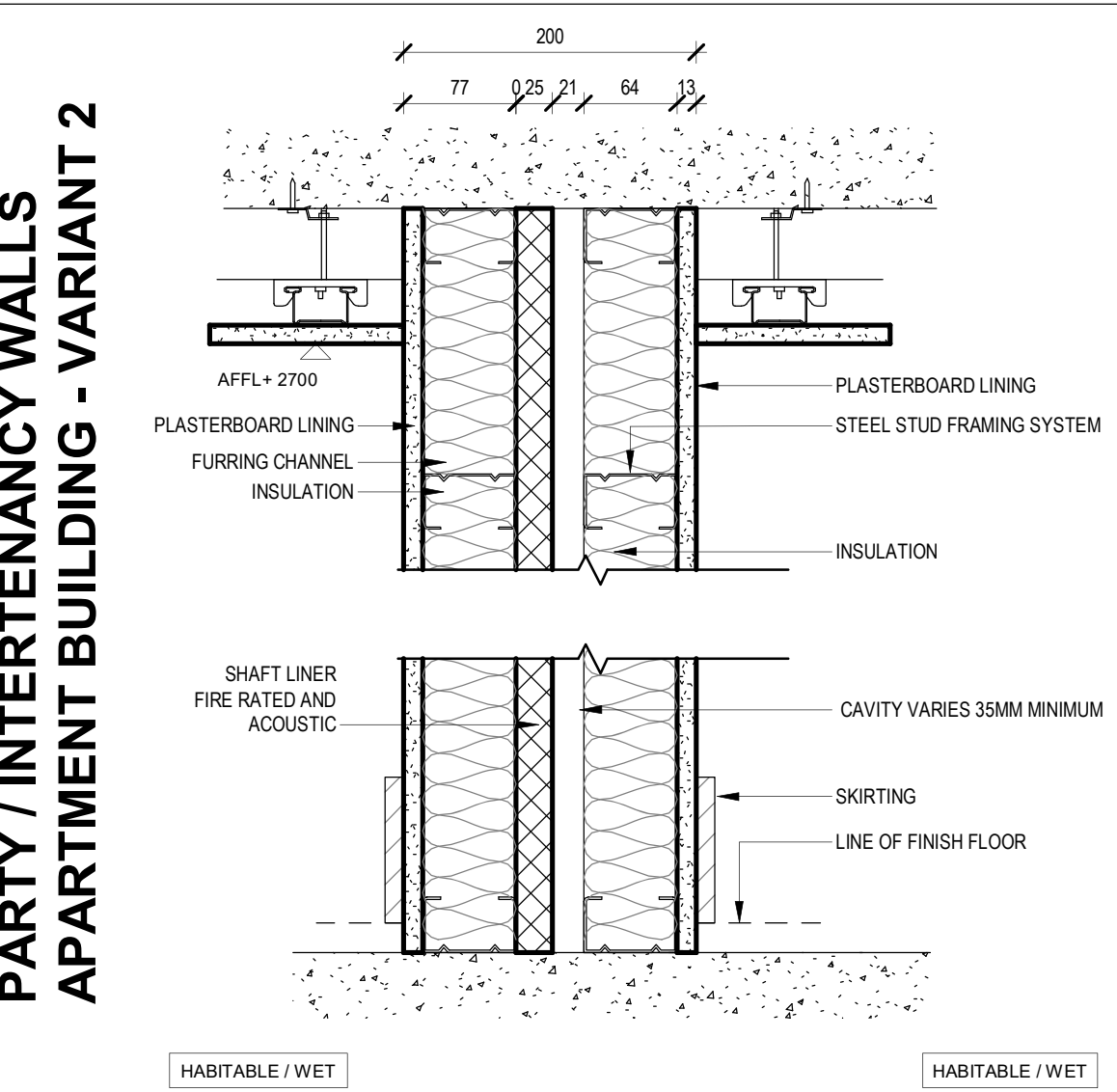
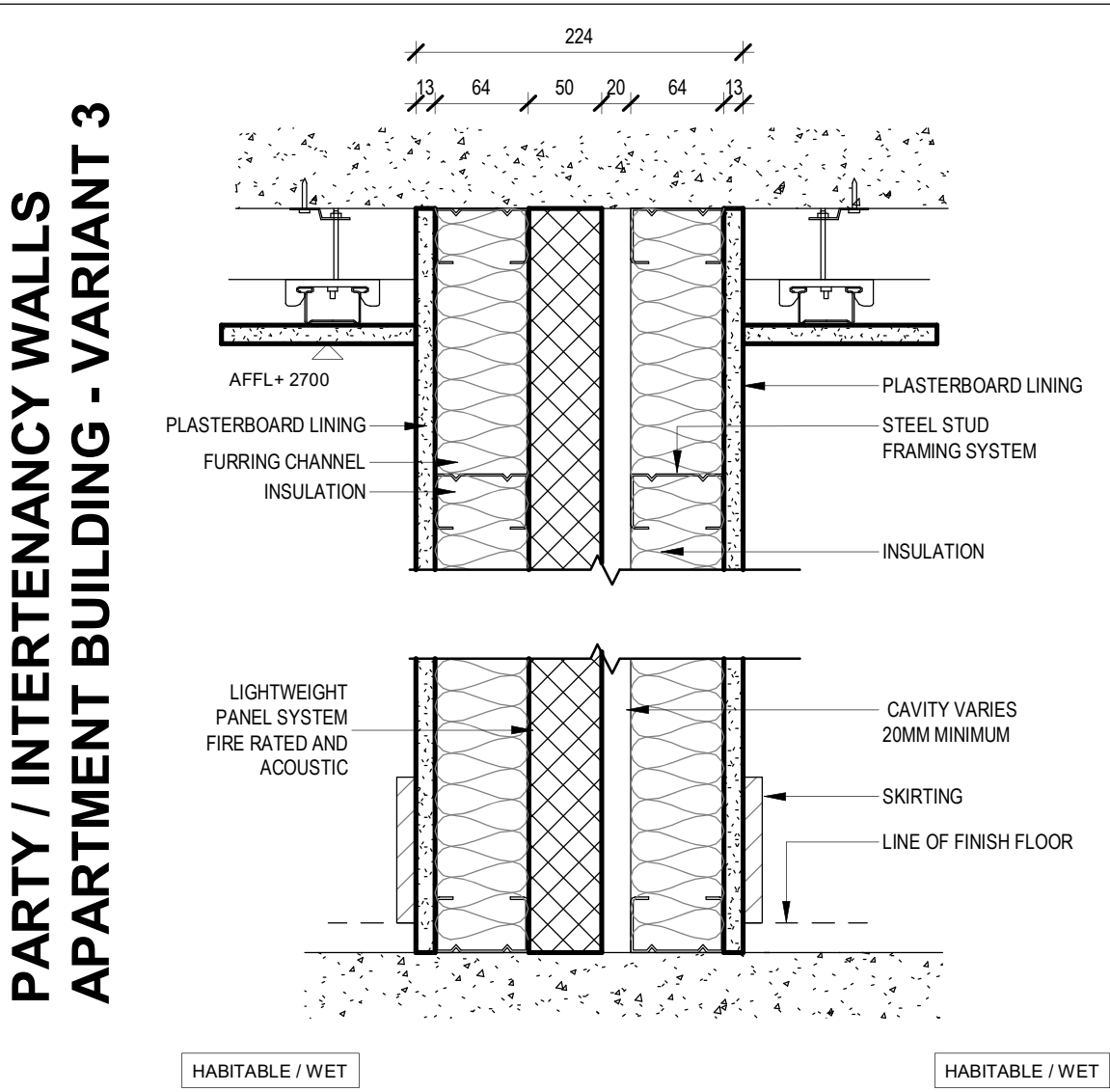


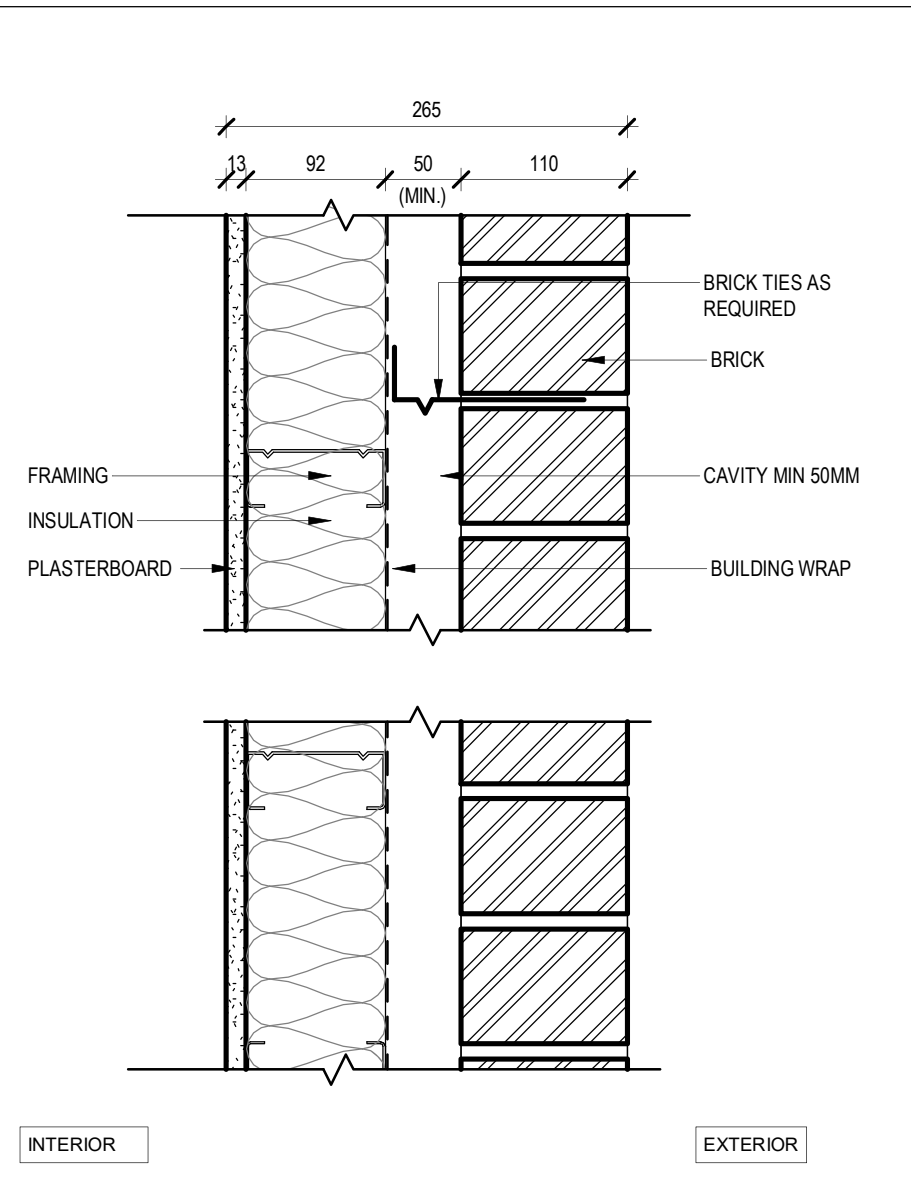
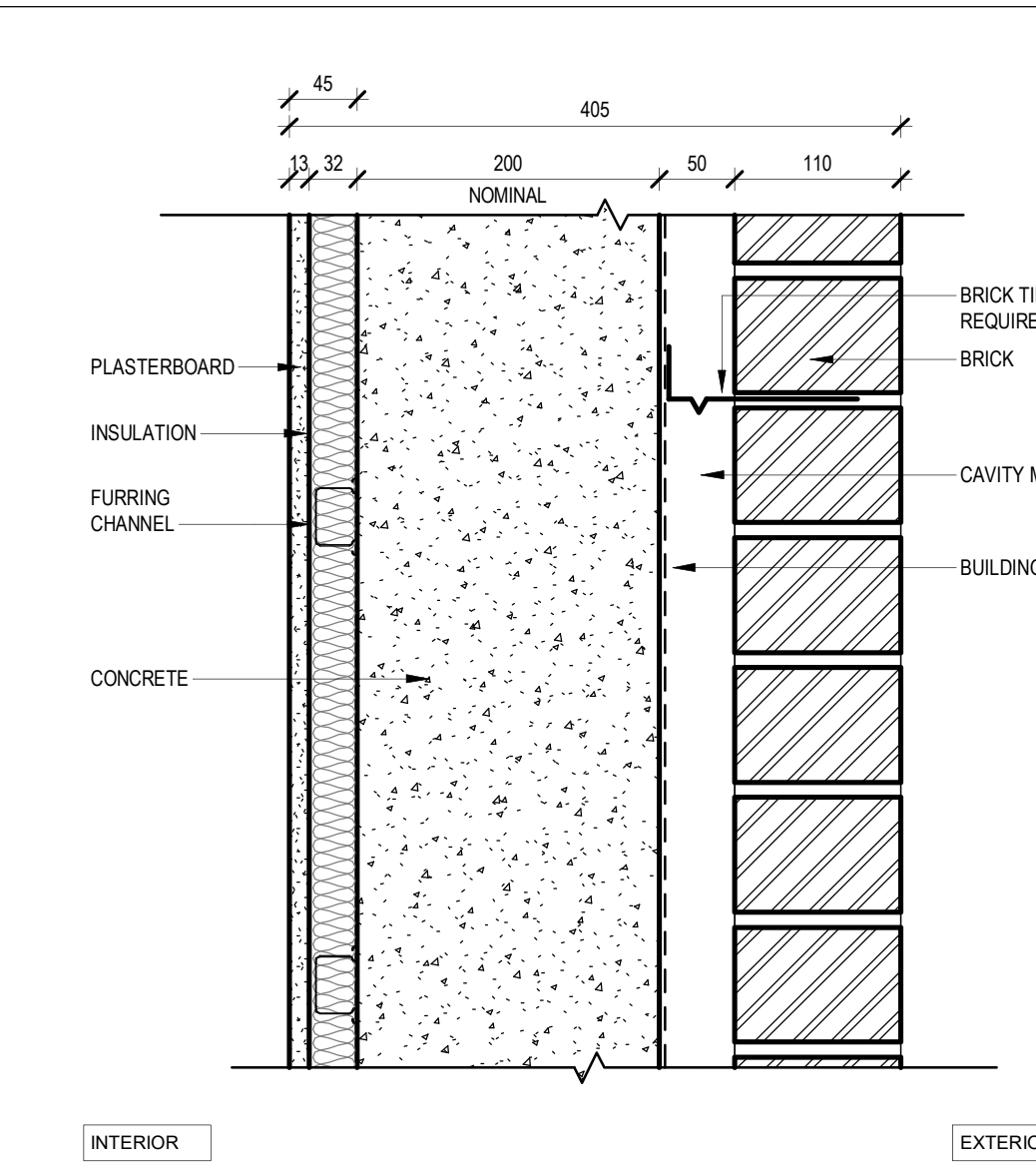
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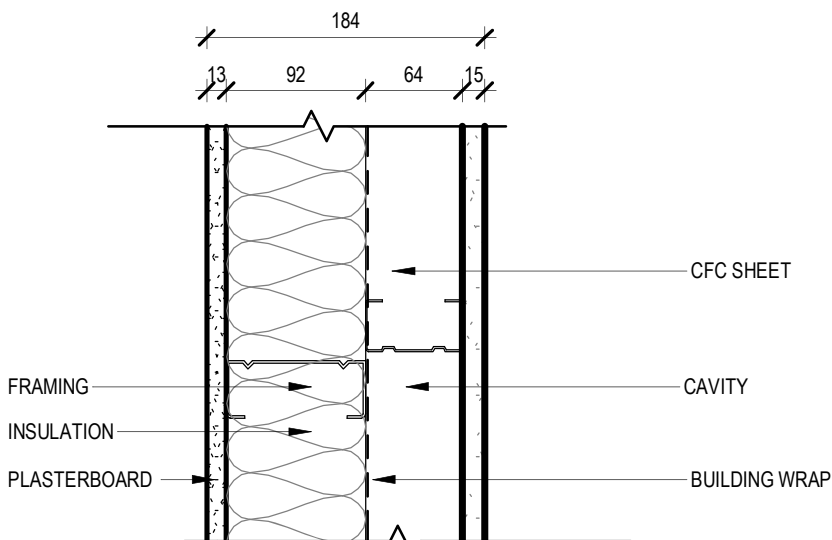
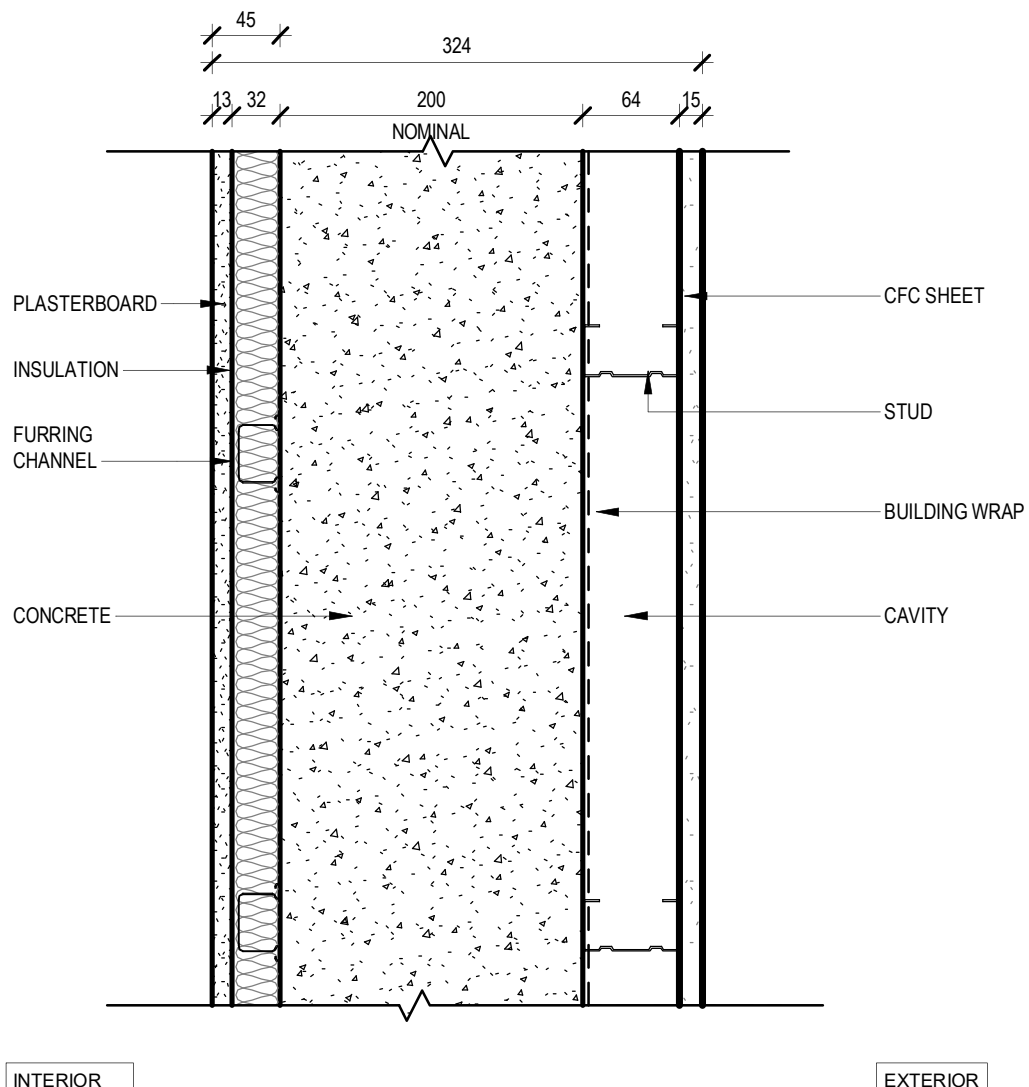


LAUNDRY TYPE L_4



PARTITION / TENANCY WALLS	 <p>HABITABLE / WET</p>	 <p>RISER</p> <p>APARTMENT</p>	PARTY / INTERTENANCY WALLS APARTMENT BUILDING - VARIANT 1	 <p>HABITABLE / WET</p> <p>HABITABLE / WET</p>	PARTY / INTERTENANCY WALLS APARTMENT BUILDING - VARIANT 2	 <p>HABITABLE / WET</p> <p>HABITABLE / WET</p>	PARTY / INTERTENANCY WALLS APARTMENT BUILDING - VARIANT 3	 <p>HABITABLE / WET</p> <p>HABITABLE / WET</p>	
	Wall code	PT-01		PT-04		WT-01		WT-01	WT-01
	Location	Internal Partition Wall		Hydraulic Riser - Internal to Apartments Habitable		Intertency		Intertency	Intertency
	Description	Non-Load Bearing Stud Lining		Non Fire Rated Shaft Wall		Hebel Intertency Wall		Hebel Intertency Wall	Hebel Intertency Wall
	Wall requirements					Discontinuous construction between habitable and wet areas		Discontinuous construction between habitable and wet areas	Discontinuous construction between habitable and wet areas
Min. FRL			-/60/60	-/60/60	-/60/60				

BRICK	 <p>INTERIOR</p> <p>EXTERIOR</p>	 <p>INTERIOR</p> <p>EXTERIOR</p>	
	Wall code	WT-20	WT-21
	Location	Exterior	Exterior
	Description	External Brick Facade	External Brick Facade with Column

CFC	 <p>INTERIOR</p> <p>EXTERIOR</p>	 <p>INTERIOR</p> <p>EXTERIOR</p>	
	Wall code	WT-20	WT-21
	Location	Exterior	Exterior
	Description	External CFC Facade	External CFC Facade with Column

0 50 100 150 200 250
mm
SCALE BAR - 1:5

Rev	Date	Description
Rev 1	Nov 2025	Pattern Book Issue